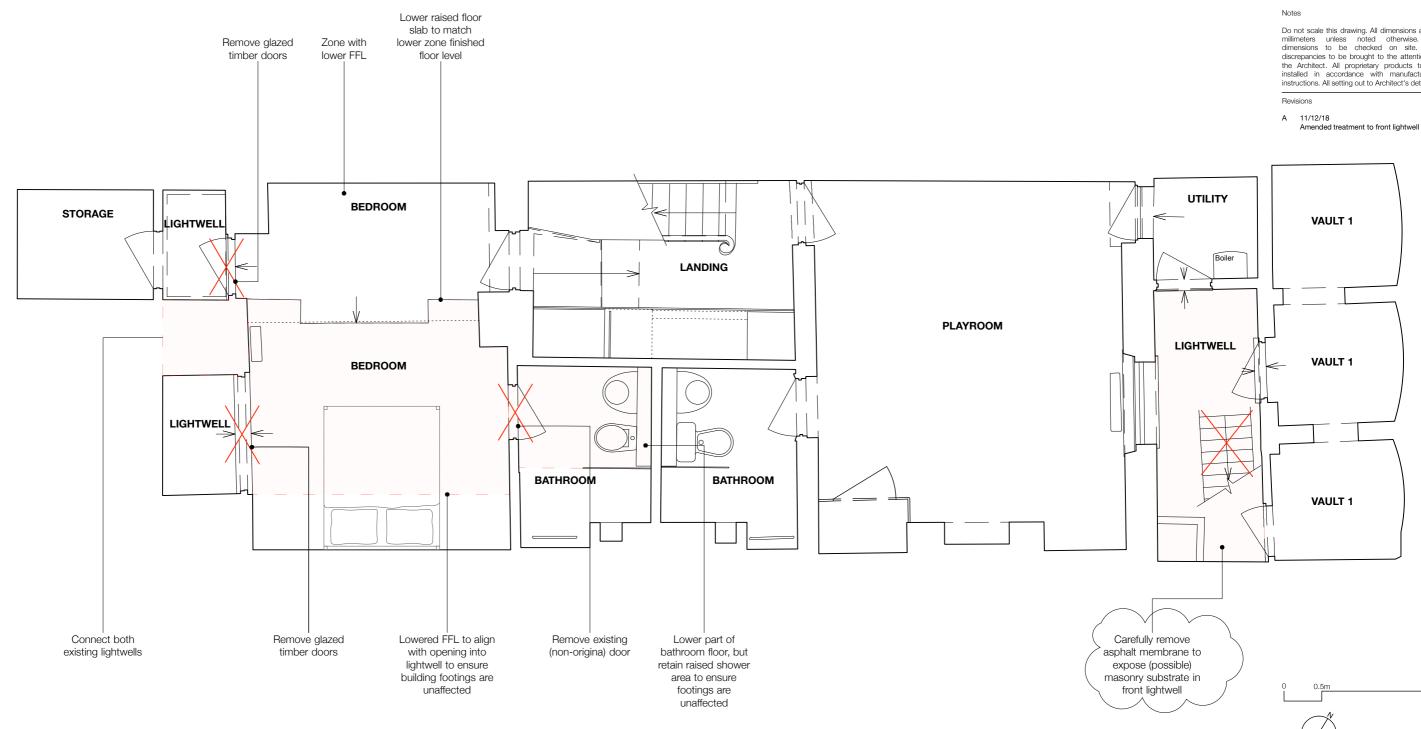
113 Albert Street NW1 7NB, London Project name 073 Job no. Clients Mr Ottolenghi & Mr. Allen Drawing name Basement Demolition PD05 Rev A Planning & Listed Building Date 25/09/18 Scale @ Format 1:50 @A3 Drawn/Checked AA/BS CAD reference 073_ 113 Albert Street Notes Do not scale this drawing. All dimensions are in millimeters unless noted otherwise. All dimensions to be checked on site. Any discrepancies to be brought to the attention of the Architect. All proprietary products to be installed in accordance with manufacturer's instructions. All setting out to Architect's details A 11/12/18 Amended treatment to front lightwell floor UTILITY VAULT 1 LIGHTWELL VAULT 1 VAULT 1

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106 Grand Union Studios 322 Ladbroke Road W10 5AD London +44 (0)20 3735 5205 www.bensmitharchitecture.com



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106 Grand Union Studios 322 Ladbroke Road W10 5AD London

+44 (0)20 3735 5205 www.bensmitharchitecture

Job no.

113 Albert Street NW1 7NB, London Project name

073

Clients Mr Ottolenghi & Mr. Allen

Drawing name Basement Proposed

PD08 Rev A

Planning & Listed Building

06/11/18 Scale @ Format 1:50 @A3

Drawn/Checked AA/BS

CAD reference 073_ 113 Albert Street

Notes

Existing vaults to be dry

lined to enable them to be

used, with new

surface-mounted electrics

Original stone

(presummed beneath

current asphalt) to be

repointed wherever

present

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A 11/12/18 Vault noted to be dry lined (not tanked) Lightwell stone repointed if revealed UTILITY **BEDROOM** Slab FCL 1.82m FCL 2.16m VAULT 1 STORAGE Slab FCL 2.49m LANDING Slab FCL 2.18m LIGHTWELL **PLAYROOM** Slab FCL 2.16m LIGHTWELL New Tiles VAULT 1 **BEDROOM** Slab FCL 2.41m **BATHROOM BATHROOM** Tile FCL 2.18m Tile FCL 2.18m VAULT 1 Slab FCL 2.20n Damp-proofing works as Existing 2no. Dry line to basement New double glazed Original higher Reduced Pocket sliding Reduce New cast iron per specialist report lightwells combined Crittall (or finished floor level bathroom floor bedroom wall, as floor level door into stairs to allow retained to ensure level (by WC and to create single equivalent) glazed recommended on bathroom, to easy access to lightwell doors into lightwell biulding footings are conceal change of sink) to create damp-proofing report existing manhole unaffected flush level from in lightwell floor level bedroom with

step up into shower

Built-in units

concealing laundry

area and linen

cupboard

Wall locally built

out to allow glazed

doors to be

centred on room

Existing 390mm

step in ceiling to

remain in place

Single walk-on rooflight

centered on lightwell with

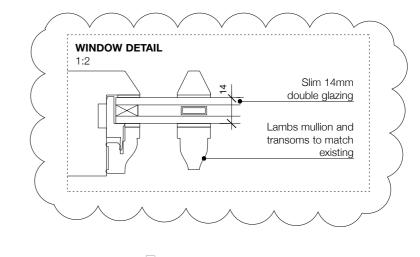
2no. separate grilled

sections at either end

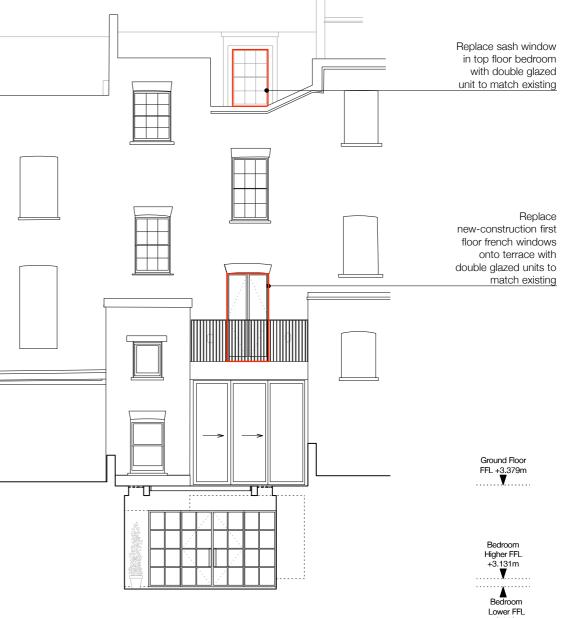
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FRONT ELEVATION





REAR ELEVATION



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+44 (0)20 3735 5205 www.bensmitharchitecture.com

Project name 113 Albert Street NW1 7NB, London

Job no. 073

Clients Mr Ottolenghi & Mr. Allen

Drawing name Proposed Window Replacement

Drawing no. PD12 Rev A

Issue Planning & Listed Building

Date 25/09/18

Scale @ Format 1:100 @A3

Drawn/Checked AA/BS

CAD reference 073_ 113 Albert Street

Notes

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Revisions

A 11/12/18 B1 double glazing omitted Further details on transoms added

For lower ground floor proposed works see PD01-PD09



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