

Forgot to mention in my earlier email yesterday, the following.

After the external wall cracked render facing the car park is repaired by Trent, I am putting in internal wall insulation for solid walls approved by Historic England (formerly English Heritage) at my own expense to all my external walls so any movement due to your development is not that relevant unless structural.

I am also putting in secondary windows.

See extract from my email from 2016 to Ecomerchant. The wall insulation also acts as a fire retardant and cavity fire barrier and can stop football noise from Haverstock School as would the secondary windows.

Last point, all buildings move naturally and will produce cracking particularly where plasterboard partitions meet solid walls and at joints with ceilings and walls.

Yours

[REDACTED]

[REDACTED]

EXTRACT

22 June 2016 10:11

To: EM_info

Subject: Wall insulation to solid wall houses guidelines by Historic England (Formerly English Heritage) published April 2016

<http://www.ecomerchant.co.uk/walls/insulation.html?gclid=COzY9Kiju80CFsSz0wodZyAJBq>

Wood-fibre slabs can be finished with birch ply to avoid wet trades



<https://historicensland.org.uk/images-books/publications/eehb-insulating-solid-walls/>

4.3 Changes in moisture movement within the wall In order to prevent condensation occurring on the cold side of internal 'vapour-closed' insulation it is necessary to separate it effectively from the warm moisture-bearing air of the building's interior. This will require the use of an effective vapour control layer.

Alternatively, a 'vapour open' permeable system such as wood-fibre can be used where no vapour control layers are needed.

Quote below in italics from web link on the responsibility of the developer to do a schedule of condition of adjacent properties

Building next to an existing adjoining property

<https://www.boodlehatfield.com/the-firm/articles/good-neighbours/>

It is therefore good practice, whether or not party wall surveyors are involved, for a schedule of condition to be prepared for each adjoining property, in order to avoid unnecessary arguments as regards the extent of damage: unscrupulous adjoining owners do sometimes see development work on adjoining land as a blank cheque for the repair of existing cracks!

.....



Hover mouse over images to download jpegs



Ground bearing concrete slab as hard-standing for car parking.

Please do not break up violently as was done in January 2012 soil survey as vibration goes straight up entire wall. We contacted Camden Building Control



.....
Dear [REDACTED]

It was good to meet you on 3 October 2018 at Charlie Ratchford Centre.

I have now had an opportunity to look through the Construction Management Plan. Unfortunately, Figure 10 is illegible. Could you please send me a legible version?

I would like to be part of Construction Working Group; please let me know the details of the next meeting.

Best

[REDACTED]

.....
For the part of the wall coloured yellow on the attached map, the only way to see it from our side is to come through my flat which is on the raised ground floor. And you are welcome to do so, except that I'm currently not often in. I could do tomorrow at midday or 30 October at 5pm.

For the part of the wall coloured red, you will need to go through one of the basement flats (which are A flats) into the garden. I have no access at all to the garden.

Best

[REDACTED]



On 19 Oct 2018, at 09:06 [REDACTED] (Galliford Try)

<[REDACTED]> wrote:

Hi [REDACTED]

Good to meet you also.

I have forwarded your e-mail to local dialogue to inform them of your participation in CWG.

I intend to update and re-issue the CMP in the forthcoming meeting, which will accommodate all comments received. I will also; as you have requested include a more legible Construction programme.

I hope this is ok.

[REDACTED] while I have you I am trying to arrange a visit to look at the Boundary/ Garden Wall to No.11 that faces site. I am keen to view the wall from the occupier side. I have e-mailed [REDACTED] but this e-mail has bounced back.

Is this something you could possibly help me with?

Best Regards

-----Original Message-----

From: [REDACTED]

Sent: 18 October 2018 14:20

To: [REDACTED]

Subject: Charlie Ratchford Centre

Dear [REDACTED]

It was good to meet you on 3 October 2018 at Charlie Ratchford Centre.

I have now had an opportunity to look through the Construction Management Plan. Unfortunately, Figure 10 is illegible. Could you please send me a legible version?

I would like to be part of Construction Working Group; please let me know the details of the next meeting.

Best

[REDACTED]

[CWG Meeting Minutes and CMP Portal Feedback](#)

[CMP Comments following First Consultation Meeting 03rd Oct](#)

[CMP related comments- Updated 22.10.18](#)

Received: 3/10/2018 (Meet the Contractor event)

Name: [REDACTED] (Director of Finance and Operations)

Address: Haverstock School, 24 Haverstock Hill, Chalk Farm, London, NW3 2BQ

Email: [REDACTED]@haverstock.camden.sch.uk

Number: [REDACTED]

Comments: As a representative of the school I am interested to know if, when a crane is installed on site to deliver the construction, will the crane over sail the school site at any time?

Interested in joining CWG: Yes



Name: [REDACTED]

Address: [REDACTED]

Comments:

- Concerns regarding the suspension of parking and creation of a zebra crossing. As an elderly woman I am concerned about my safety if I have to park in another street when I come back late at night.
- Concerns regarding access to the rear of out building: We need access across the site from time to time for scaffolding when carrying out routine repair and maintenance to the rear of the building.
- Also, access is required to regular to tree pruning of the trees in the rear garden.

Interested in joining CWG: Yes

Name: [REDACTED]

Address: [REDACTED]

Comments: 8am - 6pm Mon - Fri is acceptable, but Saturday 1 weekend working will seriously affect quality of life. Please keep to Mon - Fri.

Interested in joining CWG: Yes

Received: 9/10/2018 6:04 PM (Website feedback entry)

Crogsland Road is a major route for cyclists. My impression is that despite Camden's comments GTP have treated Crogsland Rd as a one-way street north to south. A cyclist entering from Chalk Fm Rd is likely to encounter large/wide lorries in a narrow space between parked cars; and these lorries will be crossing from (their) left to right to access the unloading bay, assuming that nothing will be coming toward them, or immediately following them. (And subsequently departing right to left). If a lorry stops, say awaiting instructions from a banksperson, a cyclist might pass on either side and be crushed when the lorry moves. I think many more parking bays should be suspended to allow cyclists more passing space. From whichever way lorries approach along PoWRd, they will cross the proposed westbound cycle track. My experience is that they give way to motor vehicles but are unaware of cyclists on the cycle track. If the cycle track is not in place, it is even more important that a cyclist holds the lane approaching the pedestrian islands when being followed by a construction lorry. GTP told me that the exit route would be Chalk Fm Rd southbound, left turn into Malden Rd, then unknown. How to access the A41? Alternatively, south to Camden St and left on to CamdenRd? I don't think this has been thought through.

Introduction

Galliford Try Partnerships and Regeneration are delighted to submit for review; the following Construction Management Plan for the project known as 'Charlie Ratchford Extra-Care'

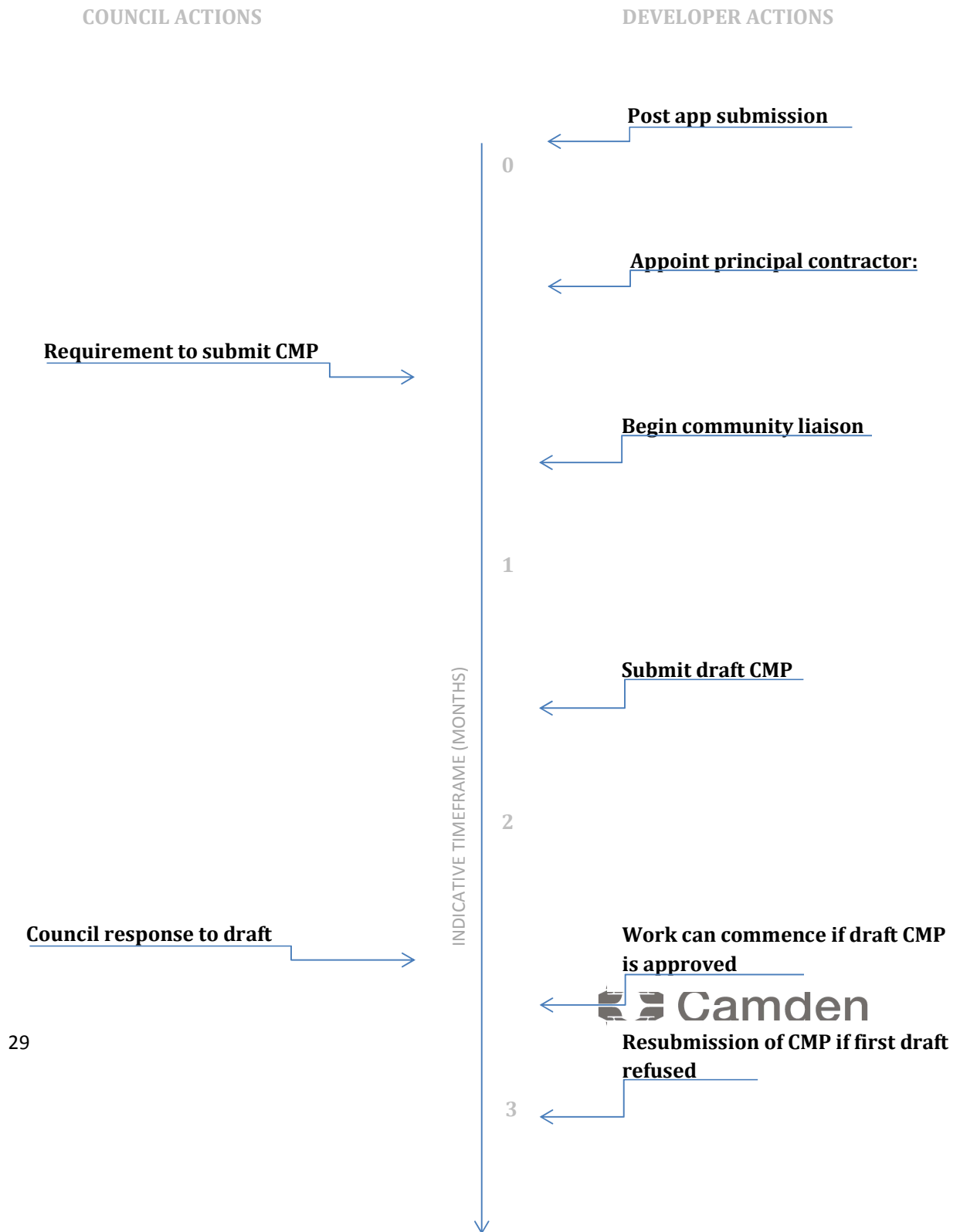
The Charlie Ratchford project is located on a vacant plot in Crogsland Road which will be developed to provide a Community Resource facility and provide 38 new independent extra care living units.



The content within this document aims to provide a clear and structured summary of how we intend to seamlessly deliver the scheme and achieve Camden's vision for the facility successfully.

Timeframe

Please see below Camden Pro-forma template included for clarity;



Contact

Project Address

Vacant site adjacent to no 11 Crogsland Road London NW1 8HF

Planning reference number to which the CMP applies: 2015/0921/P

Contact details for CMP Submission

Name: [REDACTED]

Address: Broadway Chambers, 2 Broadway, Stratford, London E15 4QS

Email: [REDACTED]

Phone: [REDACTED]

Full contact details of the site project manager responsible for day-to-day management of the works and dealing with any complaints from residents and businesses/ community liaison

Name: [REDACTED] / Local Dialogue: [REDACTED]

Address: Broadway Chambers, 2 Broadway, Stratford, London E15 4QS

Email: [REDACTED]@galliford try.co.uk

Phone: [REDACTED]

Main Contractor Contact Details

Name: Galliford Try Partnerships and Regeneration South East

Address: Broadway Chambers, 2 Broadway, Stratford, London E15 4QS

Email: www.gallifordtry.co.uk

Phone: 02082215000

Name: [REDACTED]

Address: Broadway Chambers, 2 Broadway, Stratford, London E15 4QS

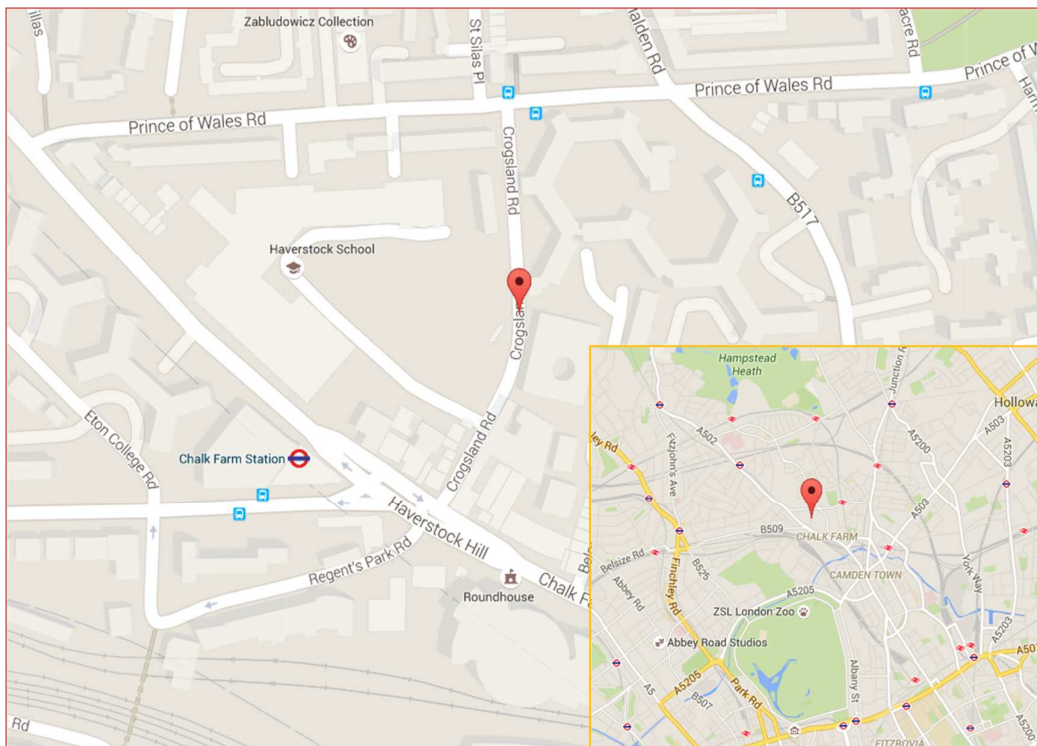
Email: [REDACTED]@galliford try.co.uk

Phone: [REDACTED]

Site

Site Location

The site is located along Crogsland Road NW1 and the Local Authority is the London Borough of Camden. The nearest station is Chalk Farm and access to Crogsland Road is via Prince of Wales Road.

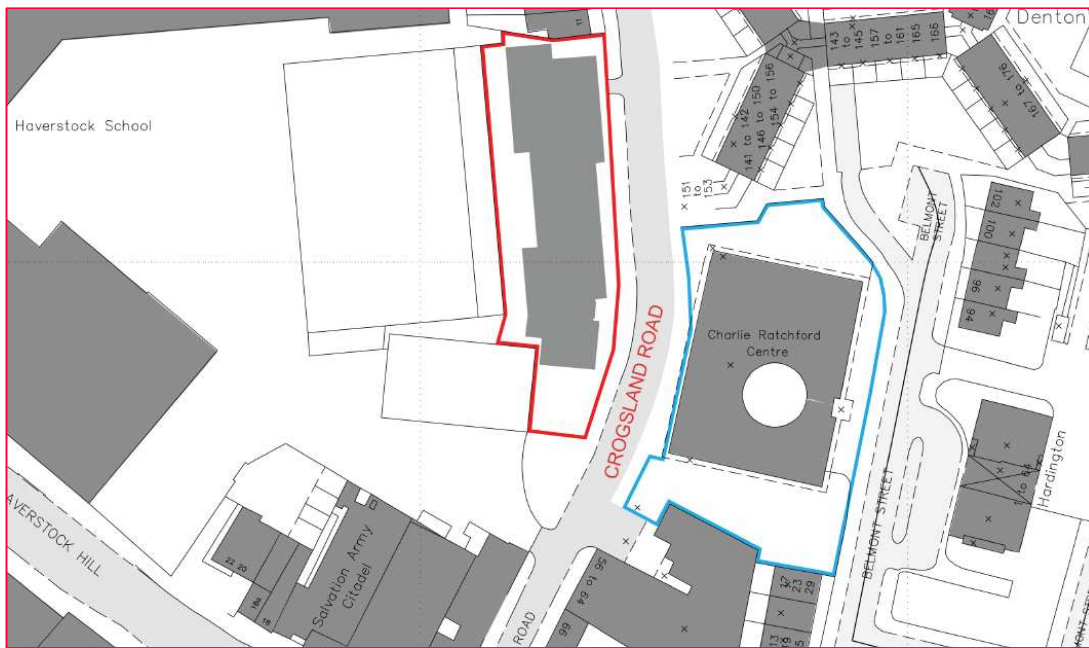


This CMP applies to the contract for the design and construction of a mixed tenure Affordable Extra Care Housing Facility known as Charlie Ratchford located in Camden, London.

The works comprise of the clearance of existing hard standings and permitted landscape features followed by the construction of approx. 38 number 1 & 2 Bed self-contained apartments above communal and ancillary facilities combining as a resource and day centre for the local community (See Fig 1: Red Line CR Site Extents).

Further provisions include mini-bus parking and communal gardens.

FIG.1 Red Line CR Site Extents



The site is bound to the North by existing residential properties, Haverstock School to the West/SW and area of retained trees to the South. To the East are further residential properties in addition to the existing Charlie Ratchford Centre (Blue line indicated) with access via Belmont Street.

External Works

The proposed scheme includes high quality landscaping to communal garden areas clearly visible along the Eastern public realm boundary see *Fig 2: Indicative Landscape Layout*;

Fig 2: Indicative Landscape Layout



A combination of retained mature trees and Provision of terraced landscaping/ planting will provide ecological enhancement to the modern scheme. The project will encompass terraced areas at Ground floor areas and to upper floors in the form of winter gardens/ balconies and communal terraces to the west elevation.

Construction Works

The initial stages of the scheme will consist of enabling works which will include securing the site with hoardings, isolation of services, asbestos and other surveys, soft strip, and subsequent demolition of all hard standings, site investigation works to establish any utility diversions, install of our site set up (temporary cabins) and preparation works for piling, reduced level excavation/temporary propping (if required) and piling mat installation across the site.

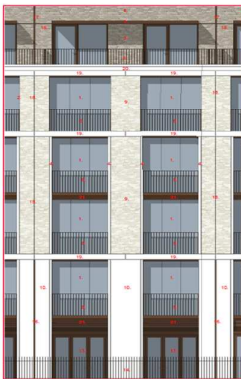
Within this period applications will be made for discharge of pre-commencement planning conditions, new utility supply quotes and applying for footpath / temporary parking suspensions, licensing etc. to accommodate the works.

The new 5/6 Storey CR Centre will be formed using reinforced concrete for the substructure and superstructure. Light gauge steel and cement particle board for external walls, finished mostly with brickwork appearance.

PROPOSED DESIGN

Material Palette

Front Elevation



Rear Elevation



- Light Buff Brick to lower levels
- Dark buff Brick to upper level
- Reconstituted stone cladding, banding and coping
- Metal fascia anodized in metallic bronze colour
- Full width recessed balconies with full height folding glazing
- Railings anodized in metallic bronze colour



In the instance of Charlie Ratchford the inclusion of reconstituted stone columns and banding to the East and west elevation and bronze clad columns to the west elevation will both enhance and blend positively with the neighbouring properties. Windows are to be aluminium

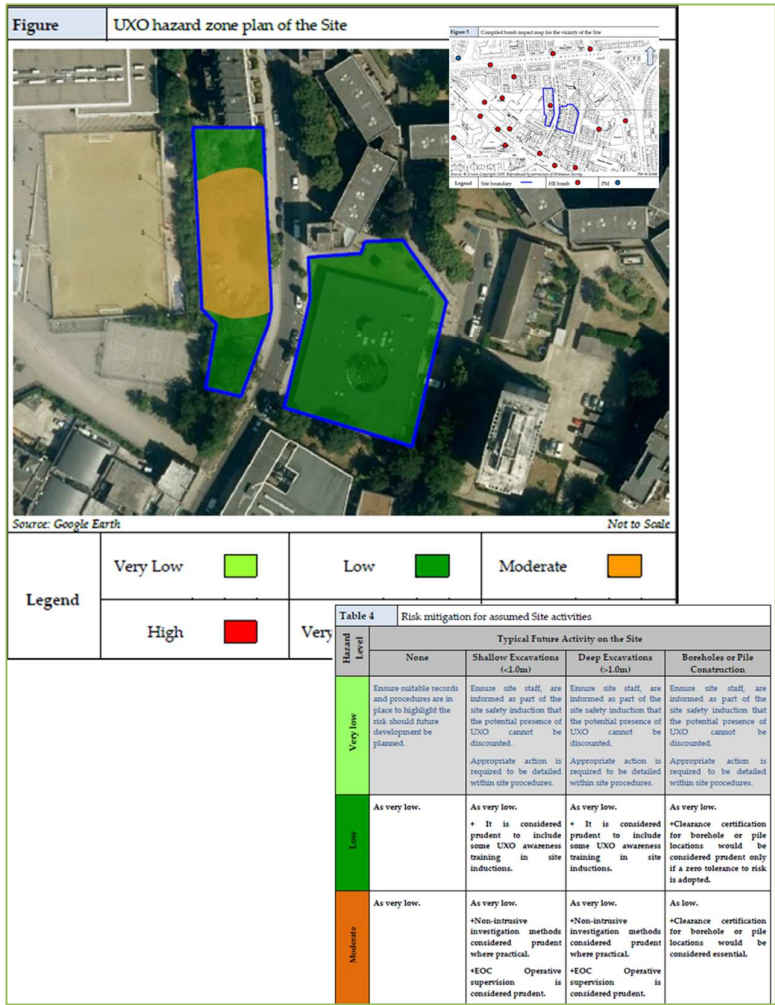
composite and the roofs are to be inverted, waterproofed with bitumen and finished as a green roof.



Site History

The sites history will also have an impact on how we execute the build and the methodology applied to investigative/enabling/ substructure works. As indicated in [Fig 3](#) the UXO report for the Charlie Ratchford Extra Care facility available at planning stage identified an area of moderate risk in respect of the bomb impact survey carried out by Zetica. Thus, all activities that could be considered ground intrusive require additional safety precautions Inc. boreholes (ground gas monitoring: Richard Jackson Engineers), reduced level excavation, piling and substructure drainage/excavation. As a moderate UXO Risk site a UXO specialist is required to provide a 'toolbox talk' prior to any works commencing and is to supervise the works. In the instance of boreholes/trial pits this will take the form of magnetometer use throughout.

Fig 3: Planning Doc: Extract from Zetica ref: Zetica Ltd – Report No. P4808-14-R1-A (See Appendix 2 for full image)

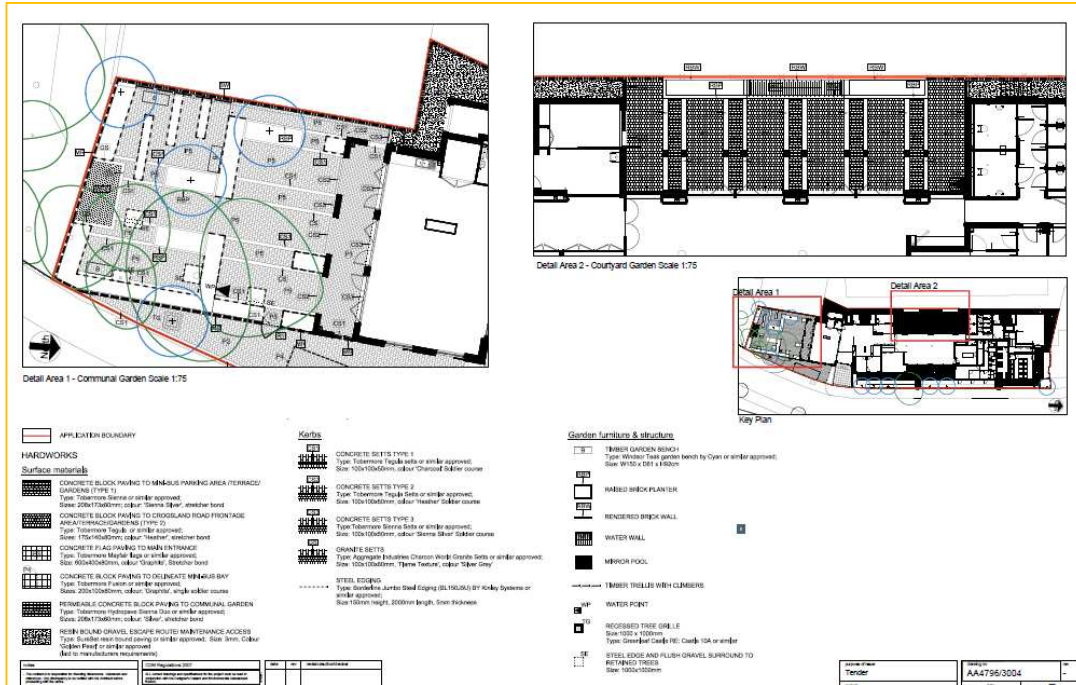


External works

These areas will be constructed / re-modelled to provide modern communal spaces linking the building to street levels with a mixture of hard and soft landscaping materials (See Fig 3: Landscaping) Roadworks/ crossovers to be agreed and carried out under agreement to be approved by planning for the proposed application boundaries



Fig 4 Landscaping Details



Issues and Challenges: Facilitating the build

The project itself in summary presents the following challenges and constraints that will require thorough planning, attention to detail and micro-management (please also see *Figure 4: Site Study*)

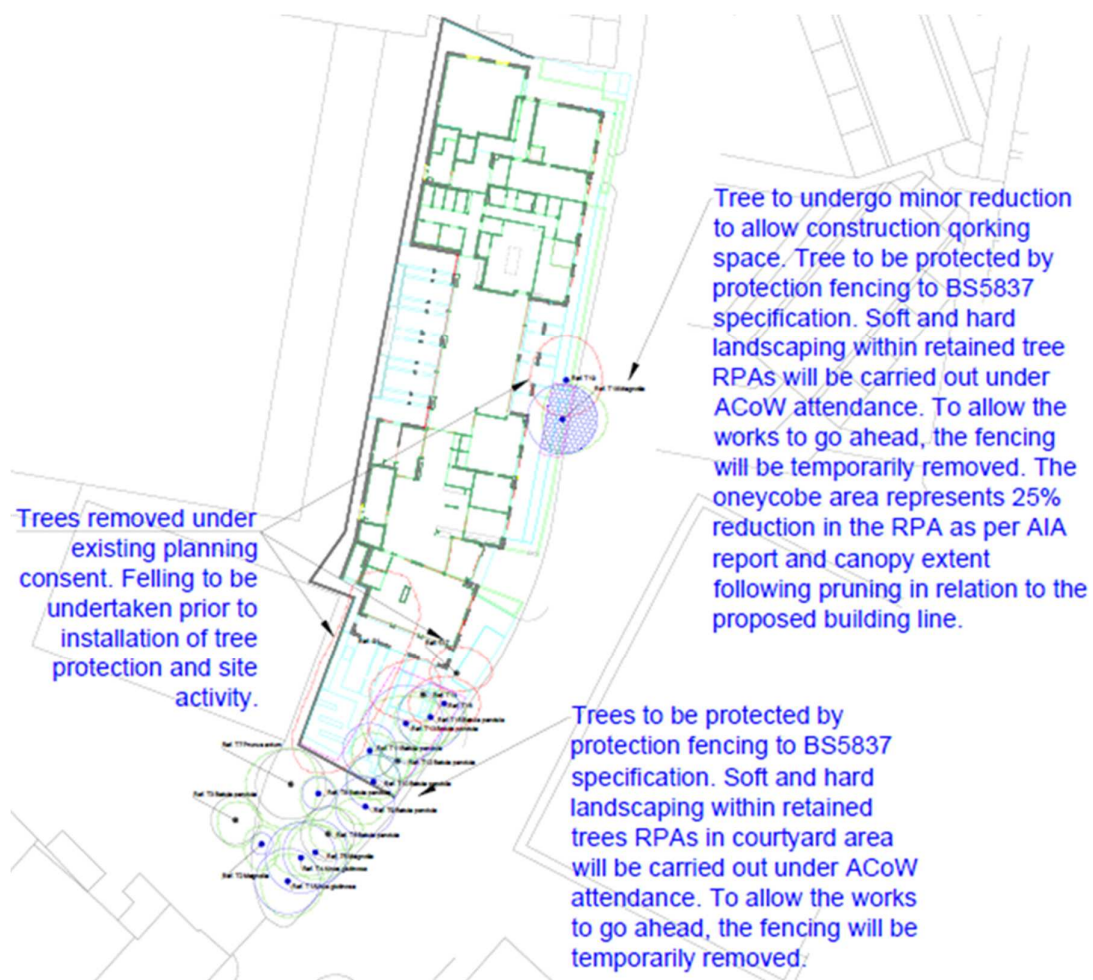
- o Existing Conditions

The presence of retained existing mature trees must be managed stringently throughout the build to protect them and comply with the requirements of the Tree preservation orders associated. The positioning of the respective trees upon initial assessment will

factor into plans for Crane Lifting arrangements/ Site material storage and delivery loading/unloading.

Please refer to Figure 5 and Appendix 3 (Greengage AMS Ref551015Nf13Dec17V01) for more specific details in relation to how the we plan to mitigate our ecological impact during the construction phase. The AMS has been produced by appointed Arboriculture Specialists 'Greengage' to ensure compliance.

Figure 5: Greengage AMS



- Properties and Boundaries

The presence of neighbouring terraced houses with semi-basements (North) and Haverstock School grounds to the West and South/SW will necessitate design consideration in respect of retaining walls and support structures, party wall matters, site boundary security/additional safety precautions.

- Confined Site/ Logistics

The proposed scheme utilises much of the footprint of the available area thus placing increased pressure on the way the project is executed in terms of logistics. Material storage is minimal thus JIT (Just in time deliveries) will be necessary to minimise congestion. By default, smaller, more frequent deliveries will need to be co-ordinated with precision to ensure minimal congestion and disruption to Crogsland Road. The road itself is narrow and effectively acts as a one-way road with banks of controlled parking bays on either side (to satisfy high density residential estate to the east). It is anticipated that parking suspensions will be necessary (subject to agreement with Camden) to enable deliveries and provide delivery loading/unloading bay/bays. Other measures suggested to ensure the Construction period is as seamless as possible include footpath closures and temporary crossings to ensure public safety.

Given site space is very constricted/ limited we have proposed to locate our site cabins on the green space opposite the site subject to agreement with Camden. Alternatively, if there is space available within the existing resource centre, we would seek to utilise this for our site offices (see following image)

