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Development Control  
Planning Services  
London Borough of Camden  
Town Hall  
Argyle Street  
London WC1H 8ND

Tel 020 7278 4444  
Fax 020 7974 1680  
Textlink 020 7974 6866

env.devcon@camden.gov.uk  
www.camden.gov.uk/planning

Miss Emily Winstone  
Via Del Fagiano  
Perugia  
Italy  
06123

Application Ref: **2009/2136/P**  
Please ask for: **Max Smith**  
Telephone: **020 7974 5114**

22 June 2009

Dear Sir/Madam

### DECISION

Town and Country Planning Acts 1990 (as amended)  
Town and Country Planning (General Development Procedure) Order 1995  
Town and Country Planning (Applications) Regulations 1988

#### Full Planning Permission Granted

Address:  
**21 Fordwych Road**  
**London**  
**NW2 3TN**

Proposal:  
Creation of rear roof terrace within pitched roof of projecting wing and French doors at second floor level to residential flat (Class C3).  
Drawing Nos: Site Location; S01; S02; A01 REV A; A02; S03; S04; A03 REV A;

The Council has considered your application and decided to grant permission subject to the following condition(s):

#### Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 The 1.8 metre high translucent screen indicated on the approved plans shall be completed in accordance with the approved details prior to the commencement of the use of the roof terrace and shall be permanently retained and maintained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies S1/ S2 and SD6 of the London Borough of Camden Replacement Unitary Development Plan 2006

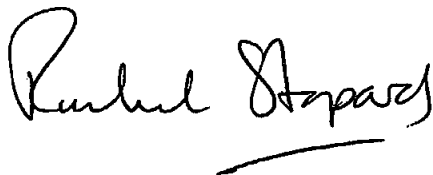
Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Environmental Health Service, Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 2090 or by email [env.health@camden.gov.uk](mailto:env.health@camden.gov.uk) or on the website [www.camden.gov.uk/pollution](http://www.camden.gov.uk/pollution)) or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Reasons for granting permission.

The proposed development is in general accordance with the policy requirements of the London Borough of Camden Replacement Unitary Development Plan 2006, with particular regard to policies S1/S2, SD6, B1 and B3. For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officer's report.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully



Rachel Stopard

<b>Delegated Report</b> (Members Briefing)		Analysis sheet N/A / attached		Expiry Date: 26/06/2009			
				Consultation Expiry Date: 12/06/2009			
Officer Max Smith			Application Number(s) 2009/2136/P				
Application Address 21 Fordwych Road London NW2 3TN			Drawing Numbers See decision notice				
PO 3/4 BLA	Area Team Signature	C&UD	Authorised Officer Signature <i>[Signature]</i>				
<b>Proposal(s)</b> Creation of rear roof terrace within pitched roof of projecting wing and French doors at second floor level to residential flat (Class C3).							
<b>Recommendation(s):</b>		Grant planning permission subject to conditions					
<b>Application Type:</b>		Full Planning Permission					
<b>Conditions or Reasons for Refusal:</b>		Refer to Draft Decision Notice					
<b>Informatives:</b>							
<b>Consultations</b>							
<b>Adjoining Occupiers:</b>		No. notified	09	No. of responses	01	No. of objections	01
				No. electronic	00		
<b>Summary of consultation responses:</b>		Neighbours were consulted by letter. One response was received from the occupant of a flat below the site raising the following concerns.  1. Loss of privacy and overlooking of rear garden. 2. Increased noise and disturbance from use of roof terrace. 3. Negative impact on appearance of building.					
<b>CAAC/Local groups* comments:</b> *Please Specify		None received to date.					

## Site Description

The application site is a 2<sup>nd</sup> floor flat in a four-storey semi-detached building located on the east side of Fordwych Road.

The property is not located in a conservation area.

## Relevant History

### Application site:

2008/2240/P: Erection of a side and rear dormer window and front conservation style roof light to the upper floor residential flat. Granted 19/06/2008, but not yet implemented.

### Nearby property: Flat C, 28 Fordwych Road

2008/4690/P: Erection of inset terrace to existing pitched roof to rear extension including new French doors to existing flat at second floor level. Granted 01/12/2008.

## Relevant policies

### London Borough of Camden Replacement UDP 2006

S1/S2 Sustainable Development

SD6, Amenity for occupiers and neighbours

B1. General design principles.

B3. Alterations and extensions

### Camden Planning Guidance 2006

## Proposal

A terrace would be created at 2<sup>nd</sup> floor level through the levelling of part of the pitched roof of the property's rear closet wing and the installation of a slate clad balustrade. The terrace would be accessed via a new set of French doors and a 1.8m translucent privacy screen would be installed along its edge.

Amended plans have been received reducing the width of the terrace by 0.5m. As revised, the terrace would be 2.5m wide and 3.4m deep.

## Main Considerations

- Visual impact
- Neighbourhood Amenity

## Visual Impact

The proposed terrace would not be visible from any public vantage and would be further screened by the remaining part of the roof of the closet wing. It is noted that a very similar proposal was recently approved on this street (ref: 2008/4690/P). Given also that the site is not in a conservation area, it is not considered that its installation would be so harmful as to warrant refusal of the application. The timber framed French doors and slate cladding are also appropriate materials which would match the appearance of the property.

The proposal therefore complies with policies B1 and B3 of the Camden Unitary Development Plan.

## Neighbourhood Amenity

Privacy: There is some potential for loss of privacy from the terrace to the adjoining property at 23 Fordwych Road. The ridge between the two closet wings would be 1.5m high when measured from the floor of the proposed terrace whereas a height of 1.7m would be ideal to prevent any significant overlooking. However, the window that would be closest to the proposal on that property serves a stairway and privacy would be unlikely to be compromised by the terrace. A pair of windows on the far side of the rear elevation of no.23 are considered to be too distant to be significantly affected in terms of privacy.

The privacy screen would restrict views towards 19 Fordwych Road. There would be limited views from the end of the terrace into the garden of no.21 itself, partially obscured by the remaining part of the roof of the closet wing. However, this area is already well overlooked by an existing terrace serving a property on the 1<sup>st</sup> floor of the building. It is not considered therefore that the proposal would have a significant additional impact.

Loss of light and disturbance: The proposal would not adversely impact on the amenity of the adjacent properties with regard to loss of light or disturbance given the small scale and elevated position of the terrace. The reduction in the width of the terrace, which would bring the privacy screen further away from a 1<sup>st</sup> floor window on the host building, further assists in reducing its impact. It is therefore considered that the application would comply with policy SD6 of the UDP.

**Recommendation: Grant Permission**

Miss Emily Winstone  
Via Del Fagiano  
Perugia  
Italy  
06123

Application Ref: **2009/2136/P**  
Please ask for: **Max Smith**  
Telephone: 020 7974 5114

18 June 2009  
**DRAFT**  
DECISION

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Town and Country Planning (General Development Procedure) Order 1995  
Town and Country Planning (Applications) Regulations 1988

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**London**  
**NW2 3TN**

**DECISION**

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completed in accordance with the approved details prior to the commencement of the use of the roof terrace and shall be permanently retained and maintained thereafter.

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Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully

Culture and Environment Directorate  
(Duly authorised by the Council to sign this document)

<b>Application No:</b>	<b>Site Address:</b>	<b>Case Officer:</b>	<b>Consultees Name:</b>	<b>Consultees Address:</b>	<b>Received:</b>	<b>Response:</b>	<b>Comment:</b>
2009/2136/P	21 Fordwych Road London NW2 3TN	Max Smith	Mr Henry C Burrige Private	21 A Fordwych London  NW2 3TN	12/06/2009 13:12:13	<p>As the owner of the ground floor property, we object to these plans on the basis of loss of privacy. The planned roof terrace will overlook our private garden and we feel this will materially impacts on the privacy of our property.</p> <p>In addition we feel the increased noise and disturbance from Flat D having this roof terrace will impact on our enjoyment of our property.</p> <p>Finally the visual appearance of the building from the rear will be negatively impacted and this will affect the outlook of our garden.</p>	COMMNT

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12. Certificates (Certificate B)

**Certificate of Ownership - Certificate B**  
**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

I certify/The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Notice recipient	Date notice served
Name: Danielle Burridge Number: 21 Suffix: A Street: Fordwych Rd Locality: Town: London Postcode: NW2 3TN	23/04/2009
Name: Thomas Wood Number: 21 Suffix: B Street: Fordwych Rd Locality: Town: London Postcode: NW2 3TN	23/04/2009
Name: Mark Hamilton Number: 21 Suffix: C Street: Fordwych Rd Locality: Town: London Postcode: NW2 3TN	

Title: Miss First name: Emily Surname: Winstone  
 Person role: Agent Declaration date: 23/04/2009  Declaration made

12. Certificates (Agricultural Holdings Certificate)

**Agricultural Holding Certificate**  
**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

Agricultural Land Declaration - You Must Select Either A or B

- (A) None of the land to which the application relates is, or is part of an agricultural holding.
- (B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Title: Miss First Name: Emily Surname: Winstone  
 Person role: Agent Declaration date: 23/04/2009  Declaration Made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Date: 23/04/2009

2009/2136/P



**Householder Application for Planning Permission for works or extension to a dwelling.**  
**Town and Country Planning Act 1990**

Publication of planning applications on council web sites  
 Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.  
 If any other information that is provided as part of the application which falls within the definition of personal data under the Data Protection Act and is not to be published on the council's website, please contact the council's planning department.

1. Applicant Name, Address and Contact Details

Title: Mr First name: Geoff Surname: Cawson  
 Company name:  
 Street address: 21 Fordwych Rd  
 Telephone number: 0044 7766764842  
 Mobile number:  
 Fax number:  
 Email address:  
 Town/City: London  
 Country: UK  
 Postcode: NW2 3TN  
 Are you an agent acting on behalf of the applicant?  Yes  No

2. Agent Name, Address and Contact Details

Title: Miss First Name: Emily Surname: Winstone  
 Company name:  
 Street address: Via Del Fagiano  
 Telephone number: 0039 3920453490  
 Mobile number:  
 Fax number:  
 Email address: emily@emilywinstonedesign.com  
 Town/City: Perugia  
 Country: Italy  
 Postcode: 06123

3. Description of Proposed Works

Please describe the proposed works:  
 Addition of rear roof terrace to semidetached dwelling  
 Has the work already been started without planning permission?  Yes  No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available) Description:

House: 21 Suffix:

House name:

Street address: Fordwych Road

Town/City: LONDON

County:

Postcode: NW2 3TN

Description of location or a grid reference (must be completed if postcode is not known):

Easting: 524778

Northing: 184825

#### 5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?  Yes  No

Is a new or altered pedestrian access proposed to or from the public highway?  Yes  No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?  Yes  No

#### 6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?  Yes  No

#### 7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary?  Yes  No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?  Yes  No

#### 8. Parking

Will the proposed works affect existing car parking arrangements?  Yes  No

#### 9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council?  Yes  No

#### 10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?  Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent  The applicant  Other person

#### 11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

**Walls - description:**  
Description of *existing* materials and finishes:  
n/a

Description of *proposed* materials and finishes:  
roof slates to match existing roof

**Doors - description:**  
Description of *existing* materials and finishes:  
paint finished timber framed

Description of *proposed* materials and finishes:  
paint finished timber framed

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?  Yes  No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:  
Supporting Information

FILE COPY

2009/ 2136/



emily winstone design  
144 779 355 0226  
emily@emilywinstonedesign.com

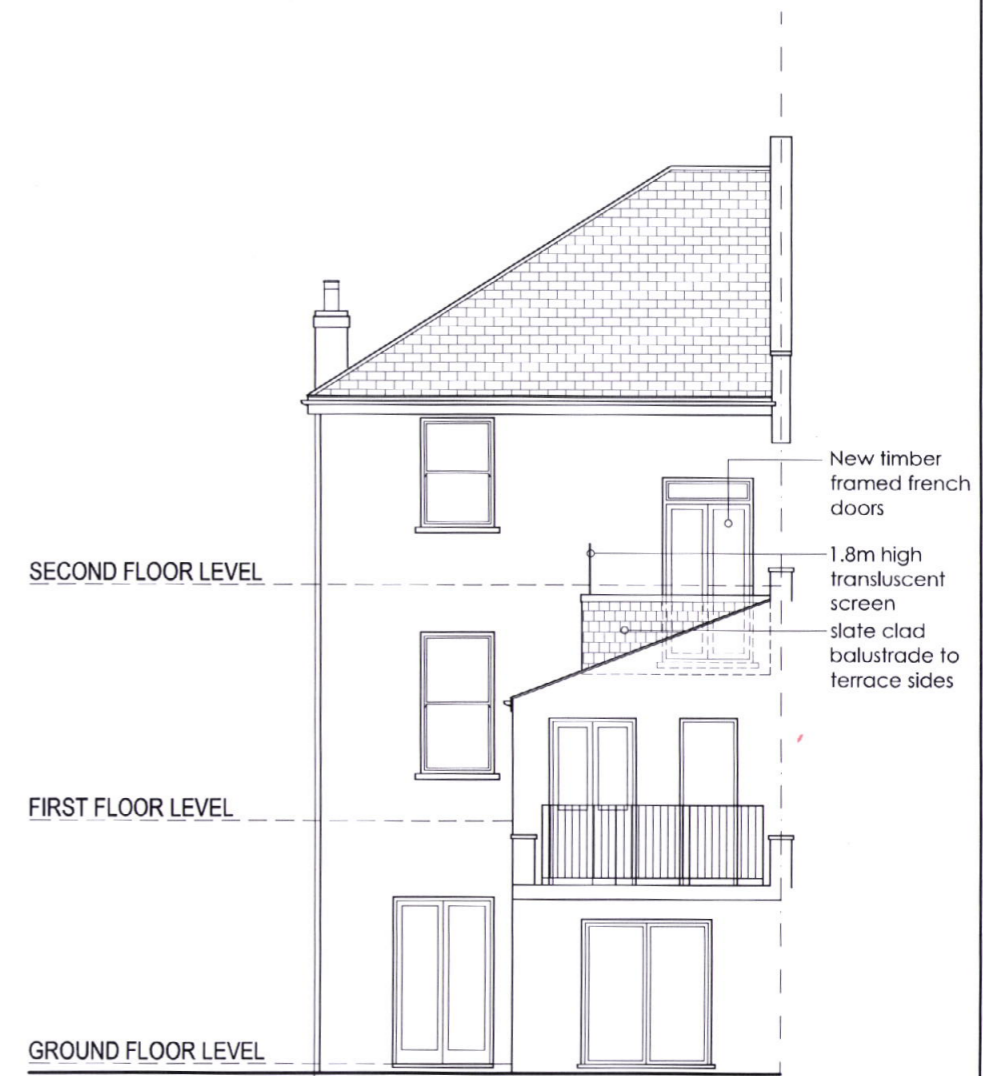
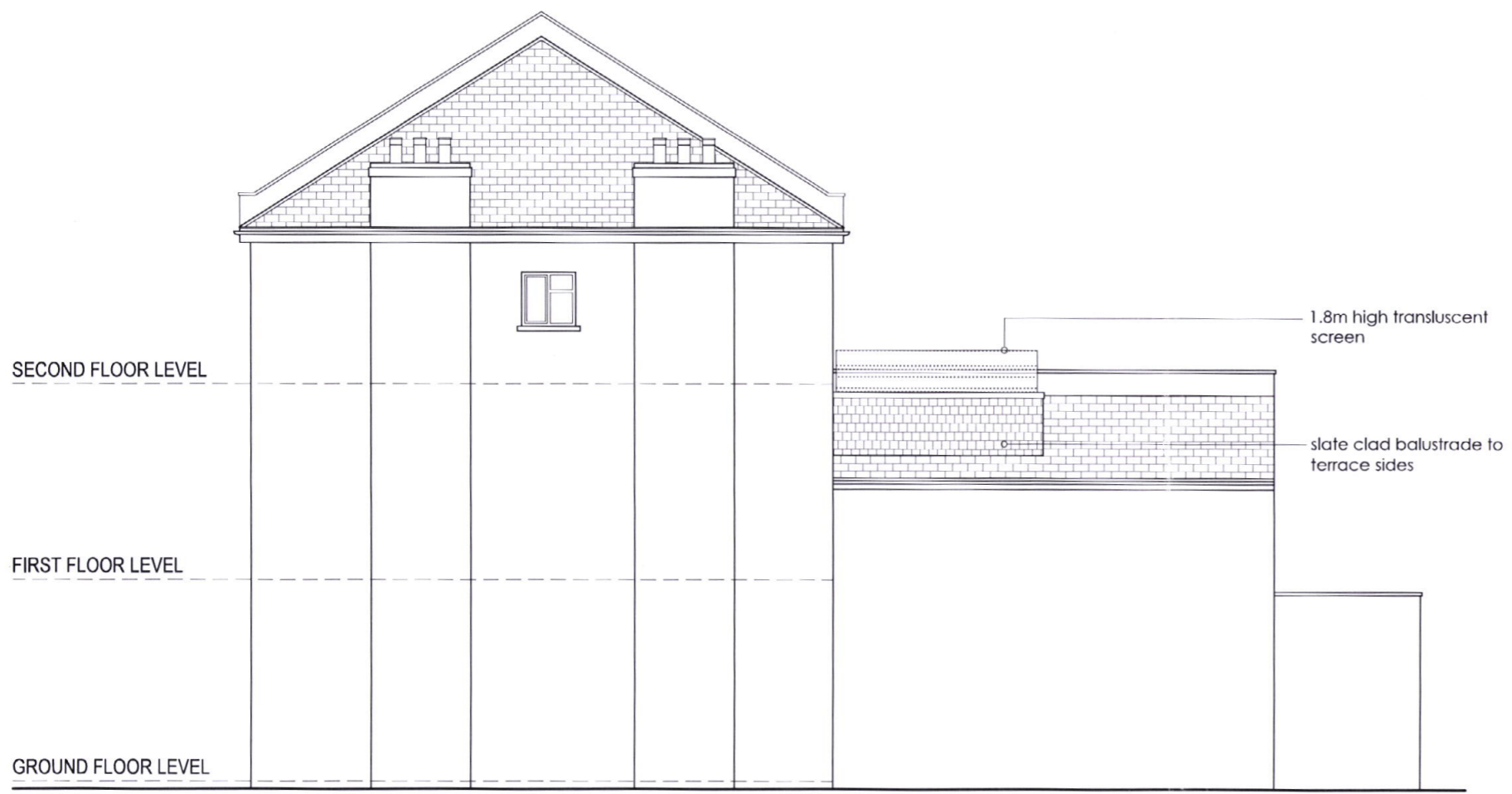


Client	Geoff Cawson & Jim Rea
Date	Apr 09
Project	21 Fordwych Rd London NW2 3TN
Scale	1:1000 @ A3
Drawing no.	A00
Rev no.	1
Status	PLANNING
Title	LOCATION PLAN

PLANS APPROVED

22 JUN 2009

Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand. Discrepancies, where identified must be reported immediately. This drawing is issued for design intent only & should not be used for construction unless otherwise stated. If in doubt, ask.



PROPOSED SIDE ELEVATION

PROPOSED REAR ELEVATION



PLANNING  
22 JUN 2009

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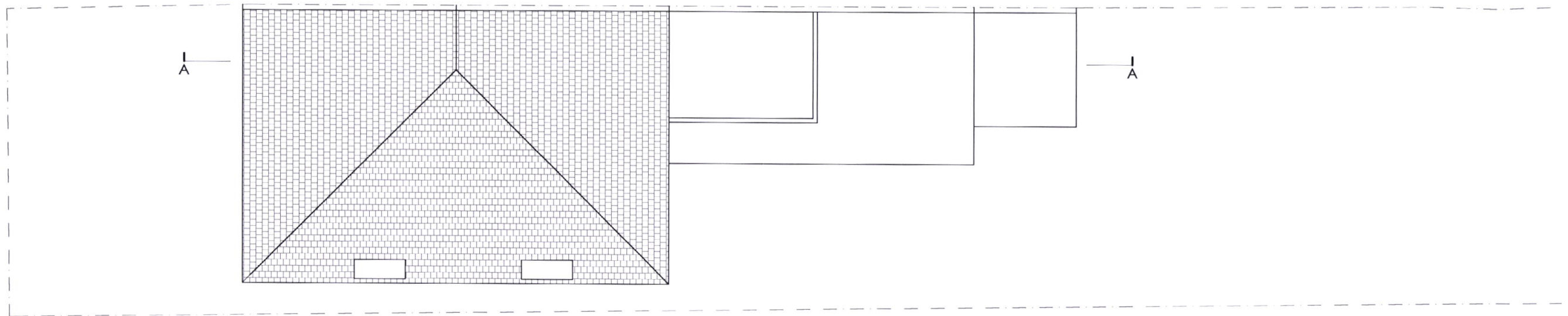
NOTES:  
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4. Contractor & Subcontractors to check & confirm all existing dimensions on site

REV	DATE	NOTES
A	18.06.09	Terrace width amended

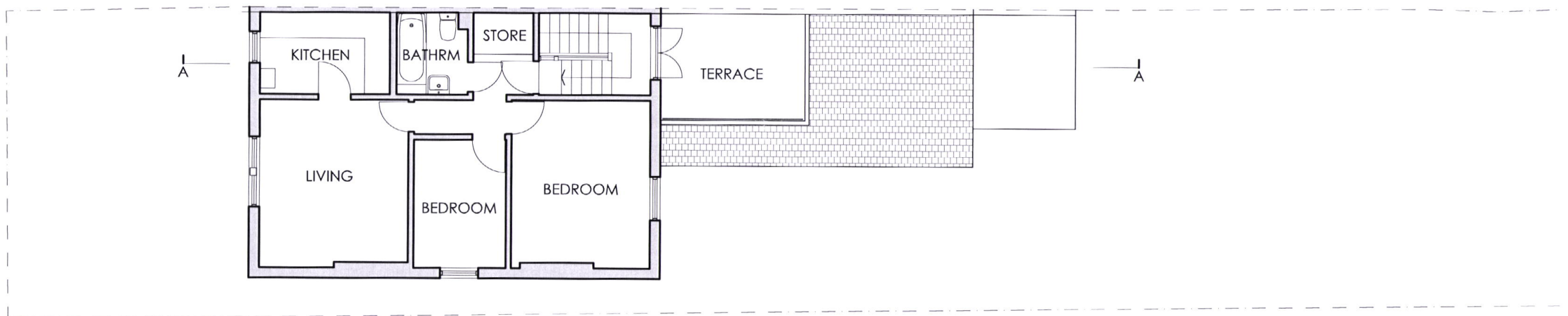
Client	Geoff Cawson & Jim Rea
Project	21 Fordwych Rd London NW2 3TN
Title	PROPOSED ELEVATIONS

Date	Apr 09
Scale	1 : 100 @ A3
Drawing no.	A03
Rev no.	(A) 18.06.09
Status	PLANNING

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emily winstone design  
+44 779 356 0226  
emily@emilywinstonedesign.com



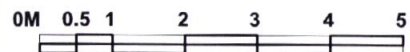
PROPOSED ROOF PLAN



PROPOSED SECOND FLOOR PLAN

PLANS APPROVED

22 JUN 2009



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Title	PROPOSED PLANS

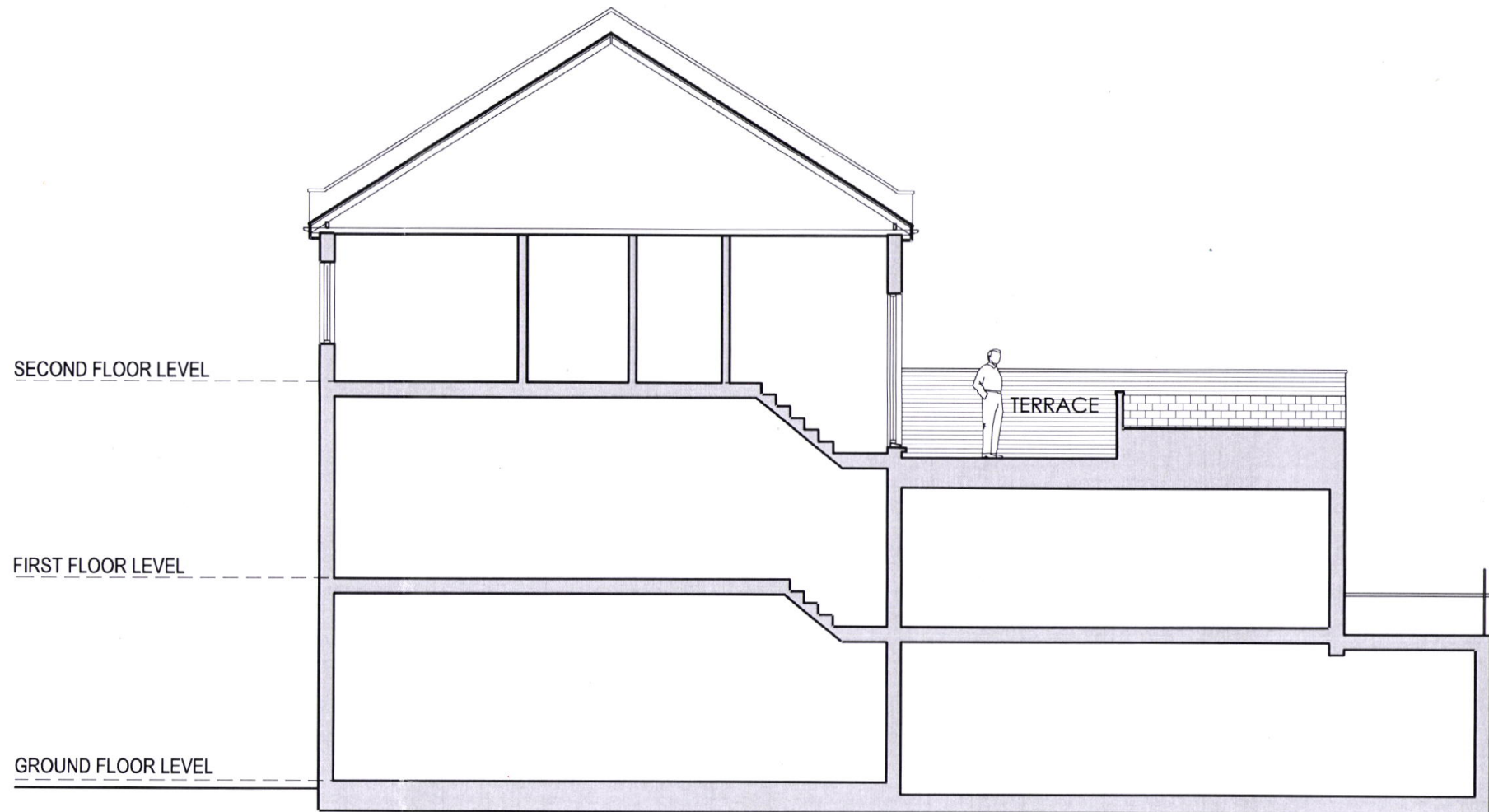
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Drawing no.	A01
Rev no.	(A) 18.06.09
Status	PLANNING

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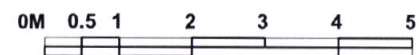
PROPOSED STREET ELEVATION



PROPOSED SECTION

PLANS APPROVED

22 JUL 2009



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REV	DATE	NOTES

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Project	21 Fordwych Rd London NW2 3TN
Title	PROPOSED ELEVATION & SECTION

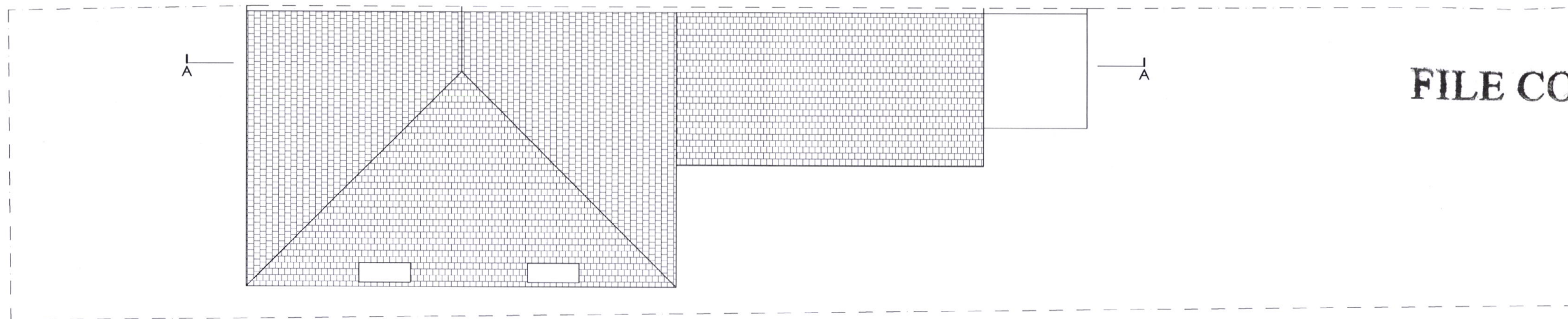
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Drawing no.	A02
Rev no.	(-)
Status	PLANNING

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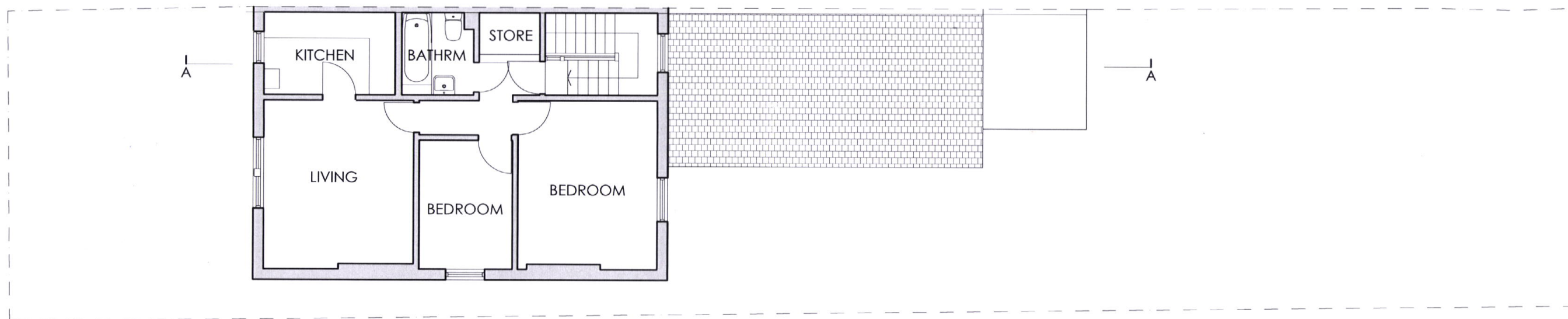
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+44 779 356 0226  
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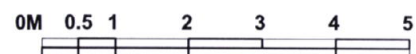


EXISTING ROOF PLAN



EXISTING SECOND FLOOR PLAN

PLANNING  
22 JUL 2009



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Title	EXISTING PLANS

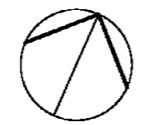
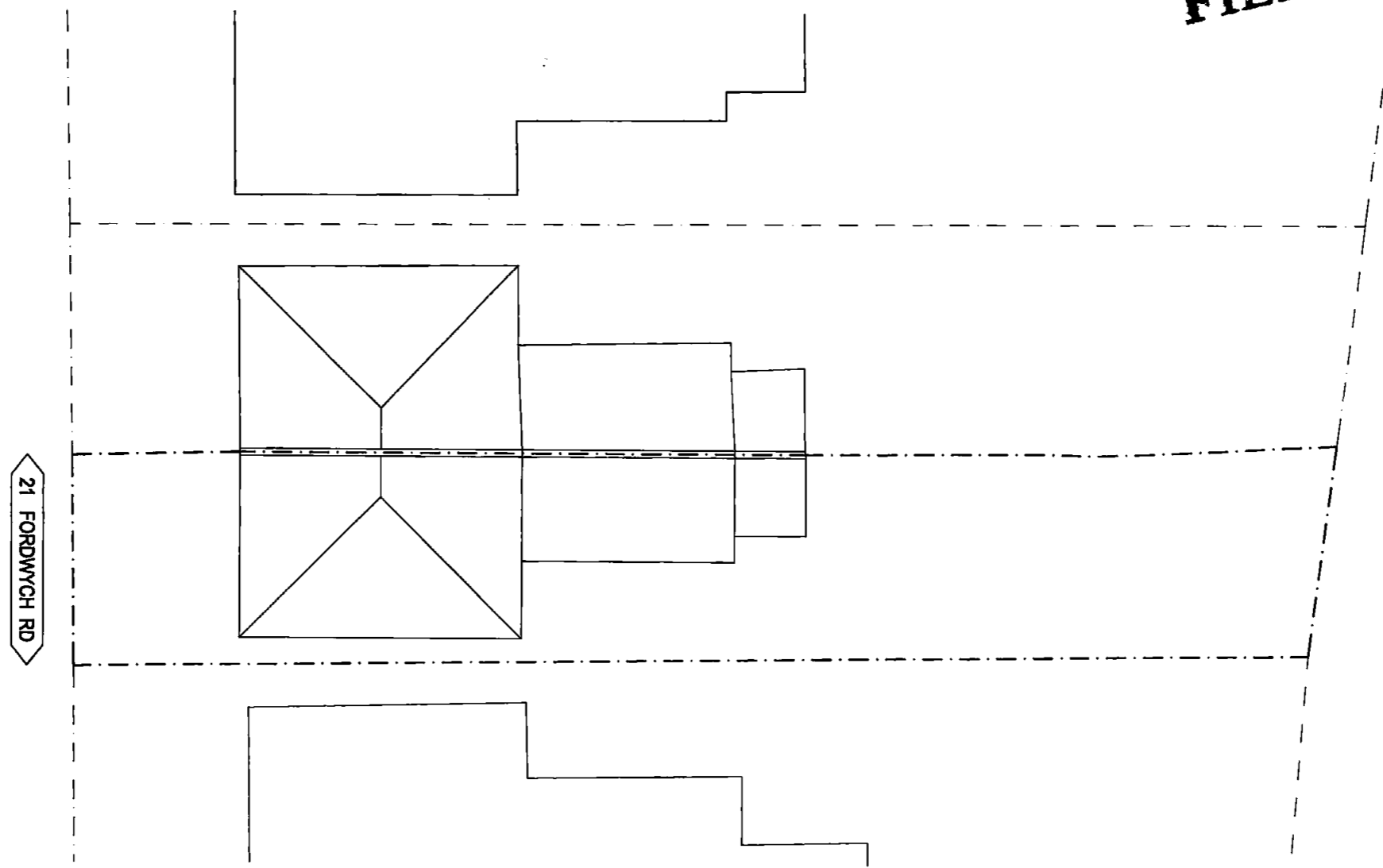
Date	Apr 09
Scale	1 : 100 @ A3
Drawing no.	S02
Rev no.	(-)
Status	PLANNING

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2009/2136/P  
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PLANS APPROVED

22 JUN 2009

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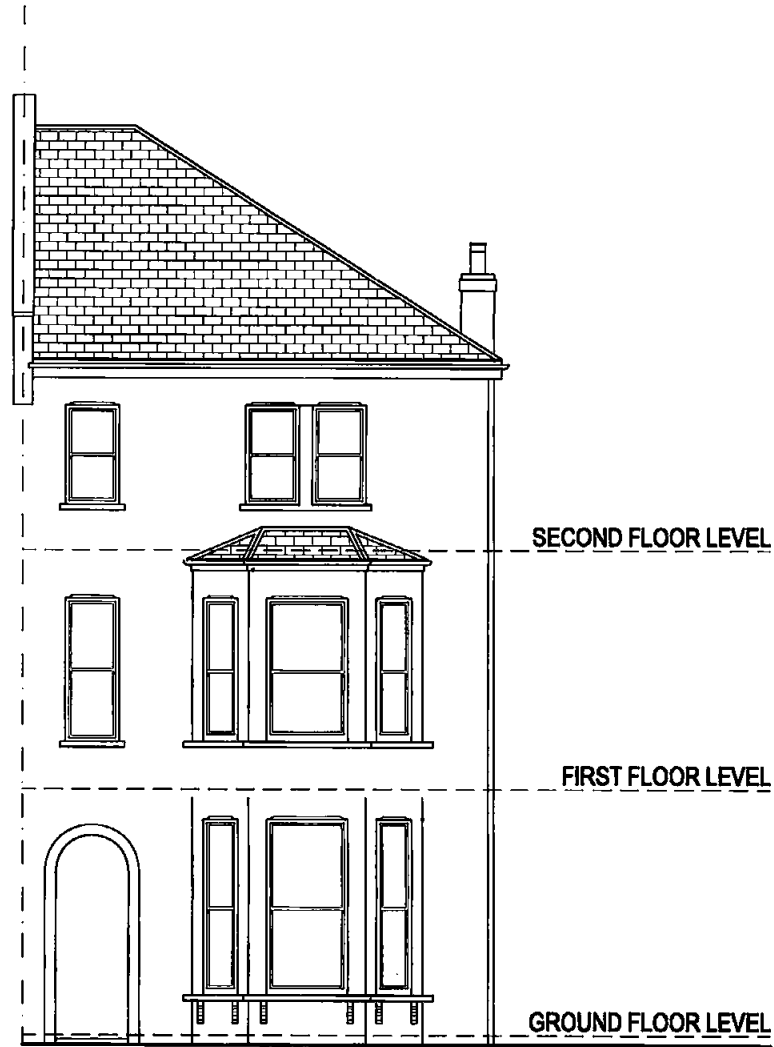
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Project	21 Fordwych Rd London NW2 3TN
Title	EXISTING SITE PLAN

Date	Apr 09
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Drawing no.	S01
Rev no.	(-)
Status	PLANNING

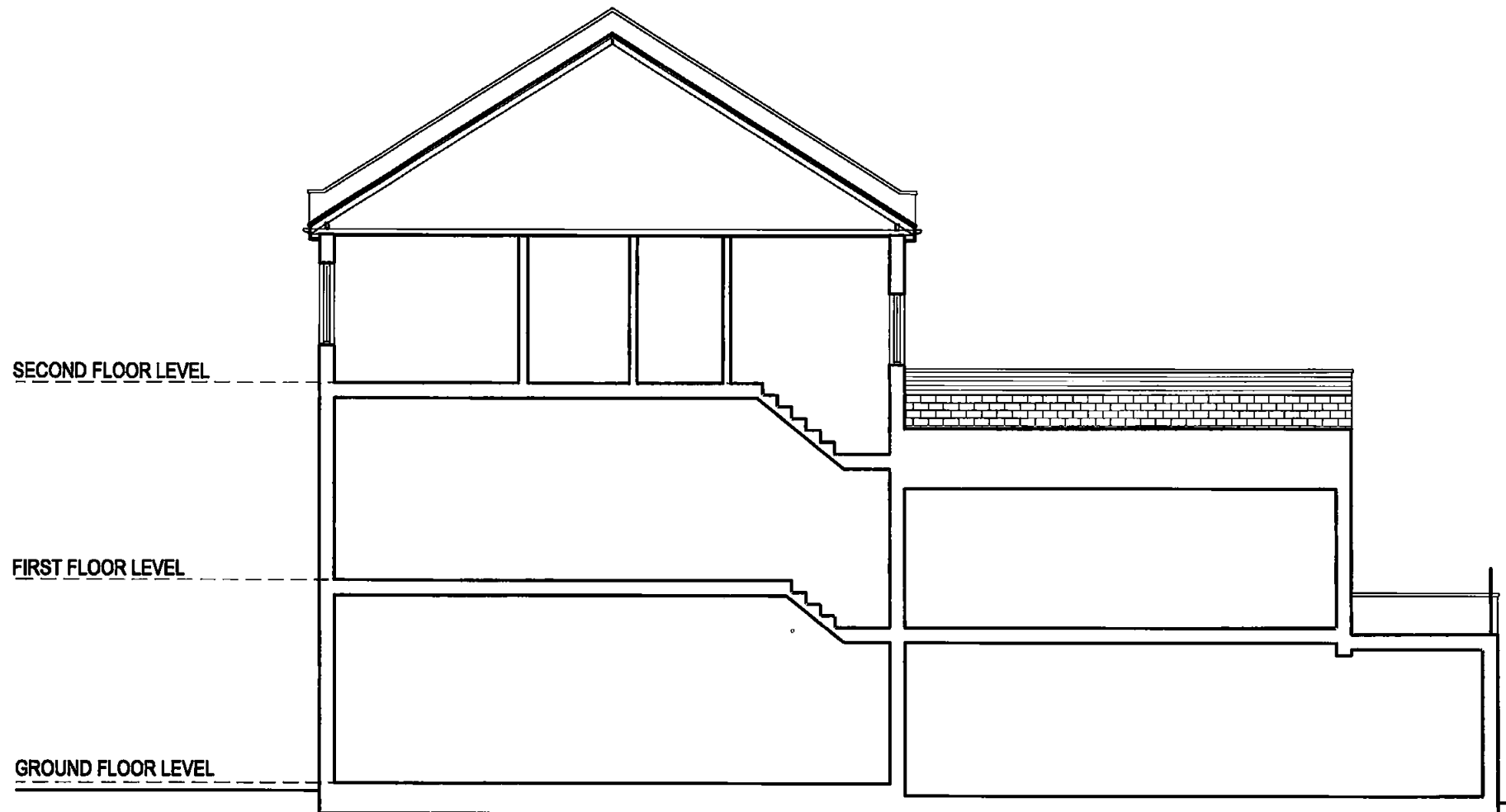
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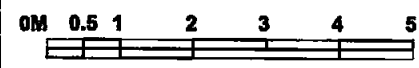


EXISTING STREET ELEVATION



EXISTING SECTION

PLANS  
22 JUN 2009



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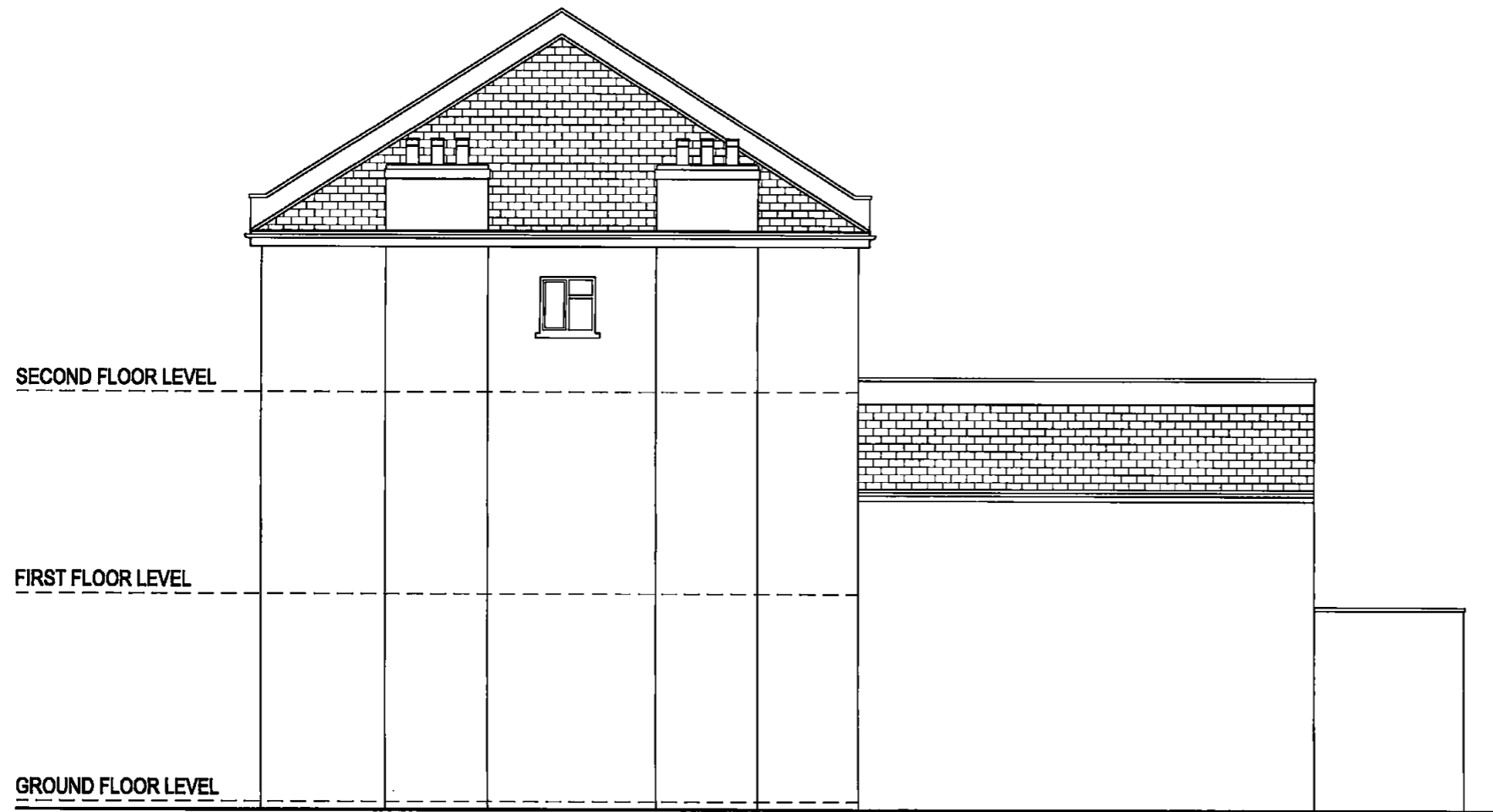
REV	DATE	NOTES

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Project	21 Fordwych Rd London NW2 3TN
Title	EXISTING ELEVATION & SECTION

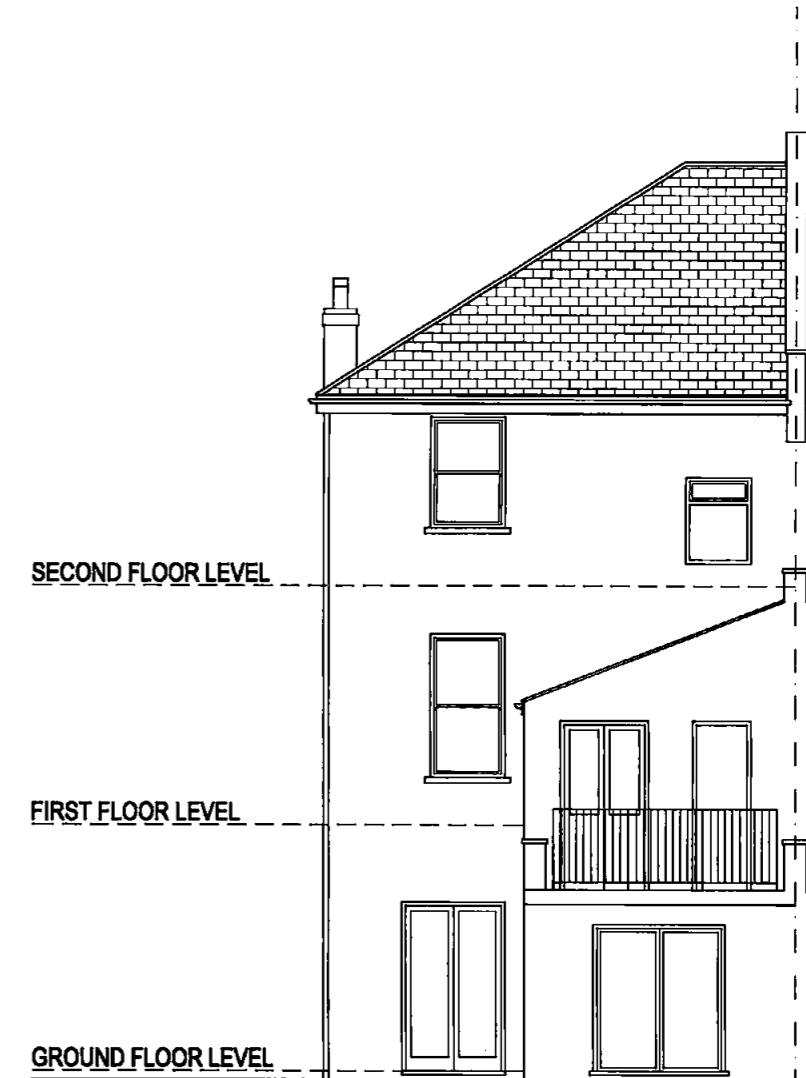
Date	Apr 09
Scale	1:100 @ A3
Drawing no.	S03
Rev no.	(-)
Status	PLANNING

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emily winstone design  
+44 779 356 0226  
emilly@emilywinstonedesign.com

FILE COPY



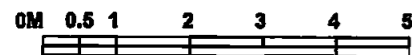
EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION

PLANS APPROVED

22 JUN 2009



Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand.  
If in doubt, ask.

NOTES:  
1. Do not scale off this drawing for construction purposes  
2. This drawing is to be read in conjunction with all relevant architectural, structural, and services engineers drawings and specifications  
3. All drawings to be checked by building control prior to construction  
4. Contractor & Subcontractors to check & confirm all existing dimensions on site

REV	DATE	NOTES
-	-	-

Client Geoff Cawson & Jim Rea  
Project 21 Fordwych Rd  
London  
NW2 3TN  
Title EXISTING ELEVATIONS

Date Apr 09  
Scale 1 : 100 @ A3  
Drawing no. S04  
Rev no. (-)  
Status PLANNING

ewd

emily winstone design

+44 779 356 0226  
emily@emilywinstonedesign.com



View From Street



View From Rear

FLAT 4, 21 FORDWYCH RD, LONDON, NW2 3TN

**DESIGN & ACCESS STATEMENT  
PLANNING STATEMENT  
APRIL 2009****2009/ 2136 / FILE COPY**

### 1.0 Introduction

This design and access statement has been prepared by Emily Winstone Design to explain the proposed works at Flat 4, 21 Fordwych Rd together with the submitted application for planning permission.

These applications are submitted on behalf of Geoff Cawson & Jim Rea and propose the addition of a roof terrace inserted within the existing roof slope of the existing rear lean-to part of the dwelling.

### 2.0 Site Location and Surroundings

This property is a three storey semi detached dwelling. It is not within any Conservation Area. It is not a listed property. The street is characterised by three storey semi detached dwellings.

### 3.0 Proposal

The proposed alterations are add a set of French doors to the rear elevation which will open out onto a new roof terrace which is to be set into the existing rear roof slope.

Camden's UDP policy 3.31 encourages well designed and considered alterations and extensions to buildings to allow more efficient use of the scarce land in the borough. However states that the Council will not grant planning permission for alterations and extensions that is considers cause harm to the architectural quality of the existing building or the surround area.

The terrace has therefore been sensitively designed to comply with the Councils guidelines as per 41.32 of the Camden Planning guidance.

The terrace is subordinate to the original building in terms of scale and situation. The size and proportion of the roof terrace and the fact that it is set down into the existing roof slope is such there will be no adverse impact upon the levels of daylight / sunlight enjoyed by adjoining properties.

The side walls of the roof terrace are to be clad in slates to match the existing roofing and the new French doors to the terrace are to be paint finished timber doors.

The alterations will therefore blend in with the character of the existing dwelling, whilst also preserving the architectural integrity of the existing building. The alterations will not impact adversely on the visual amenity of dwelling or the neighbouring occupants.

A 1.8m high translucent is to be erected to the south side of the terrace to prevent any possible overlooking from the terrace to the neighbouring dwelling.

The design of the roof terrace is identical to the roof terrace at 44 Fordwych Rd (planning application no 2007/4005/P) which was granted planning permission on 30-08-2007 There is therefore existing precedent for this type of alteration.

### 4.0 Access

The existing access to the property has not changed

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architecture, interiors &amp; design

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