

Appendix 14: Early Vehicle Movement Assessment

Site Preparation and Piling :10 w 3d period/ programme including 3w 4d anticipated Piling Programme. Saturday working excluded from estimates.

- 4 number rigid muck loads per day (206 number loads, 412 movements (to site and to facility)
- 2 number low loader deliveries for large plant mobilisation
- 1 no rigid steel delivery per week (11 rounded / assumed 22 movements to site and to facility).
- 3 number concrete wagons per day (155 number loads, 310 movements from batching plant to site and return)
- Piling specific 3 concrete loads per day (57 number loads, assumed 114 movements)

Sub-Structure Works including ret wall and inc GF Slab:8 w period / programme

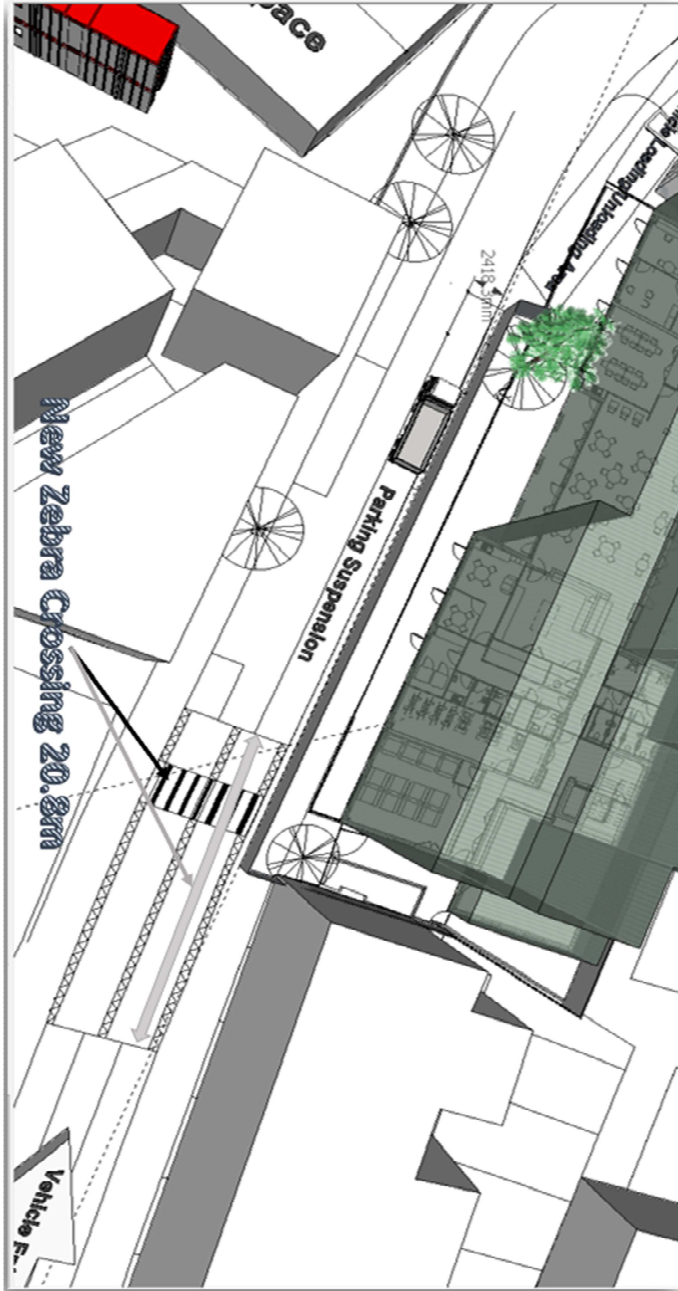
- 2 number rigid steel deliveries per week (16 deliveries, 32 movement assumed to site and return
- 3 number concrete wagons per day for verts (120 deliveries, 240 assumed movements)
- 14 loads per floor plate pour every 8-9 days (70 number loads, 140 number vehicle movements assumed)

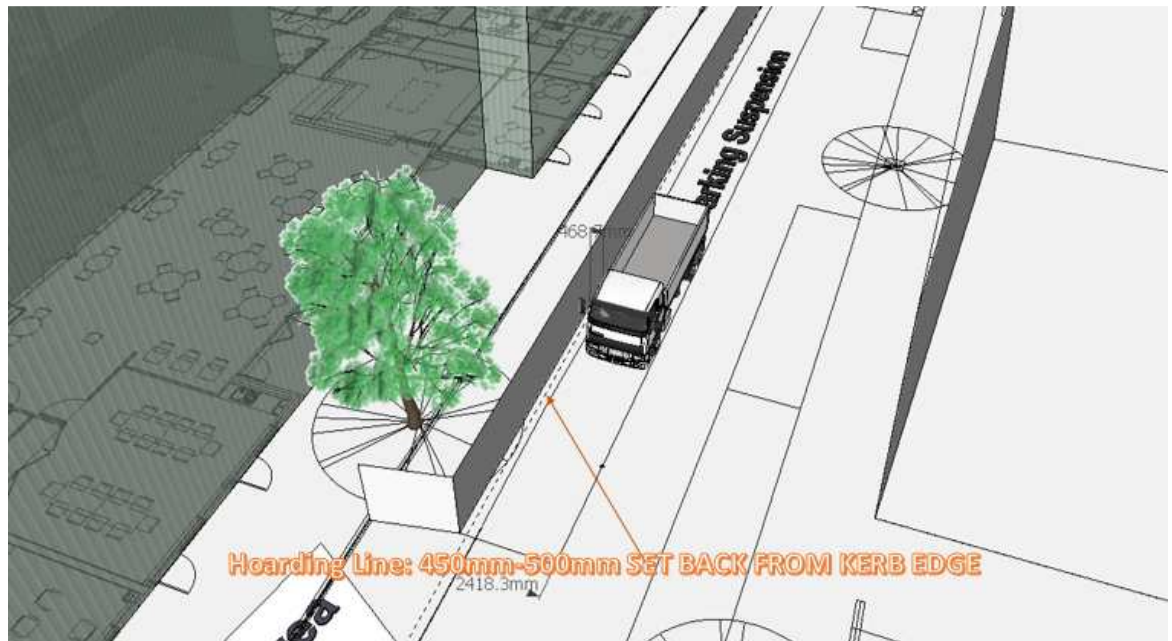
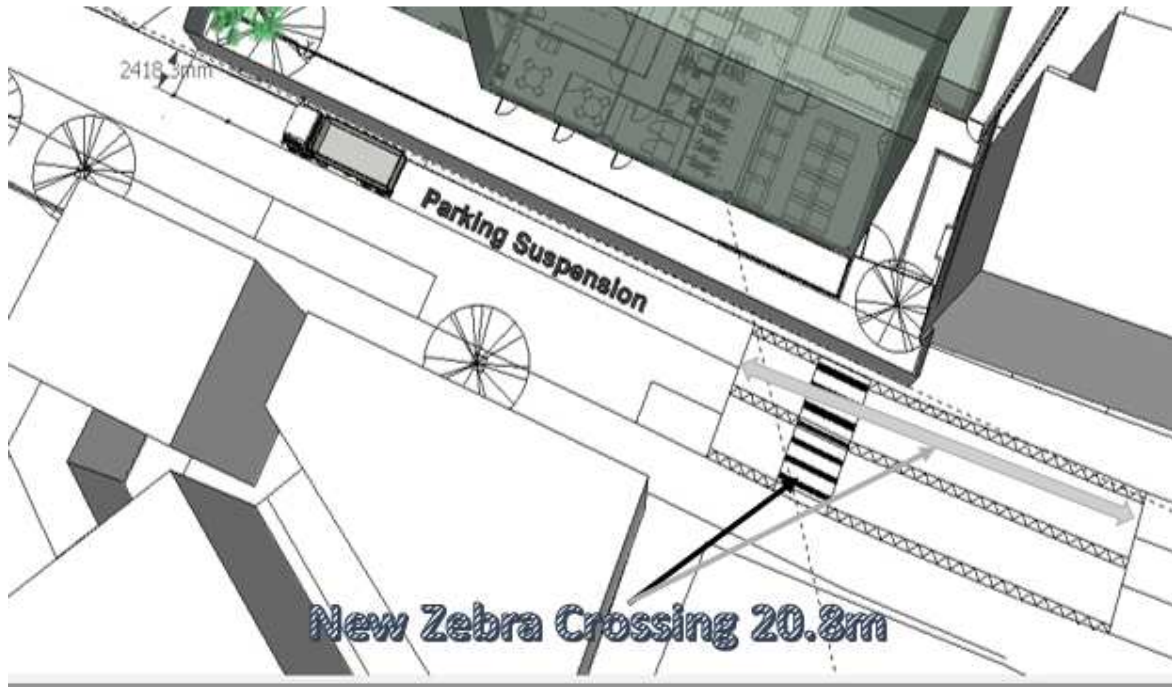
Structure:20 w period/ programme

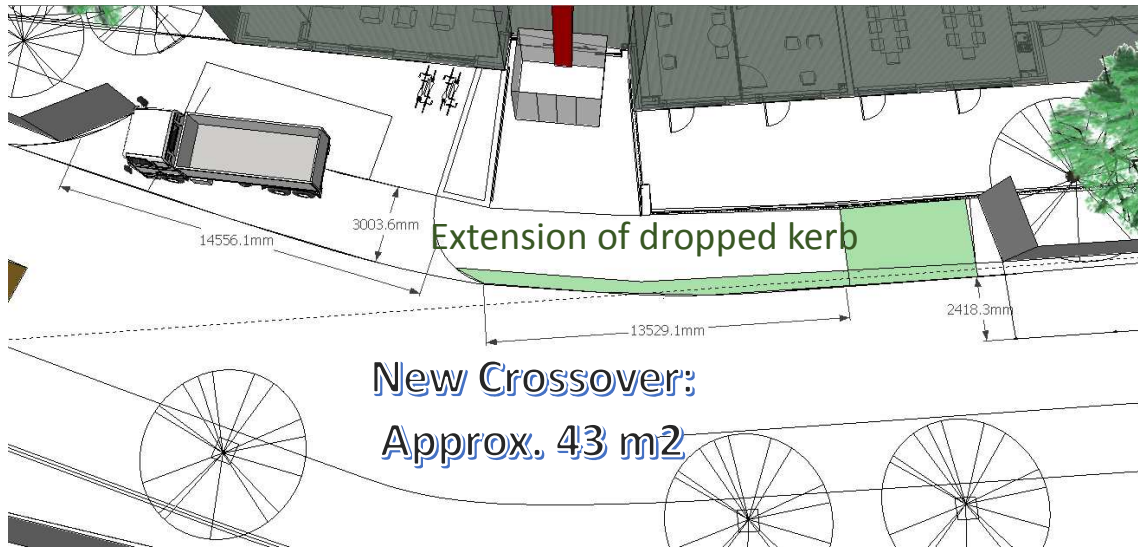
- 2 number rigid steel deliveries per week, (40 number deliveries-with 80 number movements assumed)
- 2 number concrete wagons per day for verts (2000 deliveries, 400 assumed movements)
- 14 loads per floor plate pour every 8-9 days (175 number loads, 350 number vehicle movements assumed).

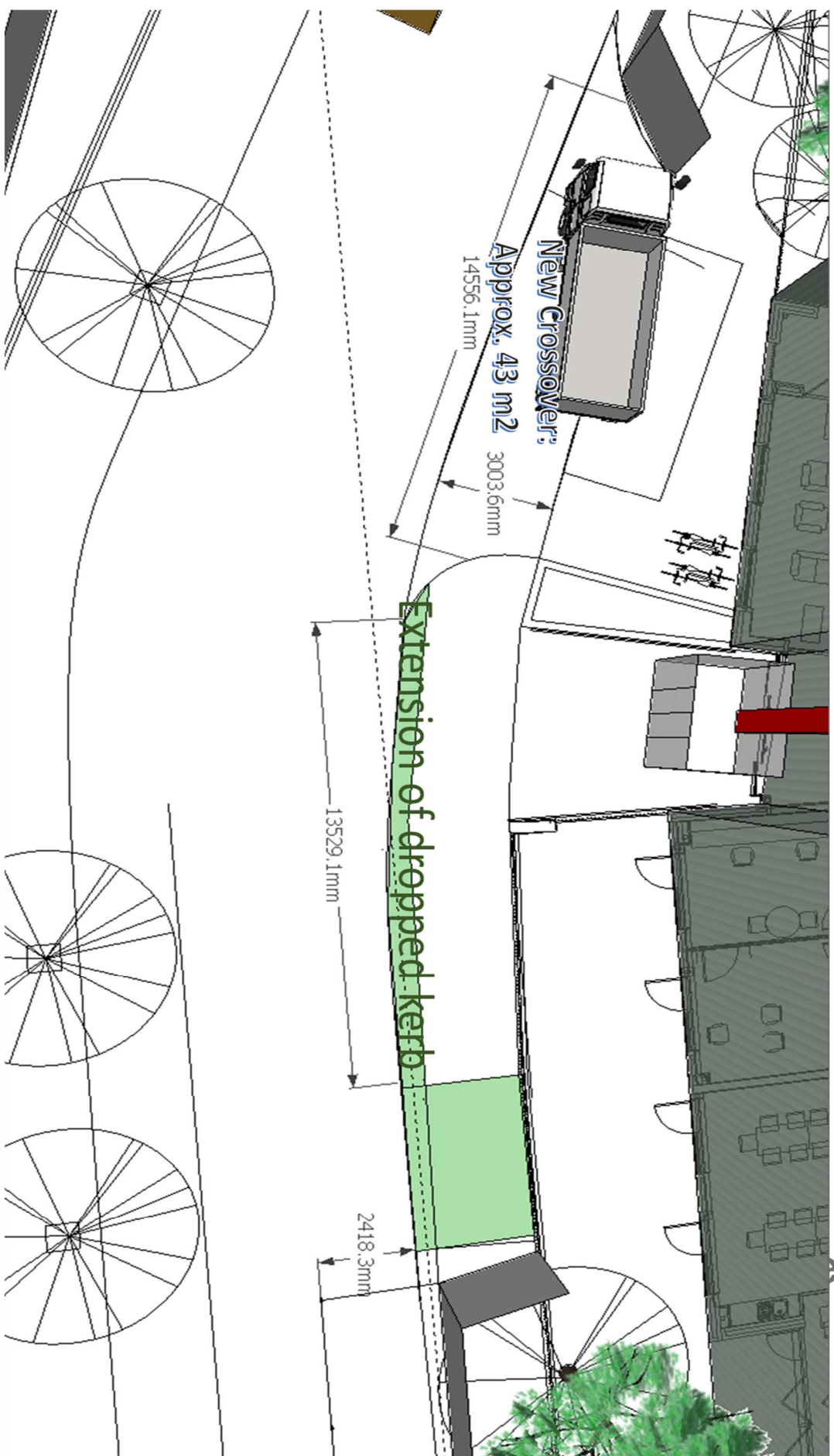
Delivery movements tbc for;

Carpentry Items, Bricks/Blocks/Cladding/SFS/Scaffold/Windows/ Roof Finishes and External Materials/Re-con stone and Metals/ Fit-Out and Dry Lining Materials/ Plant and M& E Deliveries.

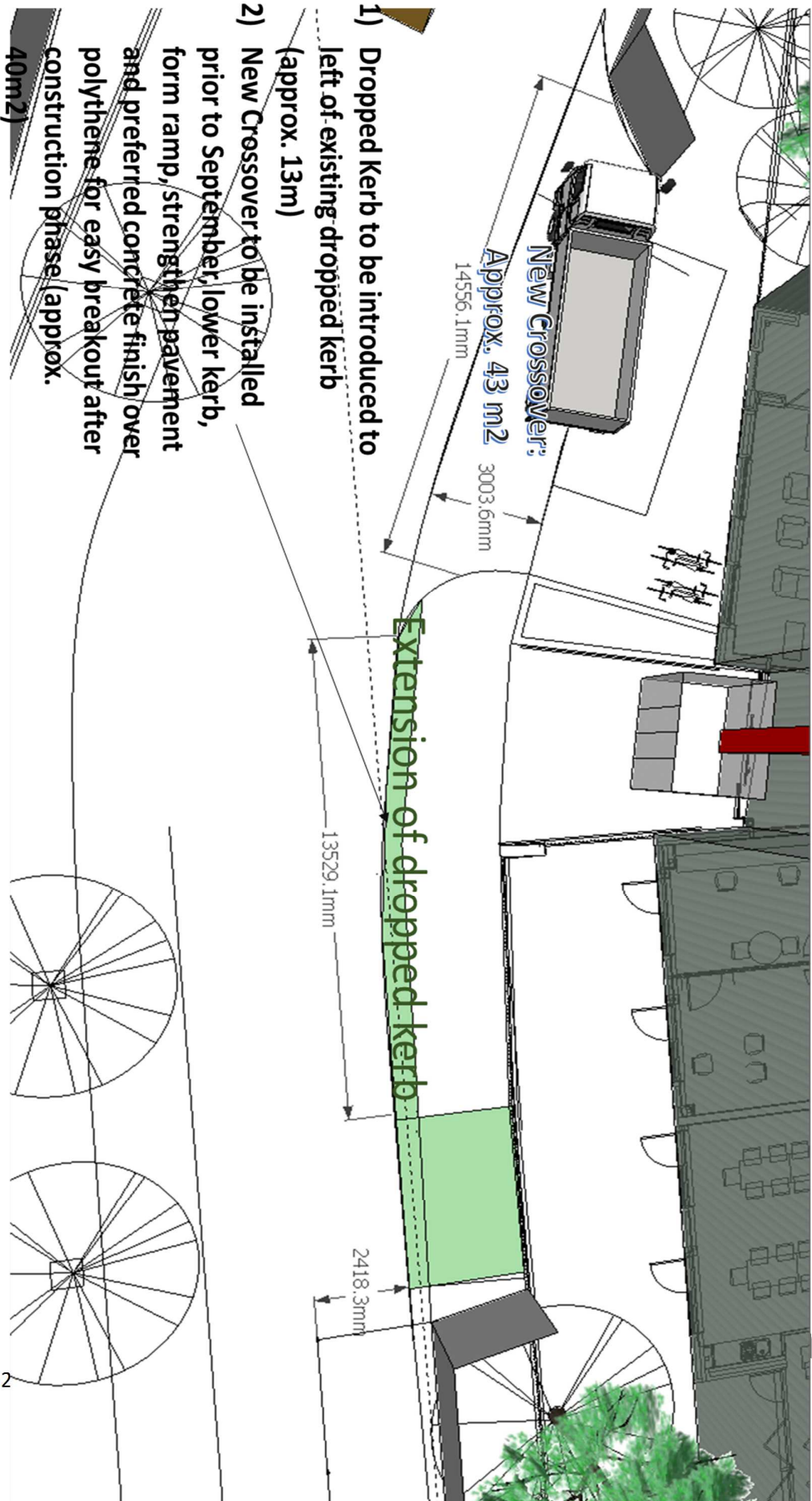








en



1) Dropped Kerb to be introduced to left of existing dropped kerb (approx. 13m)

2) New Crossover to be installed prior to September, lower kerb, form ramp, strengthen pavement and preferred concrete finish over polythene for easy breakout after construction phase (approx. 40m²)

den

Appendix 16: Environmental Commitment Statements;

GTP are committed to compliance with Camden's Minimum Requirements as outlined below prior to and during the Construction of Charlie Ratchford;

Camden's Minimum Requirements Vacant site adjacent to no 11 Crogsland Road London NW1 8HF

A copy of this document shall be made available to the appointed Building Contractors and their sub-contractors.

Ref: 238233

London Borough of Camden expects to receive no valid complaints regarding the proposed works to be carried out at **Vacant site adjacent to no 11 Crogsland Road London NW1 8HF.**

A Construction/Demolition Management Plan (C/DMP) shall be kept on site of the proposed works ready available for inspection at the request of an Authorised Officer of the Council.

This C/DMP shall be reviewed as necessary and all revisions shall be signed and dated in an addendum format forming part of the original C/DMP.

The C/DMP shall contain the following information:

- (a) Name and address of the main contractors company.
- (b) Completion date
- (c) Address where the main contractors company accept receipt of legal documents.
- (d) Full contact details of main office and of the site for the proposed works.
- (e) Full contact details including name and telephone number of the Site and Project Manager.
- (f) The Contents of the C/DMP shall provide full details on the:
 - (i) How these operations are intended to be carried out and its timescale from starting date to its completion.
 - (ii) Mitigation measures to be incorporated during the works to prevent noise and vibration, disturbances, creation of dust nuisance and prevention of rodent spreading out from the site.
 - (iii) Evidence regarding staff have been trained on BS 5228:2009.
 - (iv) Prediction of noise and vibration levels (**including 3D modelling**) throughout the proposed works action to be taken in case exceedances over the predicted levels.
 - (v) Monitoring of noise, vibration and dust levels.
 - (vi) Abatement techniques to prevent noise, vibration and dust nuisances.
 - (vii) Pest Control Job receipts
 - (viii) Community liaison.
 - (ix) Complaints Register, this should contain if possible complainant's details, date and time of complaint's made, causes of complaint, action taken to resolve the

complaint, date and time of action taken to resolve the complaint, reasons for any unresolved complaint.

- (x) An incident logbook shall be on site and all incidents shall be recorded stating date time and worker/s involved and action taken. (e.g. equipment operations started at 07:30 hours by and the action taken measures incorporated to prevent recurrence of similar event)

N.B. If the main contractor do not keep on site with an up to date C/DMP or fails to meet with the below specifications or as a result of the failure to meet with the minimum requirements valid complaints are made to the Council during these works, then the main contractor could become liable to further legal action under the other various legislation that London Borough of Camden is empowered.

SPECIFICATION TO BE MET BY THE CONSTRUCTION DEMOLITION MANAGEMENT PLAN (C/DMP) AT VACANT SITE ADJACENT TO No 11 CROGLAND ROAD LONDO NW1 8HF

TIME OF OPERATIONS.

- Time of operations and ancillary works which are audible at the site boundary shall normally be carried out between the following hours:

Mondays to Fridays	08.00 – 18.00 (As per submitted CMP)
Saturdays	08.00 – 13.00 (As per submitted CMP)

And at no time Sundays and Bank Holidays.

NB The above is the Camden’s standard times. However, the times incorporated in the C/DMP should be specific to the site and related to the type of work being carried out. There are some occasions where the times have to be shorter and with break out schedules.

NOISE OPERATIONS

Any noisy operations outside the standard hours cannot be undertaken without prior written approval of the Local Authority. The permitted times of working may be reduced in the case of noisy schedules.

ABATEMENT NOISE TECHNIQUES.

- The quietest and newest vehicles/plant machinery shall be used at all times. All vehicles and mechanical plant used for the purpose of the works shall be fitted with effective exhaust silencers, shall be maintained in good and efficient working order and operated in such a manner as to minimise noise emissions.

- The Best Practicable Means (BPM), as defined in Section 72 of the Control of Pollution Act 1974, shall be employed at all times to reduce noise (including vibration) to a minimum, with reference to the general principles contained in British Standard BS5228: 2009 'Noise and Vibration Control on Construction and Open Sites'. **When dealing with tall buildings, 3D modelling should be used to predict noise levels and Part 2 vibration (in the case of basement/underground works).**
- Special attention should be given to structure borne noise (vibration) due to any underground structures.

MONITORING NOISE LEVELS

- A noise and vibration reduction philosophy shall be adopted to reduce noise and vibration wherever is reasonable possible during demolition and construction works throughout the site and during the duration of these works.
- The main Contractor shall carry out prediction of noise and vibration levels before any work is carried out on site. These predicted noise and vibration levels shall be registered in the Construction/Demolition Management Plan.
- Special attention shall be placed at areas where sound protection have been incorporated, to ensure the installed acoustic pads are effective in reducing the noise and vibration generated by the works.
- Noise attenuation screening to be used if deemed appropriate and noise monitoring to be carried out at the start and at regular intervals during each task period. Any mobile screens shall have sufficient mass so as to be able to resist the passage of sound across the barrier and to be free of significant holes or gaps between or under any acoustic panels or board materials as far as reasonably practical.
- Noise monitoring shall be undertaken using a combination of semi-permanent (continuous) and attended monitoring methods. The locations of the semi-permanent (continuous) and attended monitoring and the frequency of the sampling have previously been agreed with London Borough of Camden in writing.
- Where the measured noise levels are more than 3 dB (A) above the predicted noise levels or in the event of a complaint of noise an investigation shall be carried out to ascertain the cause of the exceedance or the complaint and to check that Best Practicable Means are being used to control the noise in accordance with the steps set out in the application for 'prior consent'. Noise levels shall be reduced further if it is reasonably practicable to do so.

- Where noise exceeds noise limits for a period of 10 or more days of working in any fifteen consecutive days or for a total number of days exceeding 40 in any 6 month period provisions for temporary respite accommodation will be offered.

VIBRATION LEVELS

- In the case of vibration, measured vibration levels shall be compared with the criteria in BS 5228: 2009 part 2 (i.e. 1mms^{-1} PPV for potential disturbance in residential and using a suggested trigger criteria of 2mms^{-1} for commercial). Lower limits must be agreed with the Council if there is a risk that vibration levels may interfere with vibration sensitive equipment or other vibration sensitive objects.
- Wherever possible to prevent unnecessary vibration arising from above/underground reinforced concrete superstructures should be demolished using equipment fitted with pulveriser/munching attachments.
- To avoid noise and vibration transference via connections to adjacent buildings they can be separated by cutting structural breaks/ discontinuities with adjoining premises.
- Where houses are close together the use of least vibration pilling is recommended
- The breaking-up of concrete and the removal of floor slabs should be carried out using non-percussive techniques where practicable.
- Where practicable ground bearing slabs should be levered from their position and broken up off-site. Where this is not practicable and where the structural transmission of noise and vibration generated by unavoidable percussive breaking into adjoining premises is likely concrete slabs should first be cut around their perimeter to isolate them from the rest of the structure. Where the use of percussive breakers is necessary multiple breakers should be employed in order to minimise the time taken to break concrete and floor slabs.
- Communication with neighbouring residents prior to concrete breaking is essential so that works can be planned and minimise the disturbance to residents as far as practicable.

DUST LEVELS

- Referring to visible dust, it is imperative to prevent statutory nuisance arising from the demolition, construction works or dusty activities. Therefore a philosophy of the prevention of dust formation in the first place shall be adopted. Dealing with dust should be in the following fashion:

- 1. Prevention**
- 2. Suppression**
- 3. Containment**

These three principles are well established and are central to the control strategies to control dust. They follow a hierarchy to control the emissions.

- The C/DMP shall identify all the dusty operations and establish the best available techniques are required to control dust emissions. The identified dusty operations shall be recorded in the Fugitive dust emissions should be prevented whenever practicable. When this is not practicable emissions should be controlled at source. Examples include correct storage of raw materials, organising the process in such a way that spillage is avoided, and maintaining high standards of internal and external housekeeping.
- Consideration should be given to the siting of aggregate stockpiles, based upon such factor as the prevailing winds, proximity of site boundary and proximity of neighbours. Minimisation of drop height is very important in stockpiling to reduce wind whipping of particulates. When designing storage bays, internal walls separating storage bays should be at least ½ metre lower than external walls of the bays.
- Areas where there is vehicular movement should have a consolidated surface which should be kept in good repair.
- The main principles for preventing dust emissions are containment of dusty processes and suppression of dust using water or proprietary suppressants. Suppression techniques need to be properly designed, used and maintained, in order to be effective. For example, where water is used for dust suppression, processes require an adequate supply of water and all water suppression systems need adequate frost protection.
- Where there is evidence of airborne dust from the building construction/demolition activities the site, the contractor should make their own inspection and assessment, and where necessary undertake ambient monitoring with the aim of identifying those process operations giving rise to the dust. Once the source of the emission is known, corrective action should be taken without delay.
- Effective preventative maintenance should be employed on all aspects of the construction/demolition works including all plant, vehicles, buildings and the equipment concerned with the control of emissions to air.
- Important management techniques for effective control of emissions include; proper management, supervision and training for process operations; proper use of

equipment; effective preventative maintenance on all plant and equipment concerned with the control of emissions to the air; and it is good practice to ensure that spares and consumables are available at short notice in order to rectify breakdowns rapidly. This is important with respect to arrestment plant and other necessary environmental controls. It is useful to have an audited list of essential items.

RODENT CONTROL

- Regardless whether the site has been previously developed the contractors shall take the necessary measures to ensure proper control of rodents.
- 28 days prior any building works are being carried out the contractors shall submit a method statement on how the destruction/dispersion of rodents will be controlled during demolition works.
- The method statement shall demonstrate how the presence of rats and mice has been ascertained and how they will be destroyed if found on site.
- At all times the site shall be kept free, so far as is reasonable practicable, from rats and mice. (Prevention of Damage by Pests Act 1949, part 'H' of the Building Regulations (Drainage & Waste Disposal)).

COMMUNITY LIAISON

- Contractors shall keep residents and others informed about unavoidable disturbance such as from unavoidable noise, dust, or disruption of traffic. Clear information shall be given well in advance and in writing.
- At all sites a Contact Board shall be displayed prominently; this is to ensure that problems can be rectified quickly, and that residents and others can channel their questions and complaints to a member of staff who has the authority to take action.
- All Contact Boards shall include the following materials:
 - (a) The title 'Contact Board'
 - (b) Name of the main contractor, address and person to whom correspondence should be addressed.
 - (c) Name of the site manager.
 - (d) Month and year of completion of works.

- (e) Names and telephone numbers of staff who can take immediate action, so that contact can be made at any time.
- Occupiers in the vicinity who may be affected by noise from these works shall be notified of the nature of the works, a contact name, telephone number (including that to be used outside normal working hours), and address to which any enquiries should be directed. Such notification shall take place, where possible within, 2 weeks but, in any event, at least a week prior to the works commencing.
- The applicant shall ensure that a staffed telephone enquiry line is maintained at all times when site works are in progress to deal with enquiries and complaints from the local community. The telephone number (and any changes to it) shall be publicised widely in the local community affected by the works. It shall also be notified to the Noise and Licensing Enforcement Team on 0207 974 4444.
- Should noise/vibration/dust complaints arise from the building construction/building works, these complaints must be recorded in a complaint's register and made available to the Local Authority, if requested. The complaint register shall provide information on day, time, details of complaint, details of monitoring carried out and any additional mitigation works.
- Should complaints be received concerning works/activities, then all works/activities being the cause of complaint must cease (Tasks in progress accepted due to structural integrity issues), until such time as further agreement to work is negotiated.

GTP further will endeavour to meet the requirements identified within the following best practice guidance.

Site adjacent to no 11 Crogslad Road London NW1 8HF

Ref: 238233

A copy of this document shall be made available to the appointed Building Contractors and their sub-contractors

1. SPECIFIC UNDERSTANDINGS

- (a) **When reviewing the CMP, the Contractors shall have regard and shall be consistent with the following documents, policies, procedures and best practices:**



- Camden's Minimum Requirements (CMR238233, attached)
- Addendum238233 CMR238233, attached)
- British Standards BS5228:2009+A1:2014 (ABC +5dB methods)
- "Pest minimisation Best practice for the Construction Industry" for eradication of rat/mice before works commence (attached)
- The Control of Dust and Emissions During Construction and Demolition (SUPPLEMENTARY PLANNING GUIDANCE) 2014 (attached)
- Noise report should be according BS5228:2009+A1:2014 (ABC + 5dB method)
- Continuous noise/vibration reduction and visible dust prevention philosophies.
- Noise report to be produced in case of structure borne noise.
- Measures incorporated to prevent structure borne noise and/or measures incorporated to protect those residents affected by structure-borne noise.
- Measures incorporated or to be incorporated to prevent visible dust being deposited onto neighbouring premises causing disturbance those who are working living in the vicinity of these works.

(b) In the case, that structure borne noise is likely to occur at party walls or tall or connected buildings.

- A noise report dealing with the effect of structure borne noise from the building de-construction and construction activities shall be required before any proposed works commence. The noise report shall deal with the provision of suitable respite accommodation areas to those who are likely to be affected. Refer to BS 6472-1:2008, BS5228: 2009+A1:2014, 238233 Addendum - CMR238233.
- The prediction of noise levels (including structure borne noise) at the potential noise receptors (including any person residing/working inside the building or sharing party wall) shall be made before the proposed works commence.
- Prior any de-construction/construction works commence but no less than (28 days of the proposed works commence), the resident and/or the residents, living at the sharing party wall shall formally be offered in writing an appropriate suitable respite alternative accommodation for the whole duration of these construction/deconstruction works. The offer and details of the offer shall be confirmed in writing to the Council".
- If the adjoining building is structurally connected and is occupied while the proposed works are in progress and should structure borne noise through party wall and/or other connected part of the building occurs, then a respite scheme shall be required to provide to those who are directly affected by the works that is causing the structure borne noise.

- No dweller should remain in their dwellings without a properly suitable respite accommodation being offered while noisy structure borne works/activities are being carried out.

2. Identification of worst affected property.

- Prior any construction/deconstruction works commence identification of the worst affected property by the effect of noise/vibration (including structure borne) and 3D (see CMR 238233) shall be required.
- Prior any construction/deconstruction works commence full details describing mitigation measures to be incorporated during the construction/demolition works to prevent noise and vibration disturbances from the activities on the site to the main identified receptors.

3. Noise monitoring

- Noise and vibration monitoring shall be carried out. (238233 Camden's Minimum Requirements attached).
- State the actions to be taken in cases where these exceed the predicted noise and vibration levels.

4. Respite accommodation for non-party wall/adjoining/non-connected properties (Airborne noise).

- Where noise exceeds noise limits for a period of 10 or more days of working in any fifteen consecutive days or for a total number of days exceeding 40 in any 6 month period provisions for temporary respite accommodation will be offered.

5. Rats control/extermination

Before any construction/deconstruction works commence Contractors, builders, etc. have to keep sufficient evidence and make such evidence readily available on request by an authorised Officer of the Council the following:

- Any existing drainage serving the site is secure. This means locating the interceptors of the existing buildings and making sure that the drains are currently running free and that any

interceptor (Rodding Eye) caps are in place. For straight through systems a rat block device should have been installed before any work starts.

- If the existing drains are not to be used for the new development then these have been cemented and sealed.
- Any additional drainage leading back from the interceptor left open, the corresponding interceptor/s are sealed.
- The rodents living in the site are being systematically destroyed and/or prevented escaping the site prior commencing the works and during the works.

6. General Understandings

- (a) London Borough of Camden under the Control of Pollution Act 1974, Environmental Protection Act 1990 and Prevention of Damage by Pest Act 1949, has the legal duty to protect from the effects of noise (including vibration), statutory nuisances and pest prevention from rodents to those who are living in the proximity of the proposed works.
- (b) The Council expect to receive no valid complaints during the entire duration of the proposed works to be undertaken at, **Vacant Site adjacent to no 11 Crogsland Road London NW1 8HF.**
- (c) The CMP shall be a living document to be reviewed/modified as soon as problems arise or when it is required.
- (d) Noise and vibration monitoring shall be carried out. (See CMR 238233) Camden's Minimum Requirements attached)
- (e) A philosophy of reduction noise/vibration levels throughout the site shall be implemented, maintained and improved throughout the duration of these works.
- (f) For airborne noise, where noise exceeds noise limits for a period of 10 or more days of working in any fifteen consecutive days or for a total number of days exceeding 40 in any 6 month period provisions for temporary respite accommodation will be offered.
- (g) A philosophy for the prevention of dust formation in the first place shall be adopted, implemented and enforced during the duration of these works.
- (h) Full adherence and compliance and implementation with the 238233 CMR for the site.

- (i) Where practicable, to prevent vibration during excavations works, most modern excavating equipment and the most modern excavation techniques shall be used.

- (l) No demolition works shall be commenced without an adequate water supply to cover the whole working areas.

- (m) Prior any building construction demolition works the presence of rats and/or mice should be ascertained and the contactor shall employ a British Pest Control Association (BPCA) company to eradicate the rodent infestation. .

- (n) At all times the site shall be kept free, so far as is reasonable practicable, from rats and mice. (Prevention of Damage by Pests Act 1949, part 'H' of the Building Regulations (Drainage & Waste Disposal)).

- (o) Continuous liaison with the local community, before works commence, during the works and in particular in case of exceedances and/or change of techniques or methodology and or complaints/concerns.

- (p) Full adherence and compliance and implementation with the 238233 CMR for the site.

Signed:

Date:

Print Name:

Position:

Documents to Follow;

- 1) Construction Phase Noise, Dust and Vibration Assessment inc 3d modelling
- 2) Rodent Site Assessment/ Visit and Report for Pre/During Construction Phase Control.

Appendix 17: Rodent Management Plan

Site Survey Report



Date Raised : 10/12/2018
Quote Reference : S-11373

Dave Garling
Charlie Ratchford Proposed development :
Camden
London
NW1 6HF

The new building site will be located in an area known to have a problem with both mice and rats. We look after many Gailford Try sites and pest prevention is implemented around the portacabins and canteen with regular monthly checks and inspections.

On each **planned routine** visit the Technician will report to the site contact and ask verbally for the pest manual to review if there have been any pest issues written in the 'observations' section or reported. The Technician will review the site risk assessment and if any conditions have changed they will complete a new risk assessment.

Pestokill personnel will carry out the PPM visits during which they will check and scan each pest monitor, record any activity or pesticides at each point, replenish or refresh the monitor. The pest manual service records will be updated, a visit report completed including advice on any hygiene or prevention measures. The Technician will discuss any issues with the Client then ask for Treatment reports to be signed before handing back the pest manual.

All visit data is entered onto a hand held PDA so that the data can be transferred to Pestokill's Central Help Desk for processing.

Pest Prevention



External pest monitors will be employed with non-toxic indicator blocks until activity is detected or reported. At which point rodenticide may be used for up to 35 days in line with CRRU and SGAR's regulations.

An 'Environment Risk Assessment' (ERA) will be carried out in conjunction with any baiting/ control program.

The service will be delivered by a local team to provide a rapid response to any critical pest issues. All emergency call outs will be attended to within 4 hours, where necessary and in all cases within 24 hours.

Calls can be logged by phone APP, web portal or to our helpdesk who will dispatch the nearest Technician and make the team leader aware of the call out.

We service several premises in the local area, which helps to know what pests are around the vicinity.




Camden
020 961 3015

Site Survey Report



Annual Pest Control Services

- o Pest cover against fleas and mice
- o External Monitors - Qty 20 @ 12 Visits £770.00
- o Bait Location and Pest Activity Check List
- o Computer drawn site plan of pest monitors
- o Emergency call-outs as necessary FREE of charge
- o Barcode Pest Monitors, Computer Drawn Site Plan
- o Provision of a pest control manual to contain COSHH details and visit records

The cost of this service will be £192.50 per quarter - £770.00 per annum
Total cost of £770.00 + vat
Total cost including VAT of £924.00

We trust that the information is of value to you and await your instructions at your earliest convenience.

Kind Regards

Daniel Dodd

Daniel Dodd
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Appendix 18: L02-06 -Hauliers Information

Appendix 19: Construction Environmental Management Plan