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Introduction

The following submission has been prepared by Latitude on behalf of UK Real Estate Ltd to discharge pre-commencement of relevant parts of condition 9a and 9b of planning consent 2014/0371/P and subsequent approval of variation (condition 2) 2017/1206/P. This application was for the demolition to ground level of the existing buildings located on 281 Pentonville road, 1-5 Kings Cross Bridge and 368 Grays Inn Road to be replaced with a basement and ground plus 2 storey building consisting of A1/A3 use on the basement and the ground floor and B1 use on the upper 2 floors. The amended application was granted consent, subject to agreement of Section 106, in August 2017.

Condition 9a states:

Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the Council before the relevant part of the work is begun:

a) Plan, elevation and section drawings, including jambs, head and cill, of all new external windows and doors at a scale of 1:20 with typical glazing bar details at 1:1.

The following pages show the arrangement of materials on the facade. Its design assigns each material to the appropriate location and function. A dark cladding to the ground floor level allows the glass box on top to float over the sea of traffic. The detailing has been kept as neat and simple as possible to deliver an elegant and calm building within a vibrant central area. All detailed drawings and specification relating to condition 9a can be found within appendices A and B at the end of the document. Glazing bar detail at 1:1 is enclosed in appendix C.

Condition 9b is as follows:

b) Samples and manufacturer's details of new facing materials including windows and door frames, glazing, natural stone and metal cladding with a full scale sample panel of all stone facing finishes of no less than 1m by 1m including junction with window opening demonstrating the proposed colour, texture, face-bond and pointing.

A sample panel of all facing materials should be erected on-site and approved by the Council before the relevant parts of the work are commenced and the development shall be carried out in accordance with the approval given. The relevant part of the works shall then be carried in accordance with the approved details.

To respond to condition 9b a sample panel will be available on site by the second week of Decemeber 2018.

The sample board, showing all facade materials, is included in the document and available on site to view.

In addition to this we show and describe all minor changes that have occurred whilst developing the design.

Materials

Careful consideration has been given to creating a dialogue with the gaunt brick and stucco façade of the Lighthouse building.

The separating volume between the two buildings will be full height glazing on Grey's Inn Road side and will be clad in dark gray GRC panels on Pentonville Road facade. This will create the necessary contrast between the classic and the contemporary.

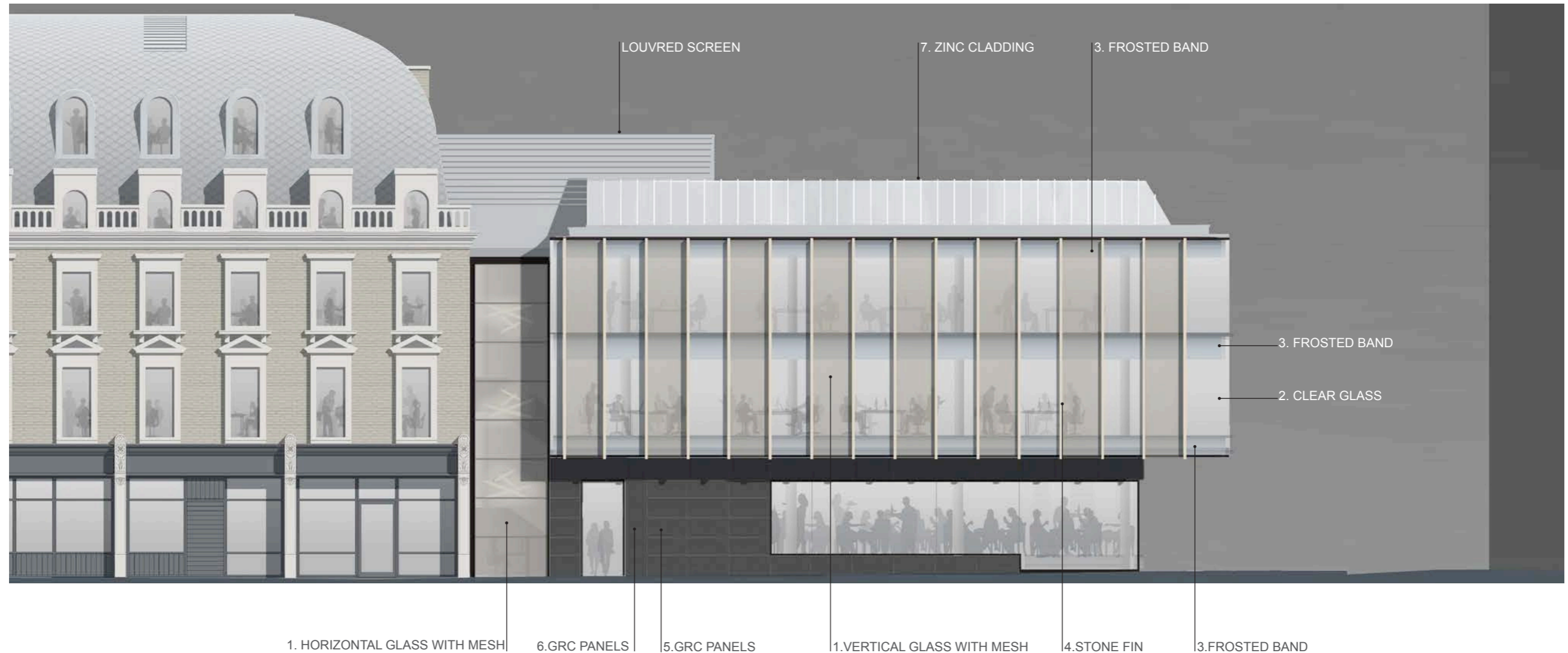
The extruded metal mesh within the double glazed units will be umber anodized to complement the gaunt brick to the main facades. Pale limestone fins echo the stucco surrounds.

The façade is composed of alternating solar coated and extruded metal mesh glazing panels creating a rhythm that corresponds to the adjoining brick façade.

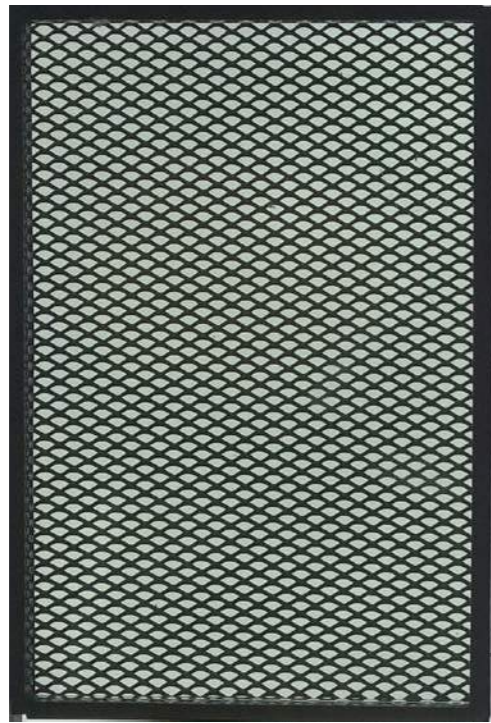
Articulating this rhythm are stone fins, marking the intervals between the glazing. These fins also provide a measure of solidity to the glazed façade and when viewed sideways from the sweep of Grays Inn Road or the approach from Pentonville road.

Deviating from this palette will be the standing non-patinated bright zinc roofing covering the roof lights. This will weather naturally and it will establish material continuity with the zinc roofing on the Lighthouse building.

The combination of these materials and rythm will enable this contemporary building to sit comfortably with its historic context.



1.GLASS WITH MESH



Glass with aluminium mesh anodised anolok 543.
Drawing reference: 1209-152-01-I; 1209-152-02-I;
1209-152-03-I; 1209-311-01-D; 1209-311-03-D.
Specs reference: H11/110A; H11/110B; H11/110E.

2.CLEAR GLASS



Double glazing to shopfront and office glassbox.
Drawing reference: 1209-152-01-I; 1209-152-02-I;
1209-152-03-I; 1209-311-01-D; 1209-311-03-D.
Specs reference: H11/110A; H11/110B; H11/110E.

3.FROSTED BAND



Translucent glass.
Drawing reference: 1209-152-01-I; 1209-152-02-I;
1209-152-03-I; 1209-311-01-D; 1209-311-03-D.
Specs reference: H11/110A; H11/110B; H11/110E.

4.STONE FIN



Honed Portuguese limestone.
Drawing reference: 1209-152-01-I; 1209-152-02-I; 1209-152-03-I;
1209-213-10-D
Specs reference: H11/110A; H11/110B; H11/110E.

5.TEXTURED GRC



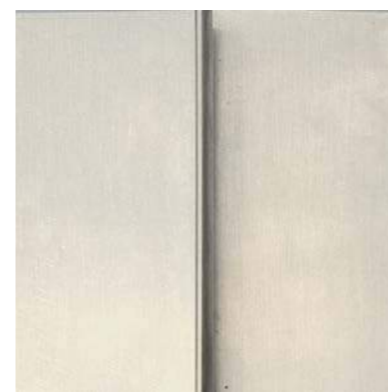
Textured GRC panels. Dark grey colour.
Drawing reference: 1209-152-01-I; 1209-152-02-I; 1209-152-03-I;
1209-311-06-D.
Specs reference: H92/120A.

6.PLAIN GRC



Plain GRC panels. Dark grey colour.
Drawing reference: 1209-311-06-D.
Specs reference: H92/120A.

7. ZINC CLADDING



Standing seam zinc roofing.
Drawing reference: 1209-152-01-I; 1209-152-02-I;
1209-152-03-I; 1209-272-02-D
Specs reference: H11/110A; H11/110B; H11/110E.

8. ALUMINIUM FINISHES

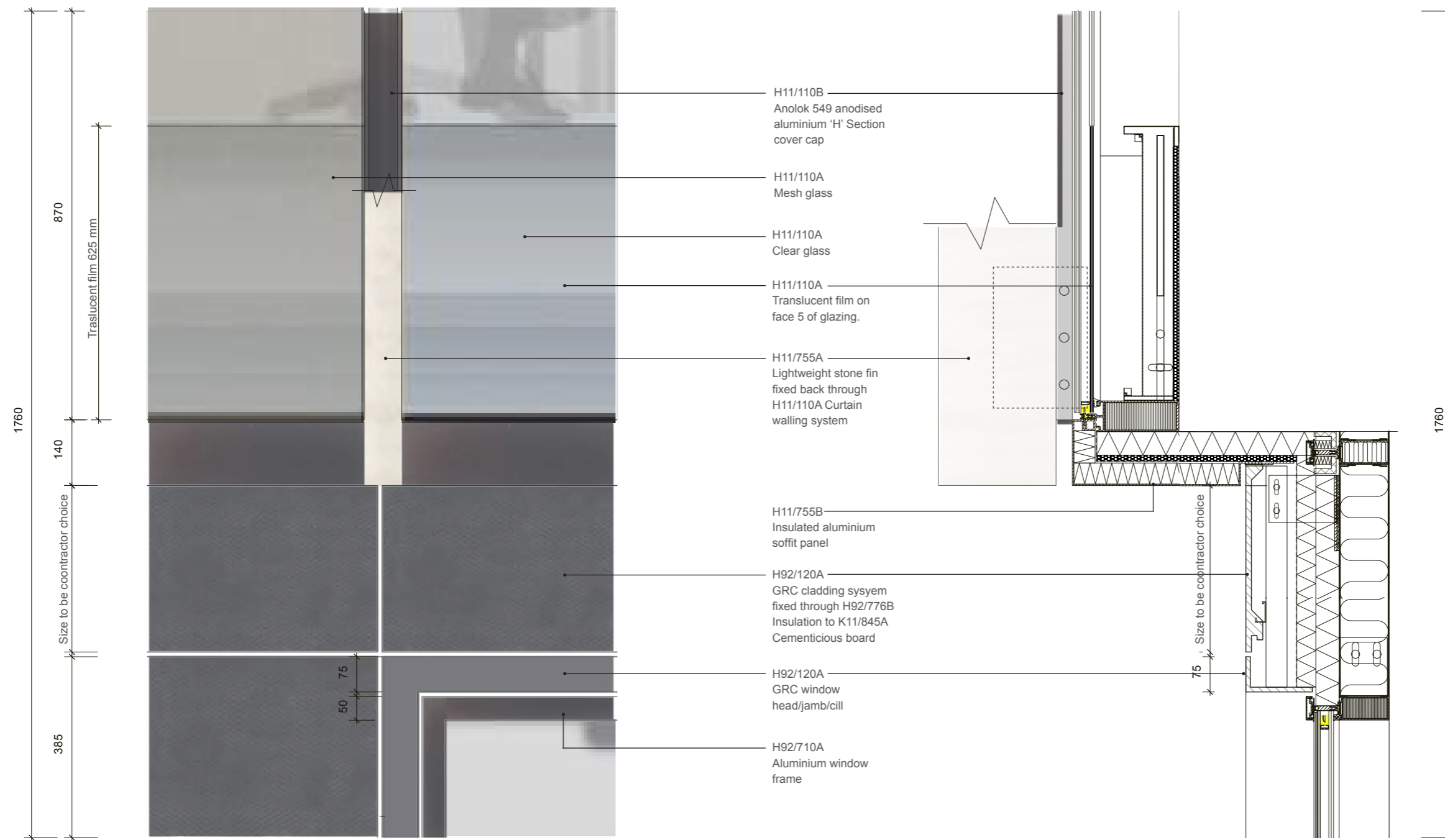


External aluminium finishes anodised in anolok 549.
Drawing reference: 1209-152-01-I; 1209-152-02-I;
1209-152-03-I; 1209-211-05-B; 1209-212-02-F.
Specs reference: H11/110A; H11/110B; H11/110D.

The drawing and image below are intended to give an indication and scope of the proposed sample panel that will be erected on site. This will pick up a section of the glass box showing the detail of the clear glass and the 543 anolok anodized mesh insert glass meeting the lime-

stone clad fin and the anolok 549 anodized aluminium soffit returning at the base of the glass box facade. The sample panel will also capture the ground floor shopfront window and the framing and cladding around it. This will include the textured GRC panel which is the cladding to

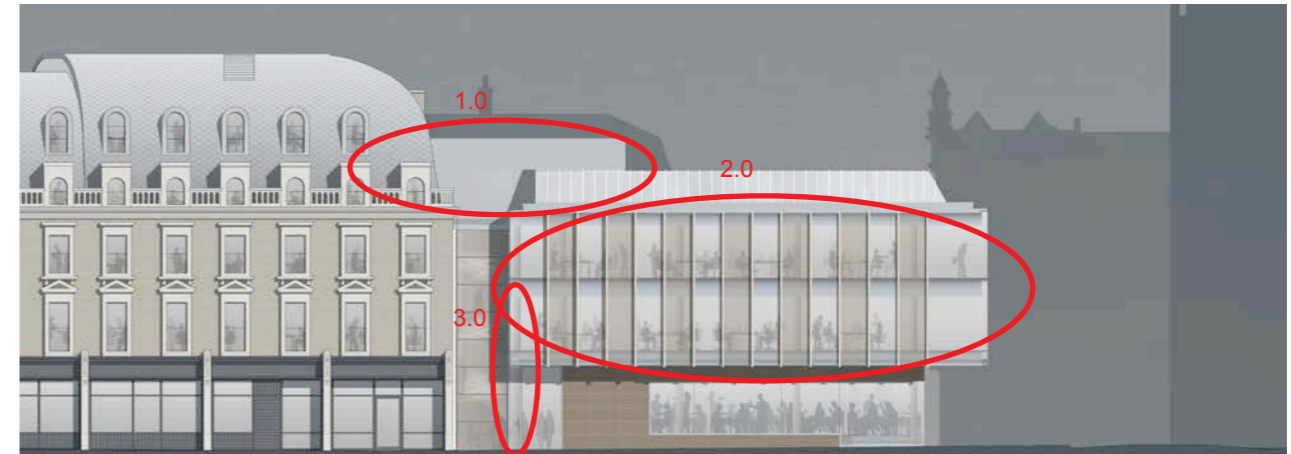
all facades at ground floor level and Pentonville Road separation volume to the adjacent building; a plain GRC jamb/head/cill to ground floor windows; an anolok 549 anodized aluminium window frame .



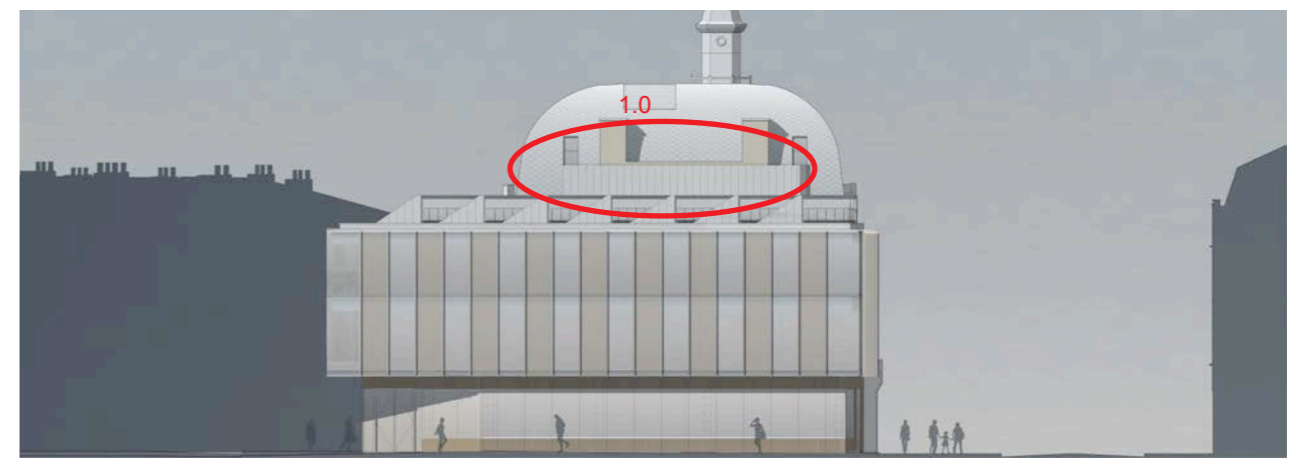
Changes to consented elevations

Whilst developing the details minor changes have occurred on elevations. This document indicates and explains each alteration to the elevations.

- 1.0 Roof plant enclosure has changed from zinc panels to PPC aluminium louvred screens.
See drawings 1209-152-01-I, 1209-152-02-I, 1209-152-03-I and 1209-313-01-A in appendix A.
- 2.0 Additional mullion to mitigate impact of cantilever.
All glazing bay have shifted slightly.
See drawing 1209-311-01-D in appendix A.
- 3.0 Glazed entrance reduced to meet manufacturer requirements. The GRC cladding now extends up to the atrium full height glazing.
See drawings 1209-152-01-I and 1209-312-02-B in appendix A.
- 4.0 All external metal finishes will be in anolok 549 dark bronze.
See drawings 1209-152-01-I, 1209-152-02-I and 1209-152-03-I in appendix A.
- 5.0 All mesh within glazing will be anolok 543 umber.
See drawings 1209-152-01-I, 1209-152-02-I, 1209-152-03-I, 1209-211-05-B, 1209-311-01-D and 1209-311-03-D in appendix A.
- 6.0 GRC panels colour dark gray tone.
See drawings 1209-152-01-I, 1209-152-02-I, 1209-152-03-I and 1209-311-06-B in appendix A.
- 7.0 Entrance door to office basement on Pentonville Road (North facade) to be glazed.
See drawings 1209-152-03-I and 1209-312-04-C in appendix A.
- 8.0 The retail entrance door is incorporated into the glazing frame.
See drawings 1209-152-03-I and 1209-312-05-B in appendix A.



Consented East Elevation



Consented East Elevation



Consented North Elevation

APPENDIX A - Construction drawings

1209-151-01-I _ Proposed Basement Plan
 1209-151-02-L _ Proposed Ground Floor Plan
 1209-151-03-K _ Proposed First Floor Plan
 1209-151-04-K _ Proposed Second Floor Plan
 1209-151-05-M _ Proposed Plant room Plan
 1209-151-06-G _ Proposed Roof Plan
 1209-151-07-D _ Proposed Lower Ground Floor Plan

1209-152-01-I _ Proposed South Elevation
 1209-152-02-I _ Proposed East Elevation
 1209-152-03-I _ Proposed North Elevation

1209-153-01-K _ Proposed Section AA
 1209-153-02-I _ Proposed Section BB
 1209-153-03-I _ Proposed Section CC
 1209-153-04-I _ Proposed Section DD

1209-211-01-D _ Perimeter Section 01 - 1st-2nd F
 1209-211-02-D _ Perimeter Section 01 - Basement-GF
 1209-211-05-B _ Section through Atrium glazing

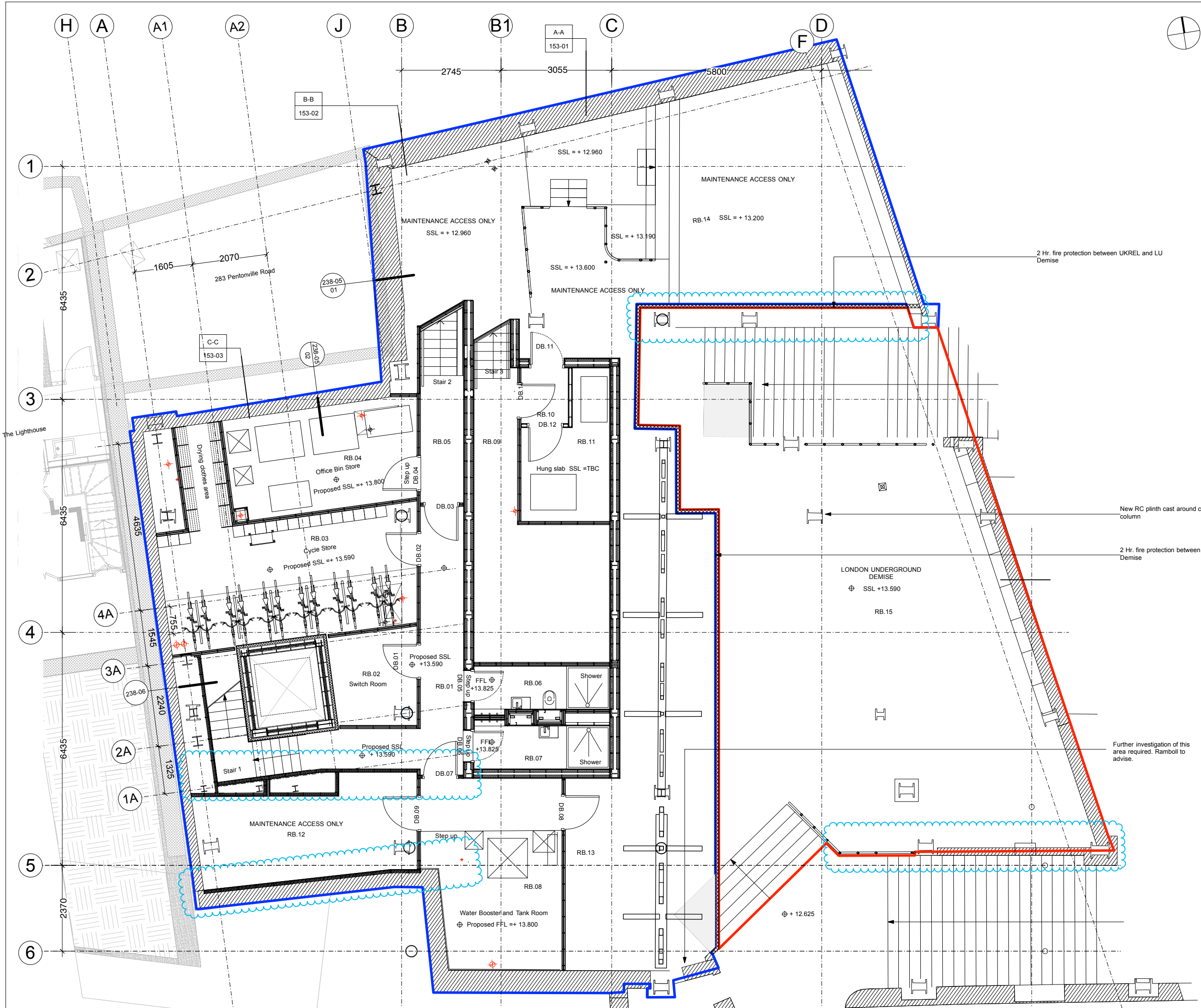
1209-212-01-F _ Proposed external wall detail 01
 1209-212-02-F _ Proposed external wall detail 02
 1209-212-11-G _ Proposed external wall detail 11

1209-272-02-D _ Proposed roof detail 01
 1209-272-03-D _ Proposed roof detail 02
 1209-272-08-E _ Proposed roof detail 08
 1209-272-09-D _ Proposed roof detail 09

1209-311-01-D _ Glazing schedule - sheet 01
 1209-311-02-D _ Roof north lights schedule
 1209-311-03-D _ Glazing schedule- sheet 02
 1209-311-06-B _ GRC schedule

1209-312-01-C _ Gas cupboard door
 1209-312-02-B _ Sliding door to office atrium - EDG.01
 1209-312-03-B _ Double leaf entrance door to retail - EDG.02
 1209-312-04-C _ Office access door to basement - EDG.04
 1209-312-05-B _ Retail access door to basement - EDG.03

1209-313-01-A _ Louvre schedule



GENERAL NOTES
 Drawing to be read in conjunction with all information by architects, structural engineer & service consultants.
 The contractor is not to scale from this drawing. All written dimensions to be checked on site before work commences. Discrepancies, where identified, must be reported to the architect immediately.
 This drawing is the property of Latitude Architects and Designers and must not be reproduced or disclosed to any unauthorised person either wholly or in part without written consent.

NOTES:
 All Structure to S.E. design and spec to be intumescent painted as **M61/110A**.
 Insertion of padstones, retention of retaining walls, installation of Bearings to be confirmed post opening up.
 Bearing be fire protected to match fire strategy.
 Waterproofing to Basement to be developed in conjunction with temporary works strategy.
 Below ground drainage to be confirmed post CCTV survey.
 Allow for 2 hr. Fire protected DuraSteel enclosure during from commencement to demolition until installation of permanent separation between LU and UKREL demise.
 Enclosure to facilitate 24/7 Access for LU Maintenance access between North and South Platform

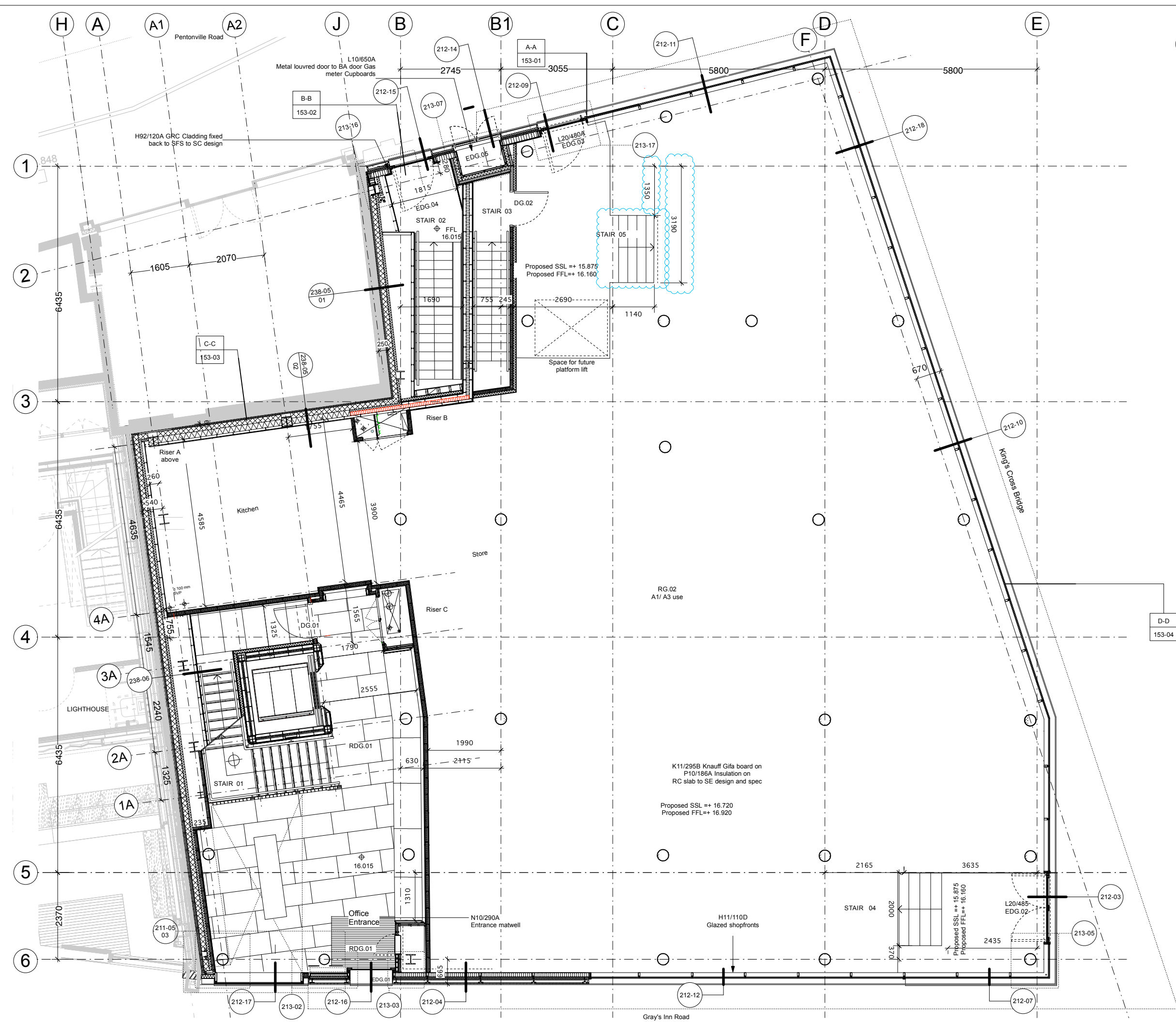
— TFL demise indicated in red
 — UK Real Estate demise indicated in blue

H	AV/BM	05.06.18	Issued for construction.
G	AV/MT	12.03.18	Setting out dimensions added.
F	AV/BM	24.01.18	Core setting out updated, TFL separating wall moved to access eastbound platform existing stair, core grid added, existing boundary wall to Pentonville Road and all levels to basement updated accordingly to JMS's survey
E	AG/BM	15.09.17	Stage 4 general update
D	AV	25/5/17	Revised Stage 4 Issue
C	AG/AV	30/04/17	Stage 4 Issue
B	AV/BM	10/02/17	Stage 3 Tender Issue
A	DOR/GT	21/01/15	Initial Tender
Issue	Chkd/Drawn	Date	Description

Status	Job No.	Drwg No.	Issue
CONSTRUCTION	1209	151-01	H

Drawing: PROPOSED BASEMENT PLAN
 Scale: 1:100@A3 1:50@A1

Project: KINGS CROSS BRIDGE



GENERAL NOTES
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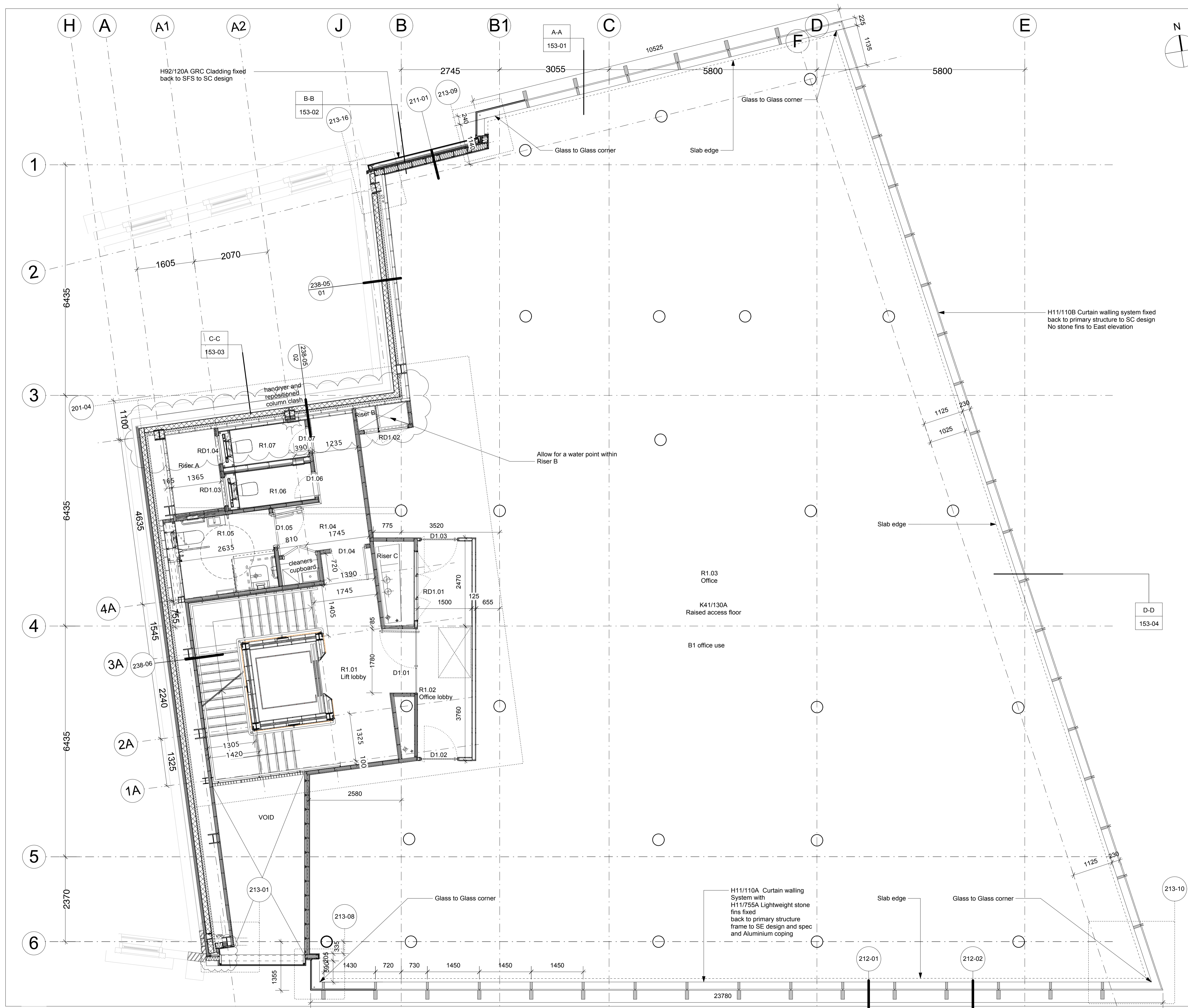
NOTES:
 All Structure to S.E. design and spec to be intumescent painted as **M61/110A**.

Issue	Chkd/Drawn	Date	Description
L	AV/BM	05.06.18	Stair 05 relocated to avoid clash with separation blockwork wall to TFL demise.
K	AV/MT	14.05.18	Issued for construction
J	AV/MT	12.03.18	Setting out dimensions added.
I	AV/BM	24.01.18	Core setting out updated, stair layout updated, core grid added
H	AV/BM	15.09.17	Stage 4 general update
G	AV/GT	25/05/17	Revised Stage 4 Issue
F	AV/AG	30/4/17	Stage 4 Issue
E	AV/BM	10/02/17	Stage 3 Tender Issue
D	DOR/GT	21/01/15	Initial Tender
C	DOR/GT	09/11/14	General revisions
B	DOR/GT	12/09/14	Updated to suit revised structure
A	DOR	16/07/14	Preliminary issue

Status	Job No.	Drwg No.	Issue
CONSTRUCTION	1209	151-02	L

Drawing: PROPOSED GROUND FLOOR PLAN
 Scale: 1:100@A3, 1:50@A1

Project: KINGS CROSS BRIDGE



GENERAL NOTES

Drawing to be read in conjunction with all information by architects, structural engineer & service consultants.

The contractor is not to scale from this drawing. All written dimensions to be checked on site before work commences. Discrepancies, where identified, must be reported to the architect immediately.

This drawing is the property of Latitude Architects and Designers and must not be reproduced or disclosed to any unauthorised person either wholly or in part without written consent.

NOTES:

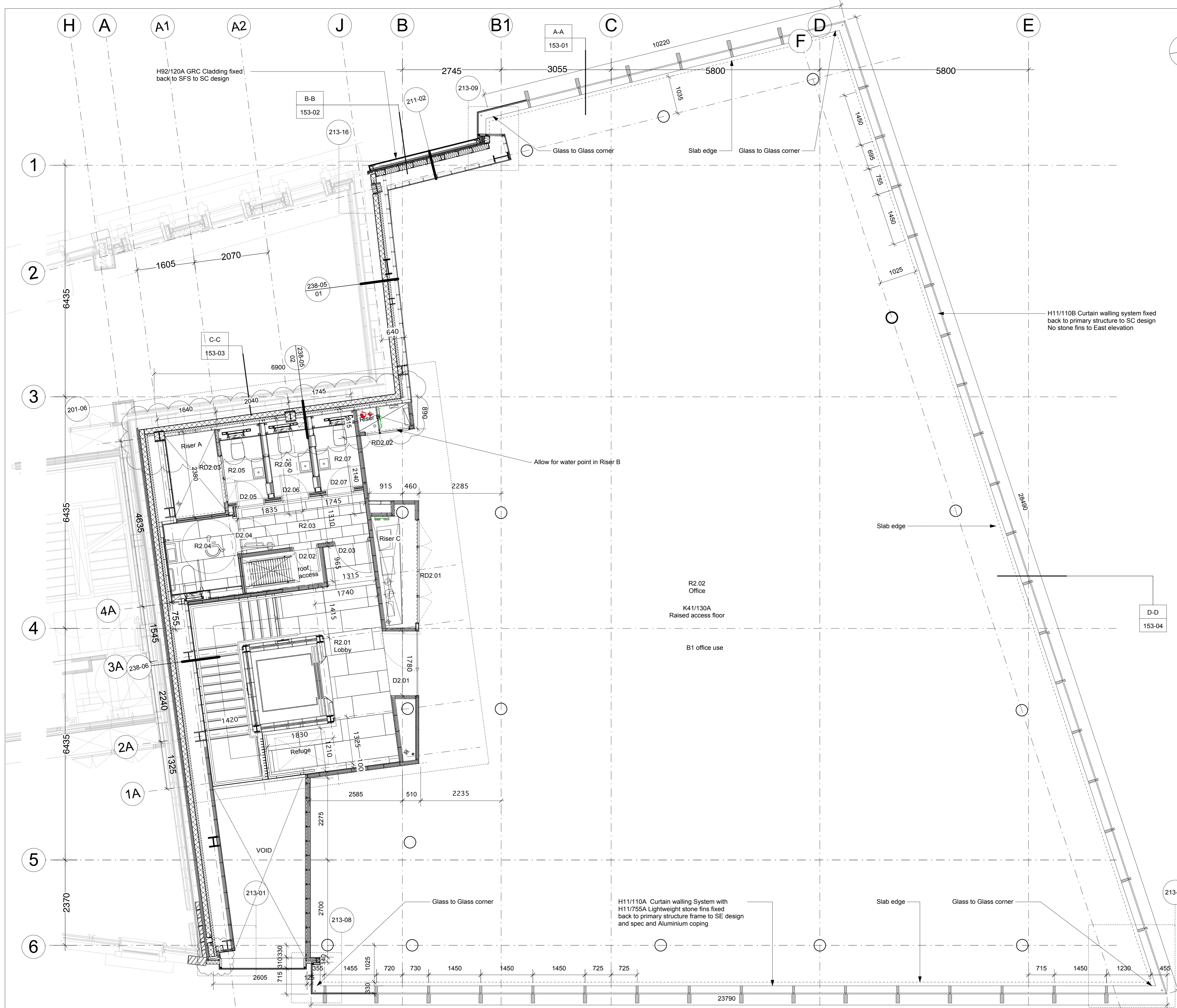
All Structure to S.E. design and spec to be intumescent painted as M61/110A.

Issue	Chkd/Drawn	Date	Description
K	AV/MT	14.05.18	Issued for construction
J	AV/MT	12.03.18	Setting out dimensions added.
I	AV/BM	24.01.18	Core setting out revised, stair layout updated, core grid added
H	AV/BM	15.09.17	Stage 4 general update
G	AV/GT	25/05/17	Revised Stage 4 Issue
F	AV/AG	30/04/17	Stage 4 Issue
E	AV/BM	10/02/17	Stage 3 Tender Issue
D	DOR/GT	21/01/15	Initial Tender
C	DOR/GT	09/11/14	General revisions
B	DOR/GT	12/09/14	Updated to suit revised structure
A	DOR	16/07/14	Preliminary issue

Status	Job No.	Drwg No.	Issue
CONSTRUCTION	1209	151-03	K

Drawing: PROPOSED FIRST FLOOR PLAN
 Scale: 1:100@A3, 1:50@A1

Project: KINGS CROSS BRIDGE



GENERAL NOTES
 Drawing to be read in conjunction with all information by architects, structural engineer & service consultants.
 The contractor is not to scale from this drawing. All written dimensions to be checked on site before work commences. Discrepancies, where identified, must be reported to the architect immediately.
 This drawing is the property of Latitude Architects and Designers and must not be reproduced or disclosed to any unauthorised person either wholly or in part without written consent.

NOTES:
 All Structure to S.E. design and spec to be intumescent painted as M61/110A.

Issue	Chkd/Drawn	Date	Description
K	AV/MT	14.05.18	Issued for construction
J	AV/MT	12.03.18	Setting out dimensions added.
I	AV/BM	24.01.18	Core setting out revised, stair layout updated, core grid added
H	AV/BM	15.09.17	Stage 4 general update
G	AV/GT	25/05/17	Revised Stage 4 Issue
F	AV/AG	30/04/17	Stage 4 Issue
E	AV/BM	10/02/17	Stage 3 Tender Issue
D	DOR/LB	19/01/15	Initial tender issue
C	DOR/GT	09/11/14	General revisions
B	DOR/GT	12/09/14	Updated to suit revised structure
A	DOR	16/07/14	Preliminary issue

Status	Job No.	Drwg No.	Issue
CONSTRUCTION	1209	151-04	K

Drawing: PROPOSED SECOND FLOOR PLAN
 Scale: 1:100@A3, 1:50@A1

Project: KINGS CROSS BRIDGE