



Built Heritage Statement

In respect of
6 Sharpleshall Street,
Primrose Hill.

On behalf of
Mr and Mrs Hurwitz

CgMs Ref: JCH00541
October 2018

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1.0 INTRODUCTION

This Built Heritage Statement has been researched and prepared by CgMs Heritage (part of RPS Group) on behalf of Mr and Mrs Hurwitz. This report supports the planning and listed building consent applications for the refurbishment of 6 Sharpleshall Street, Primrose Hill ('the Site'). 6 Sharpleshall Street forms part of the Grade II listed building 1-7 Sharpleshall Street.

This report includes a detailed site assessment and assessment of the significance of the property which was undertaken in summer 2018 to inform the proposals. Site visits were carried out in June with the client, architect and Camden Council's Principal Conservation Officer, and in July 2018, with the client, architect and CTP Consulting Engineers. These site visits, as well as more detailed conversations, consideration of the historic development of the house and the terrace (including recent planning applications) and a consideration of legislation, national and local policy and guidance have informed this report.

The Site is also located in the Primrose Hill Conservation Area.



Figure 1: 1-7 Sharpleshall Street.

2.0 LEGISLATIVE & PLANNING POLICY FRAMEWORK

2.1 LEGISLATION & NATIONAL PLANNING POLICY

The current national legislative and planning policy system identifies, through the National Planning Policy Framework (NPPF), that applicants should consider the potential impact of development upon 'heritage assets'. This term includes: designated heritage assets which possess a statutory designation (for example listed buildings and conservation areas); and non-designated heritage assets, typically compiled by Local Planning Authorities (LPAs) and incorporated into a Local List or recorded on the Historic Environment Record.

Legislation

Where any development may affect certain designated heritage assets, there is a legislative framework to ensure proposed works are developed and considered with due regard to their impact on the historic environment. This extends from primary legislation under the Planning (Listed Buildings and Conservation Areas) Act 1990.

The relevant legislation in this case extends from section 16 of the 1990 Act which states that special regard must be given by the decision maker, in the exercise of planning functions, to the desirability of preserving or enhancing listed buildings and their setting.

For development within a conservation area section 72 of the Act requires the decision maker to pay 'special attention [...] to the desirability of preserving or enhancing the character or appearance of that area'. The duty to give special attention is considered commensurate with that under section 66(1) to give special regard, meaning that the decision maker must give considerable importance and weight to any such harm in the planning balance.

National Planning Policy

National Planning Policy Framework (Ministry of Housing, Communities and Local Government, July 2018)

The NPPF is the principal document that sets out the Government's planning policies for England and how these are expected to be applied.

It defines a heritage asset as a: 'building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest'. This includes both designated and non-designated heritage assets.

Section 16: Conserving and Enhancing the Historic Environment relates to the conservation of heritage assets in the production of local plans and decision taking. It emphasises that heritage assets are 'an irreplaceable resource, and should be conserved in a manner appropriate to their significance'.

For proposals that have the potential to affect the significance of a heritage asset, paragraph 189 requires applicants to identify and describe the significance of any heritage assets that may be affected, including any contribution made by their setting. The level of detail provided should be proportionate to the significance of the heritage assets affected. This is supported by paragraph 190, which requires LPAs to take this assessment into account when considering applications.

Under 'Considering potential impacts' the NPPF emphasises that 'great weight' should be given to the conservation of designated heritage assets, irrespective of whether any potential impact equates to total loss, substantial harm or less than substantial harm to the significance of the heritage assets.

2.2 NATIONAL PLANNING GUIDANCE

DDCMS *Principles of Selection for Listing Buildings*

This guidance sets out the general principles that the Secretary of State applies when deciding whether a building is of special architectural or historic interest and should be added to the list of buildings compiled under the Planning (Listed Buildings and Conservation Areas) Act 1990. The Secretary of State cannot take any other factors into account when considering his decision.

The statutory criteria for listing are the special architectural or historic interest of a building. Many buildings are interesting architecturally or historically, but in order to be listed a building must have a “special” interest.

National Guidance

Planning Practice Guidance (MHCLG)

The Planning Practice Guidance (PPG) has been adopted in order to aid the application of the NPPF. It reiterates that conservation of heritage assets in a manner appropriate to their significance is a core planning principle.

Key elements of the guidance relate to assessing harm. It states that substantial harm is a high bar that may not arise in many cases and that while the level of harm will be at the discretion of the decision maker, generally substantial harm is a high test that will only arise where a development seriously affects a key element of an asset's special interest. It is the degree of harm, rather than the scale of development, that is to be assessed.

The PPG contains useful information on other aspects (e.g. setting, consultation requirements, viable use which may also be useful for particular schemes)

Conservation Principles, Policies and Guidance (Historic England, April 2008)

The document outlines Historic England's approach to the sustainable management of the historic environment. While primarily intended to ensure consistency in their own advice and guidance through the planning process, the document is commended to LPAs to ensure that all decisions about change affecting the historic environment are informed and sustainable.

The guidance describes a range of heritage values which enables the significance of assets to be established systematically, with the four main heritage values being: evidential value; historical value; aesthetic value;

and communal value.

This document is currently being revised by Historic England. Consultation on the draft revised *Conservation Principles* closed in February 2018.

Overview: Historic Environment Good Practice Advice in Planning

In March 2015 Historic England (formerly English Heritage) withdrew the PPS5 Practice Guide document and replaced with three Good Practice Advice in Planning Notes (GPAs): 'GPA1: Local Plan Making', 'GPA2: Managing significance in Decision-Taking in the historic Environment', and 'GPA3: The Setting of Heritage Assets'. A fourth document entitled 'GPA4: Enabling Development' has yet to be adopted.

GPA2: Managing Significance in Decision-Taking in the Historic Environment (March 2015)

This document provides advice on the numerous ways in which decision-taking in the historic environment can be undertaken, emphasising that the first step for all applicants is to understand the significance of any affected heritage asset and the contribution of its setting to its significance. In line with the NPPF and PPG, this document states that early engagement and expert advice in considering and assessing the significance of heritage assets is encouraged, stating that '*development proposals that affect the historic environment are much more likely to gain the necessary permissions and create successful places if they are designed with the knowledge and understanding of the significance of the heritage assets they may affect.*'

The advice suggests a structured staged approach to the assembly and analysis of relevant information, this is as follows:

1. Understand the significance of the affected assets;
2. Understand the impact of the proposal on that significance;
3. Avoid, minimise and mitigate impact in a way that meets the objectives of the NPPF;
4. Look for opportunities to better reveal or enhance significance;
5. Justify any harmful impacts in terms of the sustainable development objective of conserving significance and the need for change; and,
6. Offset negative impacts on aspects of significance by enhancing others through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets affected.

The advice reiterates that heritage assets may be affected by direct physical change or by change in their setting. Assessment of the nature,

extent and importance of the significance of a heritage asset and the contribution of its setting at an early stage can assist the planning process resulting in informed decision-taking.

This document sets out the recommended steps for assessing significance and the impact of development proposals upon a heritage asset, including examining the asset and its setting and analysing local policies and information sources. In assessing the impact of a development proposal on the significance of a heritage asset the document emphasises that the cumulative impact of incremental small-scale changes may have as great an effect on the significance of a heritage asset as a larger scale change.

Crucially, the nature and importance of the significance that is affected will dictate the proportionate response to assessing that change, its justification, mitigation and any recording which may be necessary. This document also provides guidance in respect of neglect and unauthorised works.

Overview: Historic England Advice Notes in Planning

In addition to the above documentation, Historic England has published a number of Historic England Advice Notes (HEANs) that provide detailed and practical advice on how national policy and guidance is implemented. These documents include: *HEAN1: Understanding Place: Conservation Area Designation, Appraisal and Management* (February 2016), *HEAN2: Making Changes to Heritage Assets* (February 2016), *HEAN3: The Historic Environment and Site Allocations in Local Plans* (October 2015), and *HEAN4: Tall Buildings* (December 2015).

HEAN2: Making Changes to Heritage Assets (February 2016)

The purpose of this document is to provide information in respect of the repair, restoration and alterations to heritage assets. It promotes guidance for both LPAs, consultants, owners, applicants and other interested parties in order to promote well-informed and collaborative conservation.

The best way to conserve a building is to keep it in use, or to find an appropriate new use. This document states that '*an unreasonable, inflexible approach will prevent action that could give a building new life...A reasonable proportionate approach to owners' needs is therefore essential.*' Whilst this is the case, the limits imposed by the significance of individual elements are an important consideration, especially when considering an asset's compatibility with Building Regulations and the Equality Act. As such, it is good practice for LPAs to consider imaginative ways of avoiding such conflict.

This document provides information relating to proposed change to a heritage asset, which are characterised as:

- Repair;

2.2 NATIONAL PLANNING GUIDANCE

- restoration;
- addition and alteration, either singly or in combination; and,
- works for research alone.

Overview: Historic England Listing Selection Guides

These guides are organised by building type and provide detailed technical information to support DCMS's *Principles of Selection for Listing Buildings*. They help to define which historic buildings are likely to meet the relevant tests for national designation and be included on the National Heritage List for England.

Domestic 2: Town Houses (December 2017)

English towns of the eighteenth and nineteenth centuries have left behind a wealth of town and terraced houses. The grandest are outwardly imposing and inwardly sumptuous; the more ordinary may still be of special interest for their planning and construction, and will be of historical interest for the light they shed on past ways of living. Losses have been many and grievous, but the survivors play a major part in defining the character of our historic towns. In scale they range from grand aristocratic residences to modest terraces of the working classes, while the very humblest dwellings of the poor have virtually disappeared. One particular important urban form was the terraced house, and a substantial proportion of listed domestic buildings (and hence of our older building stock) falls into this category. It is this sort of house that will be principally considered here.

The first terraced houses were laid out in the seventeenth century. By the mid-nineteenth century, when 1-7 Sharpleshall Street were constructed, they were a common form of urban housing.

The most distinctive terraces of the early Victoria period are the vast stuccoed compositions characteristic of Pimlico (City of Westminster) or the 'palace facades' such as Victoria Square, Bristol (1845-53). These developed the approach of John Nash's monumental Regent's Park terraces, and attained considerable status, particularly in the emerging coastal resort towns...The Italianate style, popularised by Osborne House, was widely adopted for both town and suburban houses and remained popular for several decades.

2.3 LOCAL PLANNING POLICY & GUIDANCE

Strategic and local planning policy and guidance relevant to the current proposals at 6 Sharpleshall Street are considered here.

Strategic Policy

The London Plan: The Spatial Development Strategy for London Consolidated with Alterations since 2011 (Greater London Authority (GLA), March 2016)

Adopted in March 2016, policies set out in this document are operative as formal alterations to the London Plan; the Mayor of London's spatial development strategy, and form part of the development plan for Greater London. In particular, this document encourages the enhancement of the historic environment and looks favourably upon development proposals that seek to maintain heritage assets and their settings.

Policy 7.6: Architecture, states,

'Architecture should make a positive contribution to a coherent public realm, streetscape and wider cityscape. It should incorporate the highest quality materials and design appropriate to its context.'

Policy 7.8 (Heritage Assets and Archaeology) provides the relevant policy with regards to development in historic environments and seeks to record, maintain and protect the city's heritage assets in order to utilise their potential within the community. It states that 'Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.' Policy 7.8 also further supports Policy 7.4 in its requiring local authorities in their policies, to seek to maintain and enhance the contribution of built, landscaped and buried heritage to London's environmental quality, cultural identity and economy, as part of managing London's ability to accommodate change and regeneration.

Emerging Policy: The London Plan: The Spatial Development Strategy for Greater London – Draft for Public Consultation (Greater London Authority (GLA), December 2017)

In December 2017, a draft new *London Plan* was published for public consultation. This plan sets out the Mayor of London's strategy for 2019 to 2041. Once approved, it will replace the previous *London Plan*.

The policies highlighted below merit consideration.

Policy HC1 Heritage conservation and growth (C) states,

'Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and

their settings, should also be actively managed. Development proposals should seek to avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.'

Local Planning Policy and Guidance

Camden Local Plan (June 2017)

The *Camden Local Plan* was adopted by the Council on 3 July 2017 and replaced the *Core Strategy* and *Camden Development Policies* documents as the basis for planning decisions and future development in the borough.

Policy D2 Heritage states, '*The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas*'.

It goes on to state, '*The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm*'.

Camden Planning Guidance

To support the policies of Camden's *Local Plan*, Camden Planning Guidance (CPG) forms a Supplementary Planning Document (SPD), an additional 'material consideration' in planning decisions, which is consistent with the adopted Core Strategy and the Development Policies. Following statutory consultation, the Camden Planning Guidance documents (CPG1 to CPG8) replace Camden Planning Guidance 2006.

CPG 1: Design (July 2015)

The Council adopted CPG1 Design on 6 April 2011 following statutory consultation. This document was updated in 2013 to include Section 12 on artworks, statues and memorials, and updated in 2015 to revise the guidance for recycling and waste storage. This guidance provides information on all types of detailed design issues within the borough and includes a section on heritage. *CPG1 Design* supports Policy D1 Design and Policy D2 Heritage of the *Camden Local Plan*.

It states that development schemes should consider

With regard to heritage, it states that Camden 'will only permit development within conservation areas that preserves and enhances the character and appearance of the area'.

On the subject of extensions, alterations and conservatories, CPG1 lays out the following key considerations:

- Alterations should always take into account the character and design of the property and its surroundings.
- Windows, doors and materials should complement the existing building.
- Rear extensions should be secondary to the building being extended.

Primrose Hill Conservation Area Statement

This document describes the historical development, character and appearance of the Primrose Hill Conservation Area. Its introduction states that:

The Primrose Hill Conservation Area was designated on 1st October 1971 and extended to include the north part of Erskine Road on the 18th June 1985. The designation report notes that the character of the area "is made up of a series of well laid out Victorian terraces. It is residential in character, although there are a number of local industries, and it has its own shopping centres, a primary school and, because of the vicinity of Primrose Hill, is extremely well provided with open space".'

3.0 ARCHITECTURAL & HISTORICAL APPRAISAL

3.1 HISTORICAL DEVELOPMENT: PRIMROSE HILL

Historical Development

Prior to development the area of Primrose Hill was largely comprised of agricultural land to the north east of St Johns Wood. The area of the Site at this time was entirely rural, set in the hinterland between small villages.

Unlike villages such as St Johns Wood, Primrose Hill was not a distinct settlement overtaken by the expansion of London but a purpose built residential area, developed between 1845 and 1870. In 1840 the land on which the Site is located was part of the estates of Lord Southampton, who divided the land into plots for individual sale.

Development of the Primrose Hill area was constrained by the Regent's Canal, completed in 1820, to the south and by the railway line from Euston, (opened in 1837) to the north. A further boundary to the west was formed by an 1842 Act of Parliament that designated the area of what was to become Regents Park.

The railway line and Camden Goods Yard which determined that some of the earliest development was of cottages (housing the rail, goods yard and market place workforce). The noise and dirt associated with the rail line determined that the building plots closest to the tracks remained undesirable. This may account for the delays in the development of the area as a whole. Eventually only the plots furthest from the railway were developed with larger houses, the rest of the area was characterised by short terraces of houses on plots where the 1840 sale plan illustrated pairs of detached villas.

It is not known when the terrace containing the Site was constructed though it can be considered to be typical of mid-19th Century stockbrick terraces in design. The National Heritage List for England description dates the terrace to 1862. Many such houses in the area became lodging houses rented out floor-by-floor or room-by-room. Charles Booths Poverty Survey of London illustrates the Site in hatched red indicating a 'mixed' terrace of some poor and some comfortable. To the immediate south of the Site properties in blue denote poor lodgings, while the dark red to the west indicates 'middle class houses' and in yellow, furthest from the rail line, are the large 'well to do' properties.

The terrace in which the Site is located has changed little over the course of the 20th Century. The area remains characterised by short terraces in which some of the houses remain, or have been converted back to, whole units and others have been variously converted for multiple occupation. This mixed use of the buildings is much the same as during the 19th Century, though following the electrification of the rail line the area has become increasingly gentrified. Retention of the 19th Century buildings, in addition to the location of Primrose hill among other fashionable areas of London such as Hampstead, St Johns Wood and Regents park has led to Primrose hill being characterised as a distinct urban village.



Figure 2: 1757 Map of Middlesex, John Roque

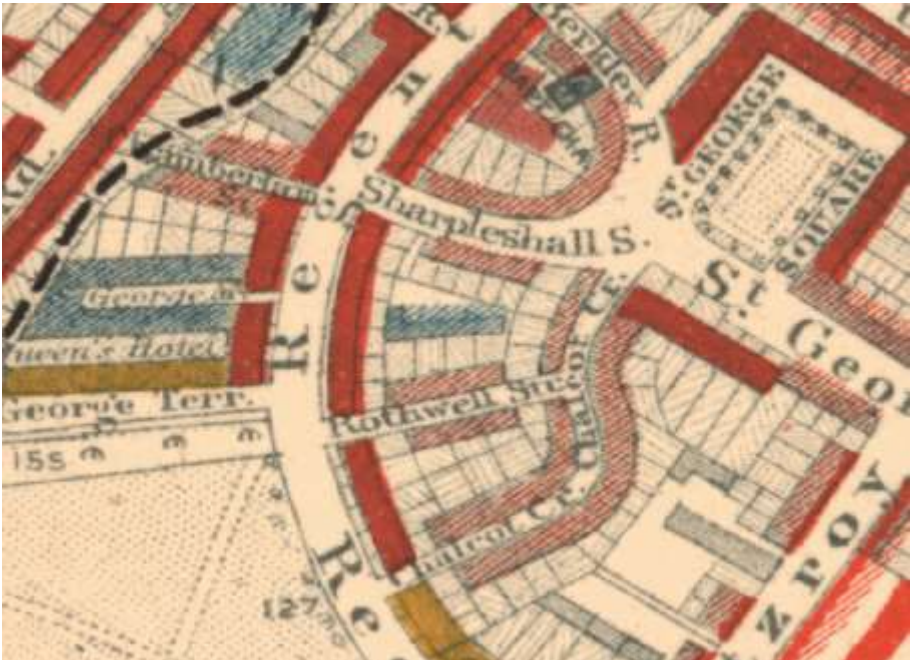


Figure 4: 1886-1903 Charles Booth's Poverty Map of London. Source <https://booth.lse.ac.uk/map/14/-0.1174/51.5064/100/0> accessed 28/06/18



Figure 3: 1840 Third Sale Day, Plan of sale lots of Estates of Lord Southampton with rents. Source: <https://www.oldmapsonline.org/en/Camden> accessed 28/06/18



Figure 5: Section from 'Primrose Hill Village and Camden Goods Station, Primrose Hill, 1925'. Source: Britain from Above—EPW014507 ENGLAND (1925). Sharpleshall Street is marked with an arrow.

4.0 ASSESSMENT OF SIGNIFICANCE

4.1 SITE ASSESSMENT: BASEMENT

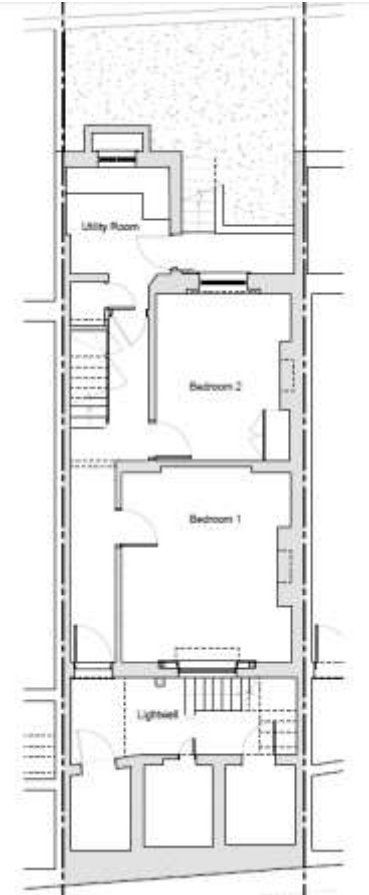


Figure 7: Looking towards closet wing. The ceiling height is considerably low in the closet wing. The doors are not original.



Figure 9: Bedroom 2. Sash window set in a wider recess.



Figure 6: Damp in Bedroom 1.



Figure 8: Hall



Figure 10: Bedroom 1. Unoriginal shelves around the original window.

4.1 SITE ASSESSMENT: GROUND FLOOR

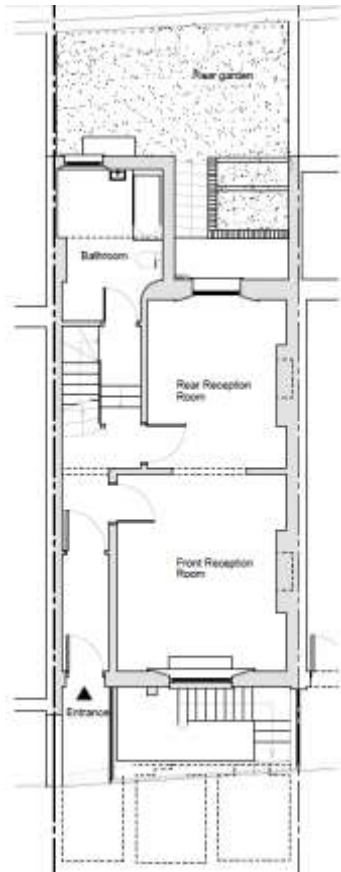


Figure 12: Looking towards the possibly original front door. Unoriginal internal partition in hall is in the foreground.



Figure 14: Door into Front Reception Room.



Figure 11: Ceiling rose in Front Reception Room. There is also a simple cornice in this room.



Figure 13: The window in Front Reception Room retain shutter boxes. The timber panelling under the radiator accommodates the tall window in Bedroom 1 of the Basement.



Figure 15: Fireplace in Front Reception Room.

4.1 SITE ASSESSMENT: GROUND FLOOR



Figure 16: Original sash window and box shutters in the Rear Reception Room.



Figure 18: Staircase with probably original balusters.



Figure 20: Bathroom in closet wing.



Figure 17: Cornice in Rear Reception Room.



Figure 19: Wall between the back of the main house and closet wing abuts the curved underside of the staircase.

4.1 SITE ASSESSMENT: FIRST FLOOR

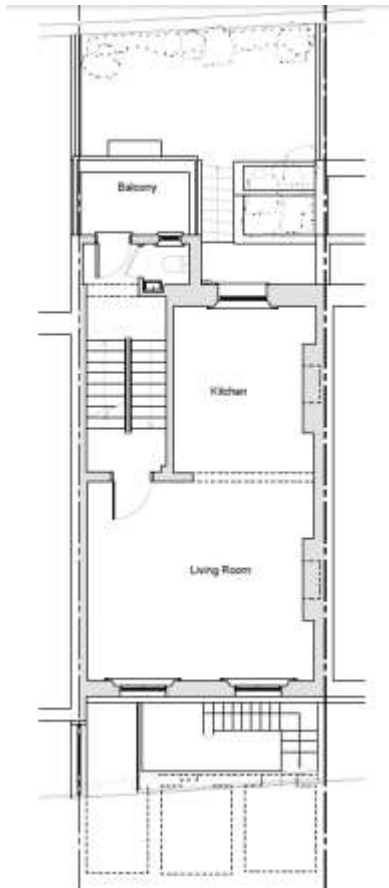


Figure 22: Side wall with chimney breast and mantelpiece in Living Room.



Figure 21: The cornice in the Living Room is more ornate than that in the Kitchen to the rear.



Figure 23: Panelled door into Living Room matches those in the ground floor reception rooms.



Figure 24: Looking along side wall to the Kitchen. The chimney breast remains. The cornice in the Kitchen (rear of the house) is simpler than that at the front of the house. The wall between the two rooms has been demolished.

4.1 SITE ASSESSMENT: FIRST FLOOR



Figure 25: Floor in fireplace and under carpet of Living Room. There are timber floor boards through most of the house.



Figure 27: Right hand window in Living Room.



Figure 28: Detail of right hand window in Living Room. The lower sash is a later replacement.



Figure 26: Deep skirting board in Living Room.

4.1 SITE ASSESSMENT: FIRST FLOOR CLOSET WING



Figure 29: Door to W.C.



Figure 30: W.C.



Figure 31: Rear wall of closet wing from balcony.

4.1 SITE ASSESSMENT: SECOND FLOOR

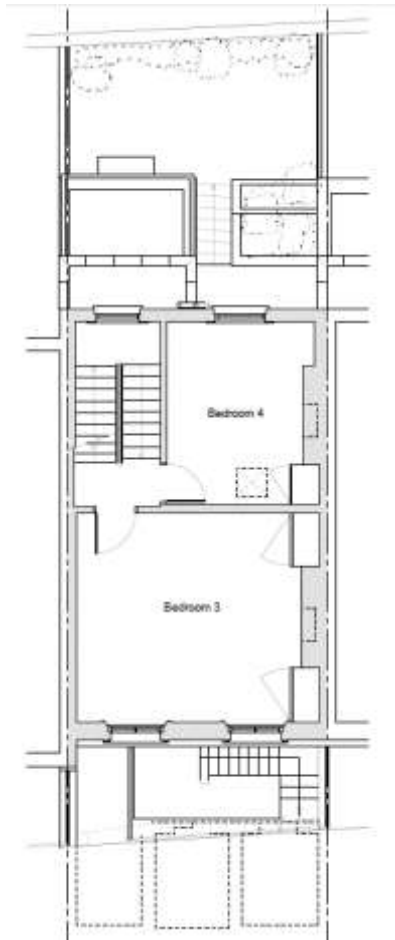


Figure 33: Inside right hand cupboard.



Figure 35: Plain panelled door in Bedroom 3.



Figure 32: Side wall with chimney breast and two built-in cupboards in Bedroom 3.



Figure 34: Front wall in Bedroom 3. The bottom sash of right hand window in Bedroom 3 has been replaced.



Figure 36: Unoriginal ceiling rose in Bedroom 3.

4.1 SITE ASSESSMENT: SECOND FLOOR



Figure 37: Chimney breast and built-in cupboard in side wall of Bedroom 4.



Figure 38: Rear wall of Bedroom 4.



Figure 39: Unoriginal sash window in Bedroom 4.

4.1 SITE ASSESSMENT: MEZZANINE AND ROOF

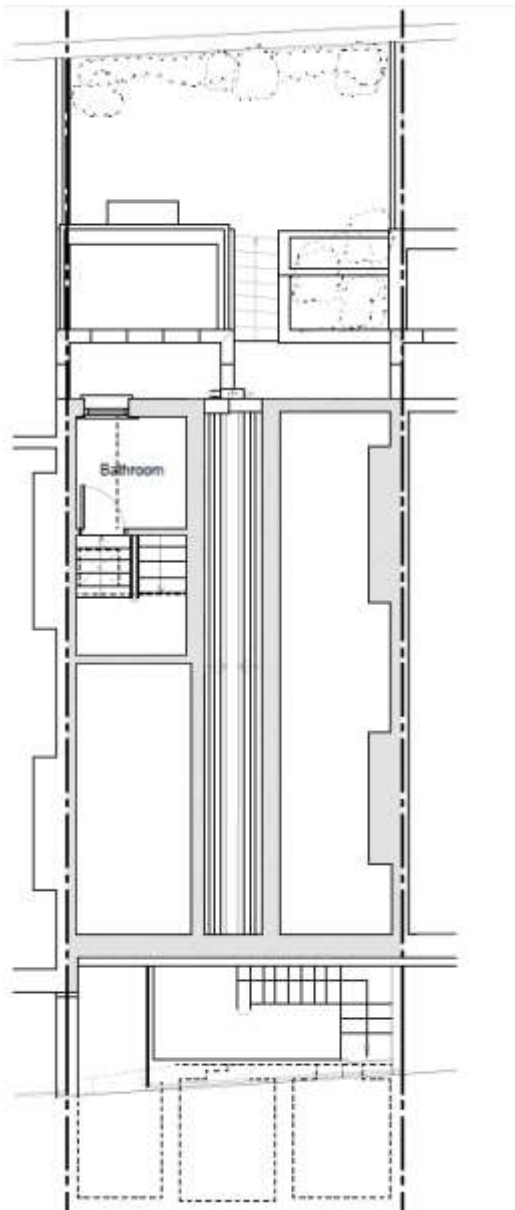


Figure 40: Plan of mezzanine level. There is a bathroom in the rear of one part of the roof. The rest of the roof space is boarded off as attic storage and is not habitable.



Figure 41: Stairway to bathroom in mezzanine level.

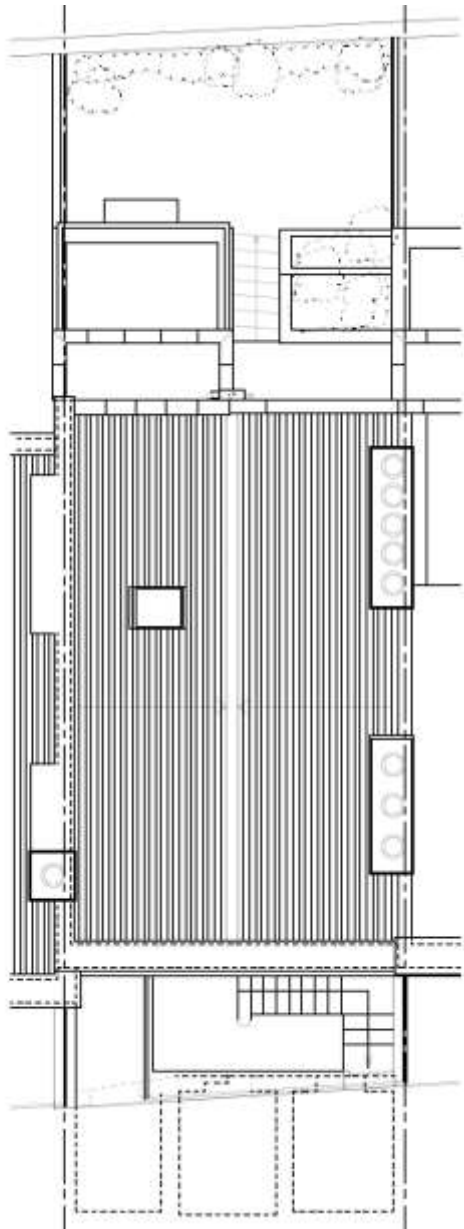


Figure 43: Plan of roof. This is a butterfly roof which is partly slated. One pitch has been recovered in felt.

4.2 ASSESSMENT OF SIGNIFICANCE: STATUTORY LISTED BUILDINGS

1-7 Sharpleshall Street and attached railings

List entry number: 1378649

Grade II

Date first listed: 14th May 1974

Date of most recent amendment: 11th January 1999

NHLE Description: *Terrace of 7 houses. 1862. For Count Richard Rainshaw, Marquess de Rothwell. Yellow stock brick with stucco ground floors. 3 storeys and semi-basements. 2 windows each. Ground floors originally with shopfronts the panelled pilasters, enriched console bracket stops and fascias with cornices of which survive. Square-headed doorways with overlights and panelled doors. Architraved sashes; 1st floor with console-bracketed cornices, 2nd floor with bracketed sills. Projecting bracketed cornice with enriched console bracket stops corresponding to those below; blocking course. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with fleur-de-lys and spearhead finials to areas.*

Significance

The significance of this listed building is derived from its evidential, historic and aesthetic values. This set of houses are a good example of the residential development which took place in this part of north London in the mid-nineteenth century. The terrace retains much historic fabric externally and its overall original appearance, with timber-framed sash windows, stucco detailing remaining intact. The unusual ground floor front elevations and large front basement windows which indicate the original intended use of these buildings as shops further contribute to the architectural interest.

Through the history of these buildings there has been some changes, for example many were divided into multiple occupancy and have since been converted back into single dwelling houses. Some original features have been lost and plan forms altered, but overall the original plan and appearance of the buildings remain legible.

The surrounding streets with similar residential development creates an attractive and appropriate setting for this heritage asset and provides evidence of the wider context in which 1-7 Sharpleshall Street was built. This setting is therefore considered to be a small contributor to the significance of this listed building.

The unified appearance of the front elevation of the listed building, including the Site, is a good survival of a mid-nineteenth century speculative development. The following section illustrates the various changes which have taken place in other houses in this terrace and highlights that generally, in the examples available, there is less conformity to the internal plans and the lower levels of the rear elevations.

It is considered that what makes the Site most significant is its position as



Figure 43: Bird's Eye View of 1-7 Sharpleshall Street. Source: Bing maps, 2018.

part of the listed terrace which retains much historic fabric externally that contributes to its appearance. It is particularly special that the terrace survives in tact.

The features of particular interest of 6 Sharpleshall Street are:

- Front elevation as part of the Grade II listed terrace 1-7 Sharpleshall Street, with regular window pattern, timber-framed sash windows, tall basement window, panelled pilasters, fascia and console brackets, tall front door;
- Basement area with original railings and vaults under the pavement;
- Largely original floor plan, particularly of the principal rooms, which demonstrates the original hierarchy of the house and its intended uses;
- Original decorative features which contribute to the legibility of the original hierarchy of rooms, including two surviving fireplaces and surrounds, cornices and skirting boards, ceiling rose at ground floor;
- Original staircase and balustrade;
- Parts of the rear elevation which are most visible (especially the upper storeys). The upper storeys are consistent with the appearance of the rest of the terrace and demonstrate the less formal character of the rear of the terrace.

5.0 PLANNING HISTORY

5.1 PLANNING HISTORY

There is no planning history available for the Site, however there have been a number of planning applications in the last few years relating to the other houses in this terrace which forms the Grade II listed 1-7 Sharpleshall Street (opposite). These houses were built as a terrace and are largely identical. Those planning applications permitted since 2010 which are most relevant to the current proposals at 6 Sharpleshall Street are considered in detail on the following pages. These application demonstrate the types of alterations which have been considered acceptable in recent years.

2 Sharpleshall Street London NW1 8YL (2015/2019/L and 2015/1694/P)

Granted (May 22 2015) - Listed Building Consent and Householder Application

Installation of double doors to the rear elevation at ground floor level, installation of new window at lower-ground floor level and installation of a new internal partition wall at ground floor level.

2 Sharpleshall Street London NW1 8YL (2015/2011/L and 2015/1654/P)

Granted (Jun 9 2015) - Listed Building Consent and Householder Application

Replacement of existing external balustrades on the first floor, rear balcony associated with the third floor roof terrace and replacement of the existing external balustrade to the front light well at lower-ground floor level.

2 Sharpleshall Street London NW1 8YL (2014/1047/L and 2014/0945/P)

Granted (Mar 18 2014) - Listed Building Consent and Householder Application

Alterations to glazed roof conservatory screens at third floor level and replacement of internal stairs between second and third floors.

4 Sharpleshall Street London NW1 8YL (2011/3603/P)

Granted (Oct 13 2011) - Householder Application

Retrospective application for the insertion of 2 new windows to the side elevation of the rear closet wing at basement and ground floor level to dwelling house (Class C3).

4 Sharpleshall Street London NW1 8YL (2011/3604/L)

Granted (Oct 13 2011) - Listed Building Consent

Retrospective application for the insertion of 2 new windows to the side elevation of the rear closet wing at basement and ground floor level, and internal alterations at basement level including the removal of a partition and installation of waterproofing to dwelling house (Class C3).

5 Sharpleshall Street London NW1 8YL (2013/7086/L)

Granted (Jan 29 2014) - Listed Building Consent

Alterations at roof level involving repositioning of roof access hatch, timber decking to create a roof terrace, alterations to fenestration and associated internal alterations.

5 Sharpleshall Street London NW1 8YL (2013/7037/P)

Granted (Jan 29 2014) - Householder Application

Alterations at roof level involving repositioning of roof access hatch, timber decking to create a roof terrace and alterations to fenestration.

5 Sharpleshall Street London NW1 8YL (2014/4328/L)

Granted (Sep 1 2014) - Listed Building Consent

Alterations at roof level involving the installation of raised access hatch and timber decking to create a roof terrace and works to raise the rear parapet wall.

5 Sharpleshall Street London NW1 8YL (2014/4164/P)

Granted (Sep 1 2014) - Full Planning Permission

Alterations to roof level involving the installation of raised access hatch, timber decking to create a roof terrace and works to raise the rear parapet wall by 70mm.

7 Sharpleshall Street LONDON NW1 8YL (2011/6414/L)

Granted (Feb 7 2012) - Listed Building Consent

Alterations at basement level to include the replacement of the existing double door to rear elevation with a single door, and the part removal of internal partition, to dwelling house (Class C3).

7 Sharpleshall Street LONDON NW1 8YL (2011/6235/P)

Granted (Feb 7 2012) - Householder Application

The replacement of the existing double door with a single door, to rear elevation at basement level of dwelling house (Class C3).

5.1 PLANNING HISTORY: 2 SHARPLESHALL STREET

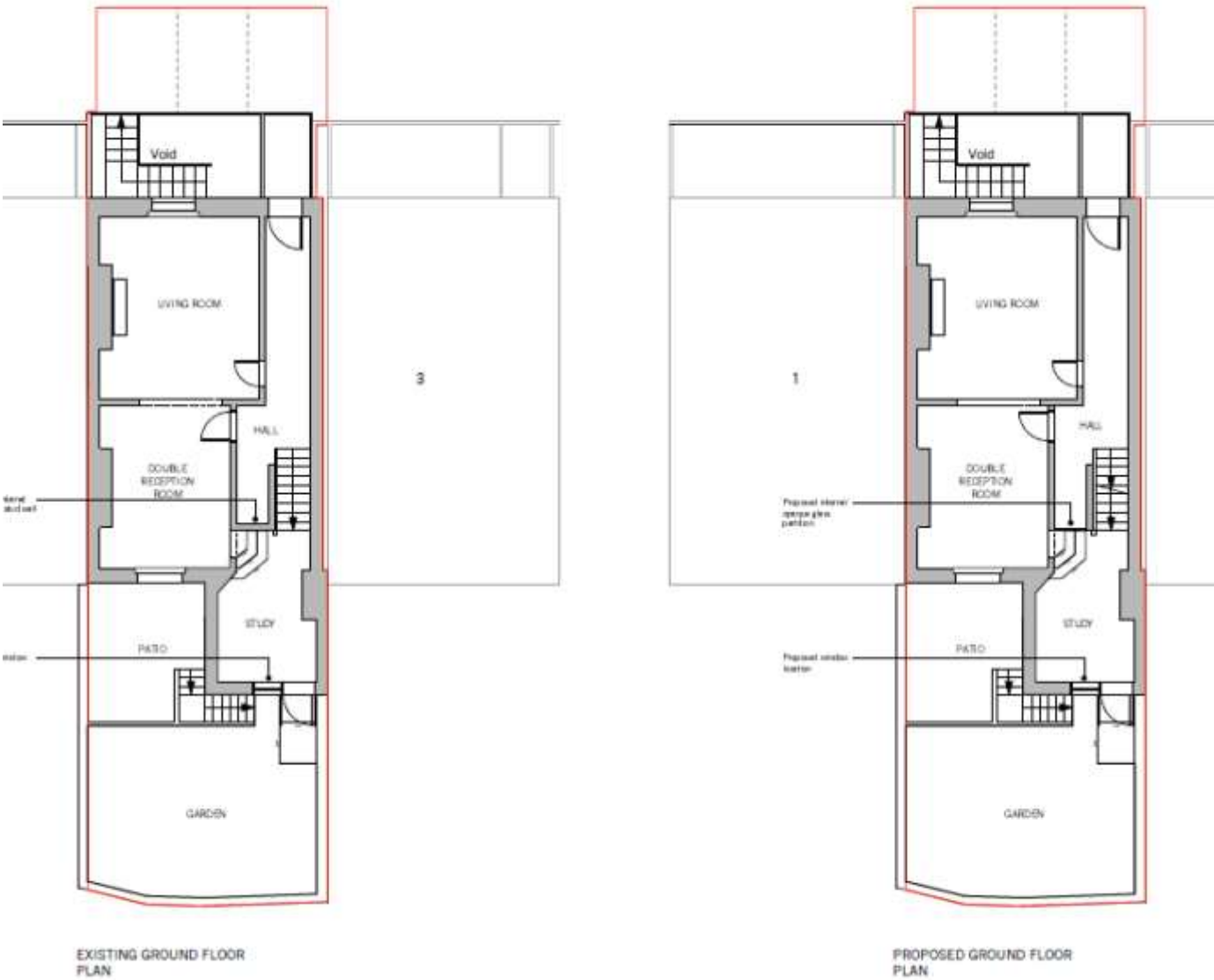
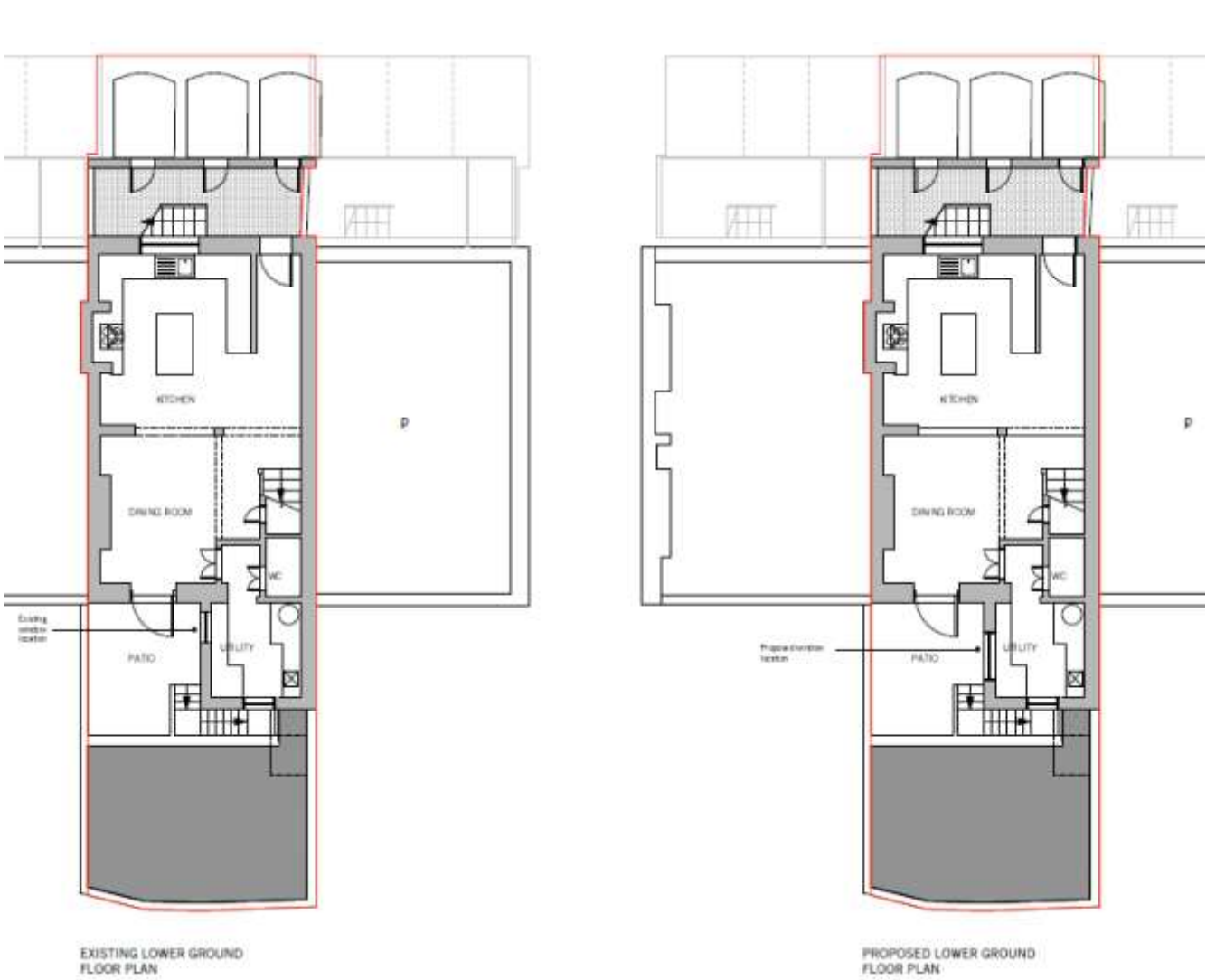


Figure 44: The existing (left) and proposed (right) lower ground floor plans of 2 Sharpleshall Street. Planning ref: 2015/1694/P and 2015/2019/L which was granted permission. The proposal included the moving and enlargement of the window in the flank elevation of the closet wing into the garden.

This plan also shows that the kitchen hob had previously been inserted into the chimney breast, and that most of the internal walls had been previously been removed at lower ground level.

Figure 45: The existing (left) and proposed (right) ground floor plans of 2 Sharpleshall Street. Planning ref: 2015/1694/P and 2015/2019/L which was granted permission. The proposal included the re-hanging of the internal door from the hall into the rear part of the double reception room. A non-original wall at the end of the hall was also replaced with a glass partition. It was also proposed to replace the non-original window in the rear of the closet wing with a full height window alongside the existing door to create French doors.

The stairs and access into the rear closet wing are shown to have been altered at some point. There is no wall between the top of the basement stairs and the rear closet wing (labelled Study).

5.1 PLANNING HISTORY: 2 SHARPLESHALL STREET



Figure 46: The proposed rear elevation of 2 Sharpleshall Street. Planning ref: 2015/1694/P and 2015/2019/L which was granted permission. The proposal included the replacement of the existing window with a full height window in the rear of the closet wing.

This elevation also shows the large roof extension which had previously been constructed (granted permission in 1987, ref: 8770113) and altered in 2014 (ref: 2014/0945 P and 2014/1047/L).

This elevation also shows that there is a door from the rear of the house into the garden at lower ground floor level.

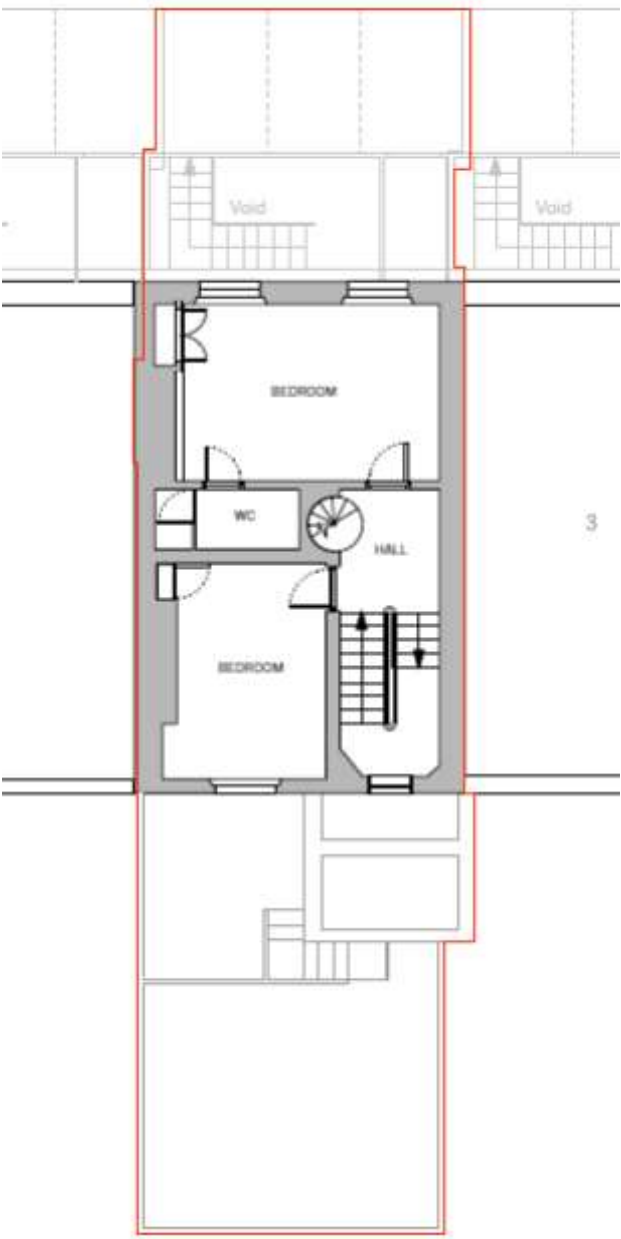


Figure 47: The existing second floor plan of 2 Sharpleshall Street (2014) shows that a WC had previously been created between the front and rear bedrooms at this level by moving the original internal walls (planning ref: 2014/0945 P and 2014/1047/L).

5.1 PLANNING HISTORY: 4 SHARPLESHALL STREET

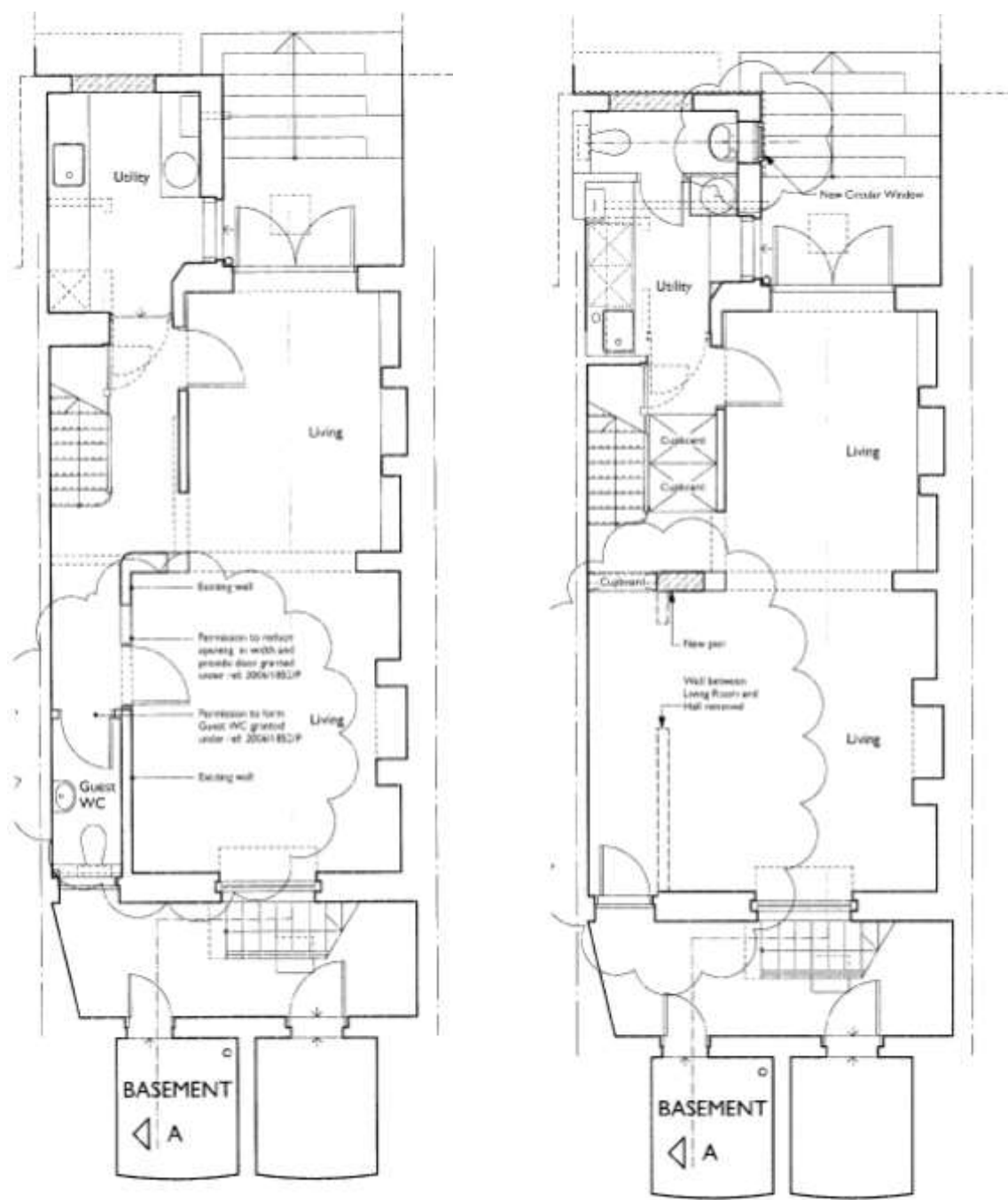


Figure 48: The existing (left) and proposed (right) basement plan of 4 Sharpleshall Street (retrospective application 2011/3603/P and 2011/3604/L) shows that there had been a WC in the hall and the door into the front basement area had been blocked off. There are double doors from the rear of the house into the garden. An additional door into the rear room of the main house had previously been created.

The consented works included the removal of the WC. The basement rooms were also reordered through the removal of the wall between the hall and the Living Room and the insertion of a cupboard in front of the bottom of the stairs.

A new window was also consented in the flank wall of the closet wing.

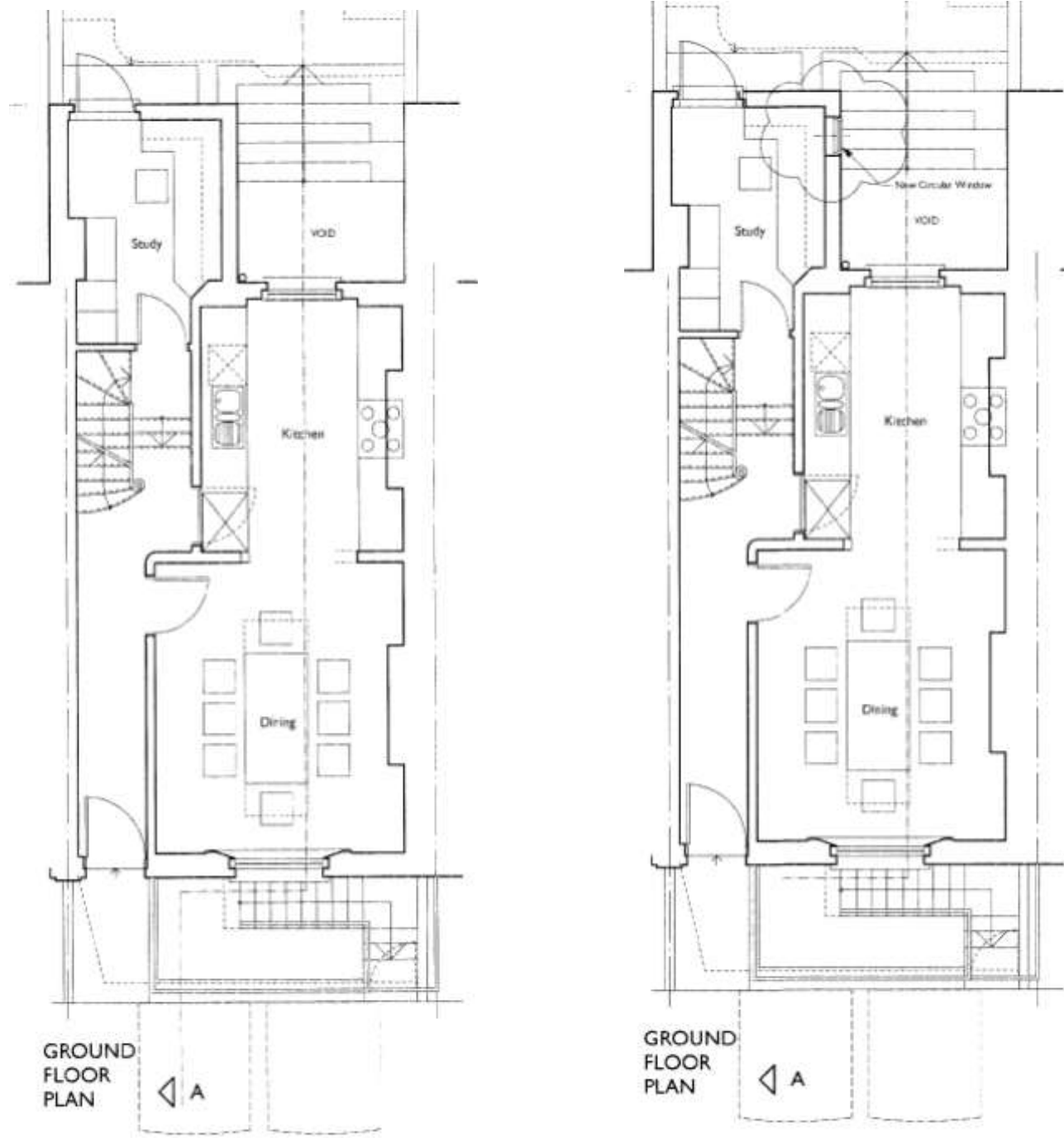


Figure 49: The existing (left) and proposed (right) ground floor plan of 4 Sharpleshall Street (retrospective application 2011/3603/P and 2011/3604/L) shows that the door from the hall into the rear reception room had been blocked through the insertion of the Kitchen. The chimney breast has also been cut to insert a hob. There is a door from the closet wing into the upper part of the garden.

The consented works included the insertion of a new window in the flank wall of the closet wing.

5.1 PLANNING HISTORY: 4 SHARPLESHALL STREET

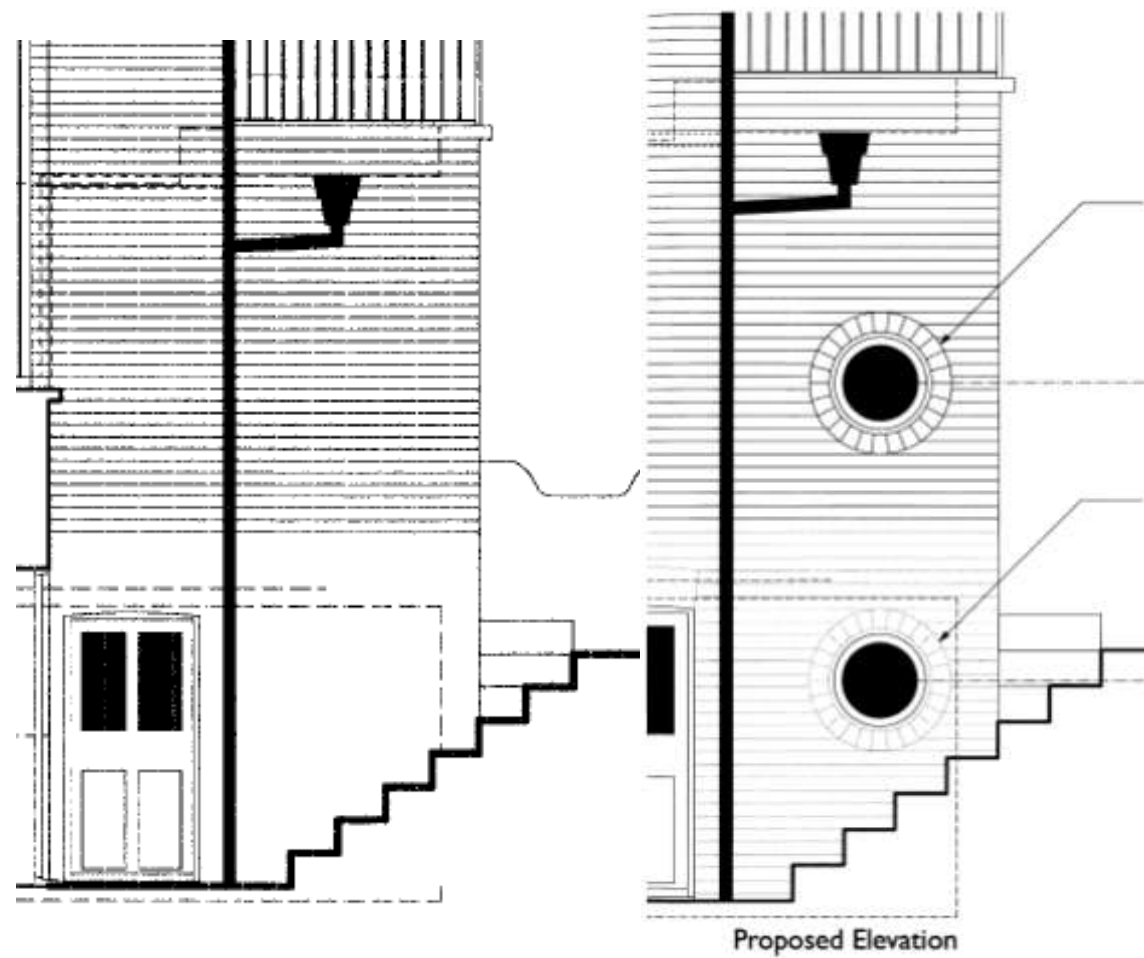


Figure 50: The existing (left) and proposed (right) flank elevation of the closet wing of 4 Sharpleshall Street (retrospective application 2011/3603/P and 2011/3604/L).

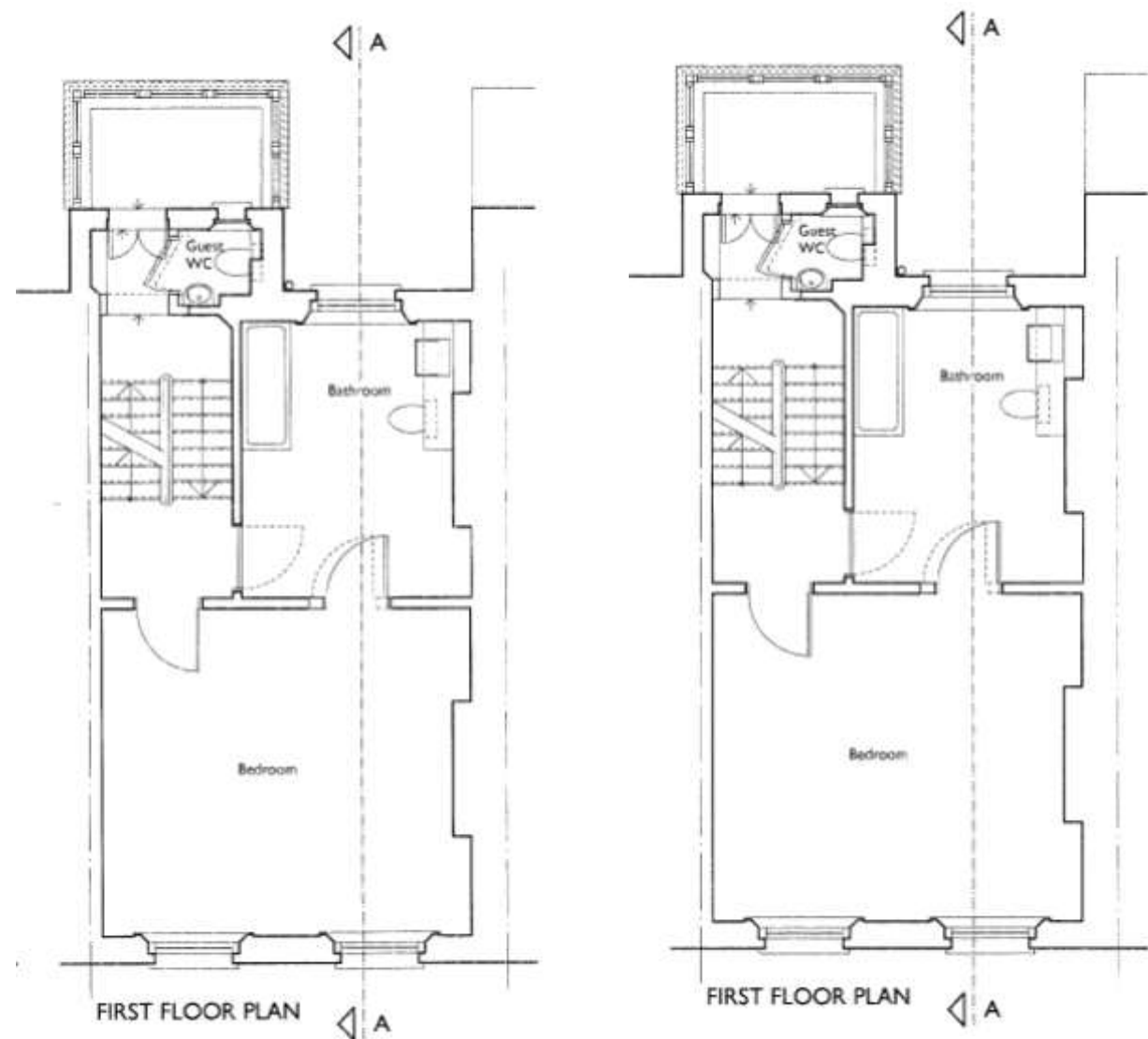


Figure 51: The existing (left) and proposed (right) first floor plan of 4 Sharpleshall Street (retrospective application 2011/3603/P and 2011/3604/L) shows

5.1 PLANNING HISTORY: 5 SHARPLESHALL STREET

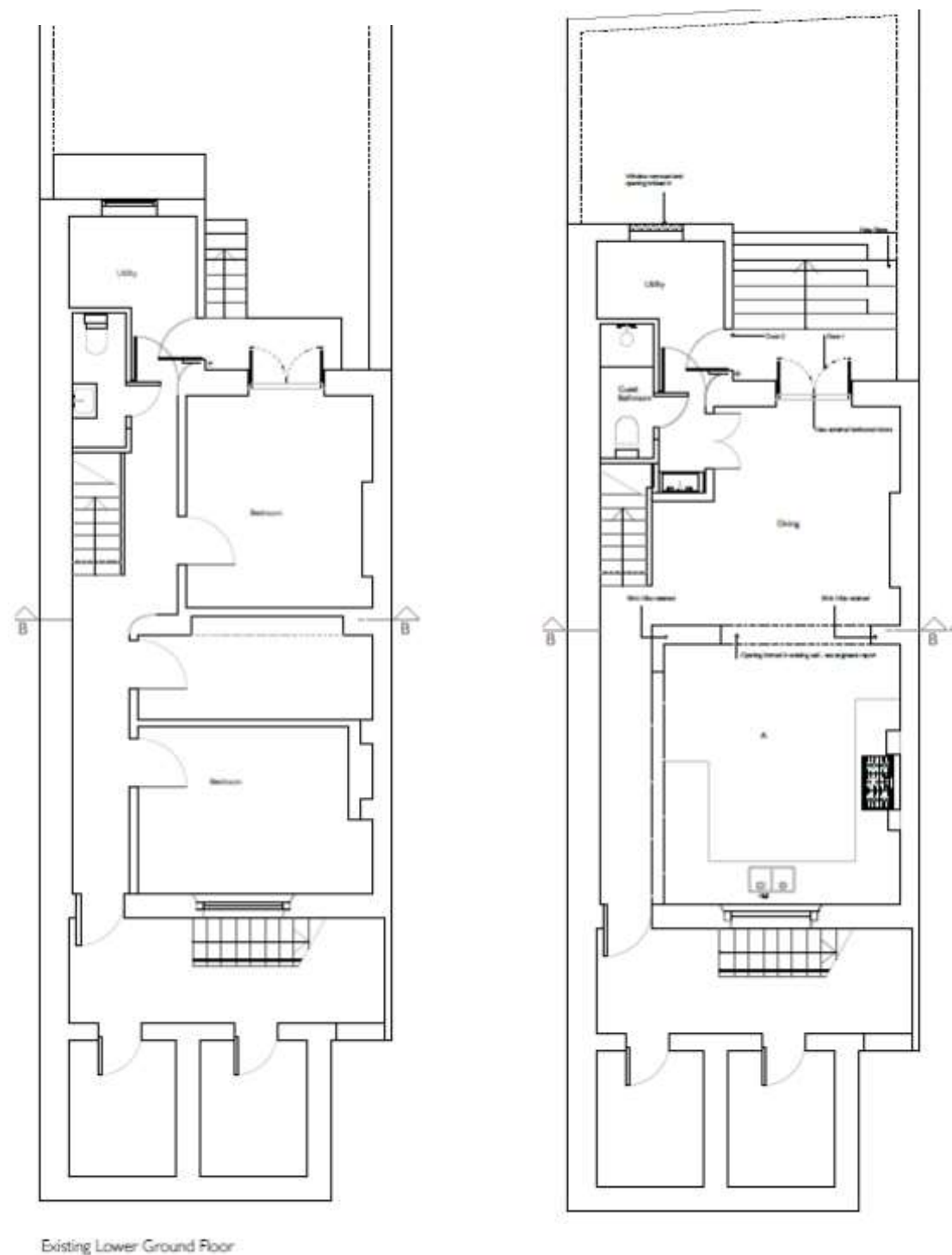


Figure 52: The existing (left) and proposed (right) lower ground floor plans of 5 Sharpleshall Street (2013/7037/P and 2013/7086/L) show double doors have previously been inserted into the rear wall of the main house to provide access to the garden. The closet wing has been sub-divided to create a WC and separate Utility.

The consented scheme included the bricking up of the window in the rear of the closet wing. It was also consented to remove a number of internal walls and reconfigure the internal space. A kitchen hob was inserted into the chimney breast of the front room.

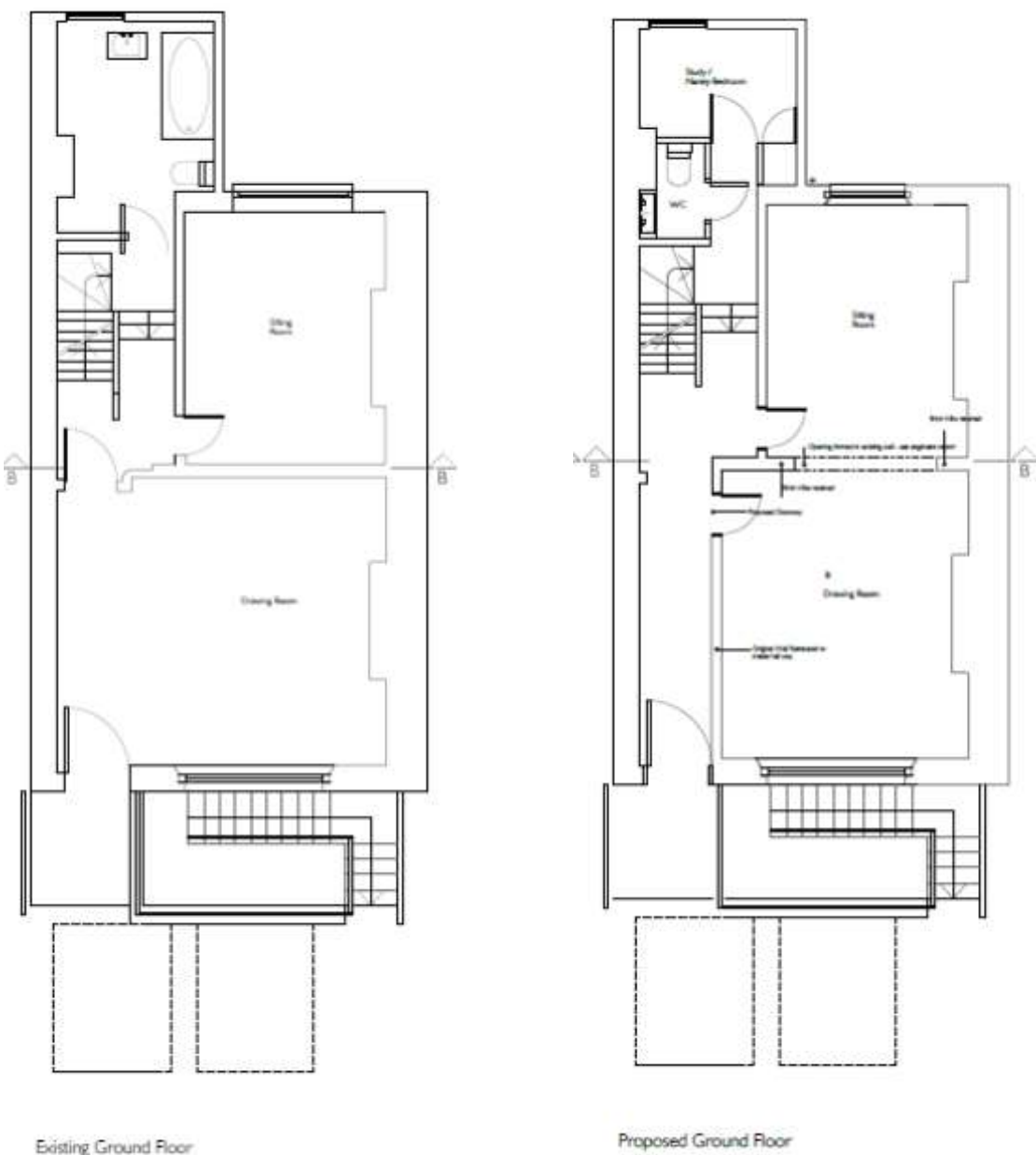


Figure 53: The existing (left) and proposed (right) ground floor plan of 5 Sharpleshall Street (2013/7037/P and 2013/7086/L) shows that it was proposed to reinstate the hallway. It was also proposed to demolish part of the wall between the front and rear reception rooms.

It was proposed to reconfigure the closet wing to extend the landing and create separate WC and Study.

5.1 PLANNING HISTORY: 5 SHARPLESHALL STREET

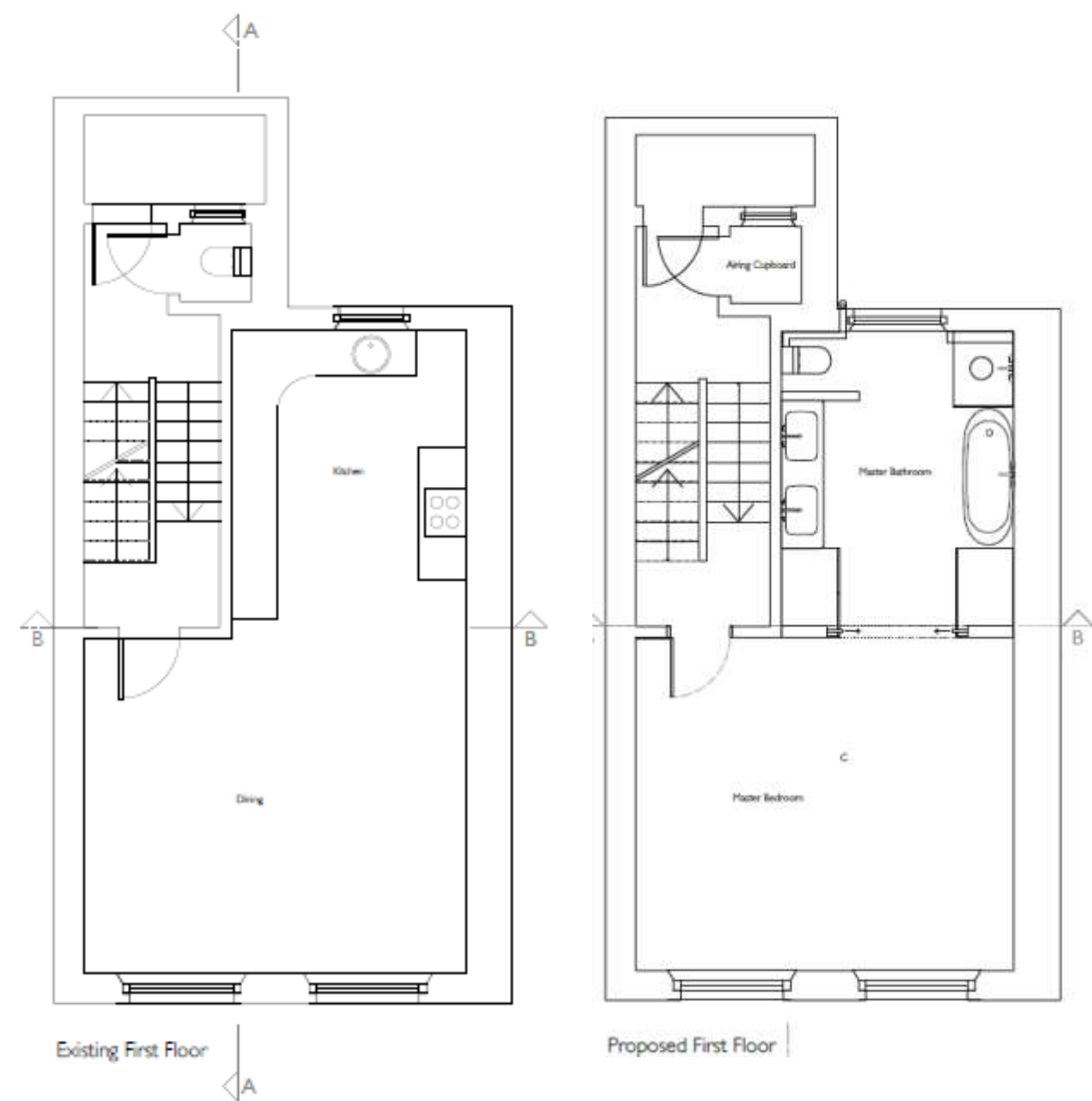


Figure 54: The existing (left) and proposed (right) first floor plans of 5 Sharpleshall Street (2013/7037/P and 2013/7086/L) show that the chimney breasts and dividing walls between the front and rear rooms have been removed.

The consented scheme included the reinstatement of nibs to mark the division between the front and rear rooms and the widening of the window in the rear room.



Figure 55: The existing (left) and proposed (right) second floor plan of 5 Sharpleshall Street (2013/7037/P and 2013/7086/L). The consented scheme included the insertion of a bathroom between with front and rear rooms. The bathroom is against the chimney breast of the front room.

It was also proposed to alter the staircase and remove the bathroom at mezzanine level to accommodate a staircase to provide access to the roof (see section CC on page 25).

5.1 PLANNING HISTORY: 5 SHARPLESHALL STREET

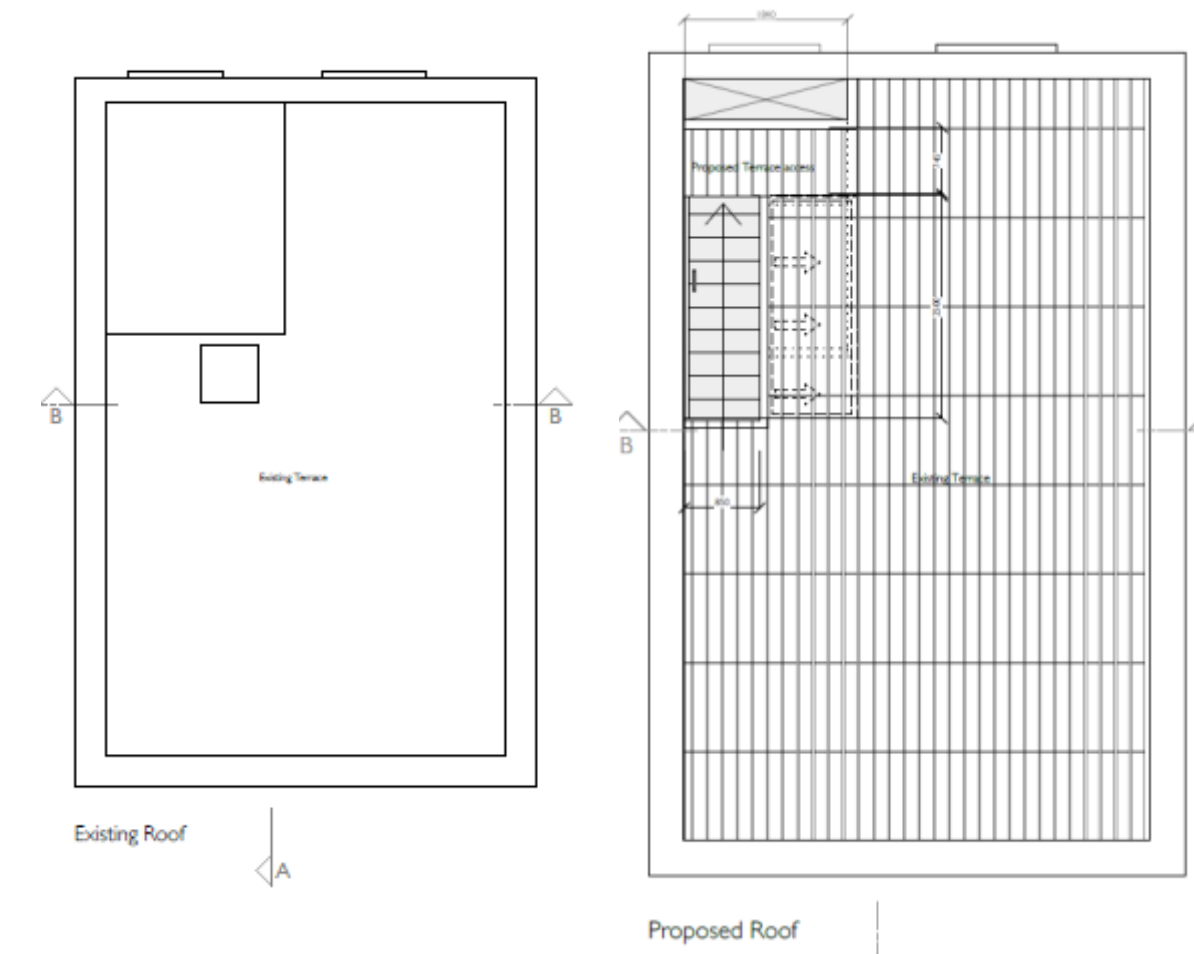


Figure 56: The existing (left) and proposed (right) roof plan. The consented scheme included new access to the existing roof terrace .

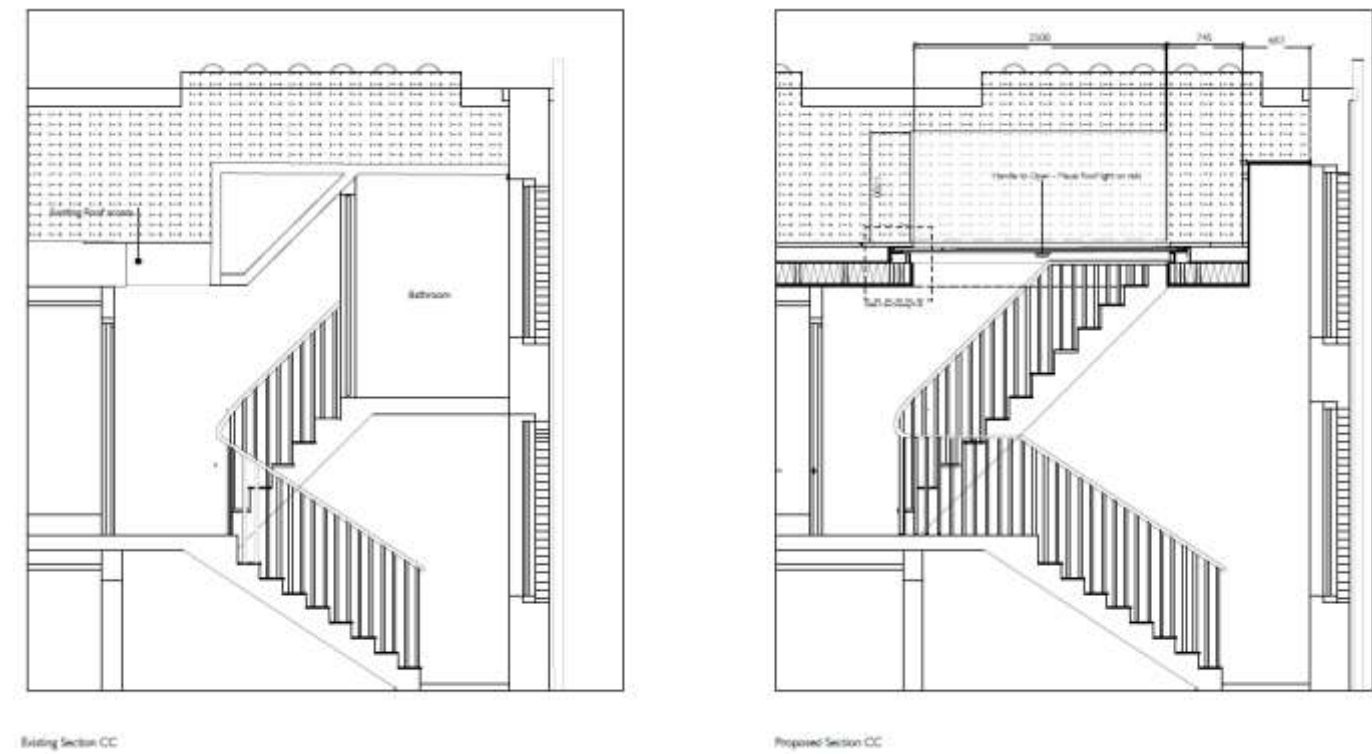


Figure 57: The existing (left) and proposed (right) Section CC. The consented scheme included reconfiguration of the staircase at second floor to provide access to the roof terrace.

5.1 PLANNING HISTORY: 7 SHARPLESHALL STREET

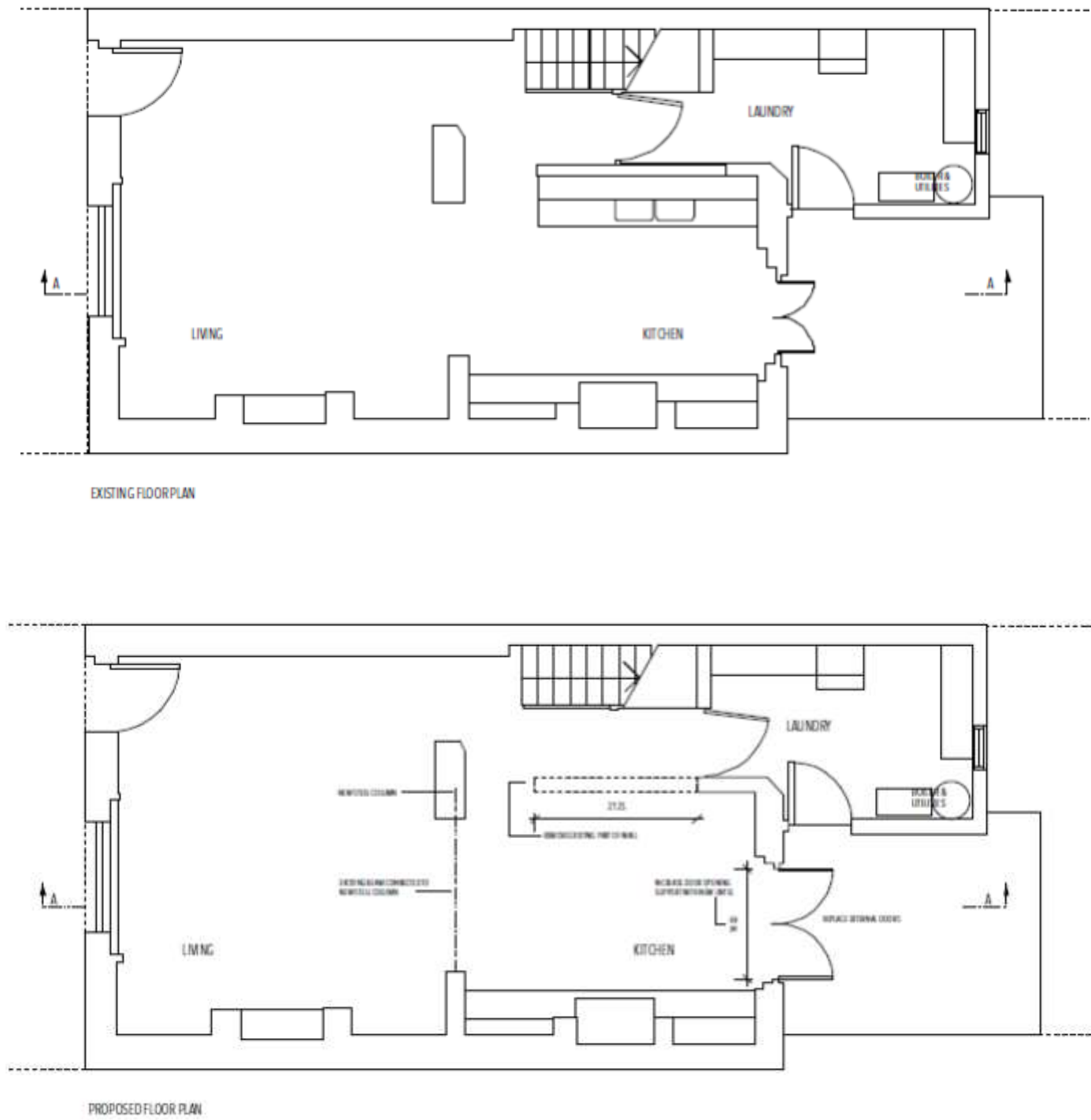


Figure 58: The existing (top) and proposed (bottom) lower ground floor plan (2011/6235/P and 2011/6414/L) show that some internal walls had already been removed. A Kitchen unit (presumably a hob) had already been inserted into the rear chimney breast).

The consented scheme included the demolition of part of the internal wall between the hall and the rear room.

It was also consented to widen the door opening from the rear room to the garden.

5.2 ALTERATIONS TO REAR ELEVATIONS

A review of some of the other houses in the terrace demonstrate the variety of alterations to the rear elevations. This page illustrates the variety of doors which have been inserted to provide access to the rear of the properties in the terrace.



Figure 59: 1 Sharpleshall Street. Ground floor door providing in the centre of the rear of the closet wing.



Figure 60: 5 Sharpleshall Street. Modern door in the rear of the closet wing at first floor level.



Figure 61: (top and bottom) 5 Sharpleshall Street. Double doors from the rear of the main house at basement level.

5.3 PLANNING HISTORY SUMMARY

The review of recent planning history of the terrace illustrates the amount of change which has taken place in other dwellings in the listed terrace. Most common alterations are:

- Insertion and alteration of rear doors in the ground and basement rear elevations and closet wings;
- Alterations and insertion of windows in the ground and basement rear elevations and closet wings;
- Removal of internal walls and reconfiguration of rooms, most commonly at basement level;
- Alterations of chimney breasts to accommodate kitchen appliances, in particular hobs;
- Reconfiguration of internal spaces of closet wings.



Figure 62: Bird's Eye Views of the rear elevations of 1-7 Sharpleshall Street. Source: Bing maps, 2018.

6.0 DEVELOPMENT PROPOSALS AND ASSESSMENT OF IMPACT

6.1 DEVELOPMENT PROPOSALS

As detailed in the Design and Access Statement which accompanies this application, the development proposals have evolved over a period of time through discussion with Camden’s Principal Planning (Conservation) Officer, the architect, specialist conservation structural engineers and CgMs Heritage. The proposals seek to repair and restore this house, which forms part of the Grade II listed terrace, to meet modern living standards, whilst conserving its heritage significance to secure appropriate usage and occupation of the historic building in to the future.

Below is a description of the proposals, this should be read in conjunction with the submitted Design and Access Statement and drawings.

General

- All chimney breasts to be retained.
- All internal door proportions to be retained.
- All decorative plasterwork to be retained.
- Repair original timber-framed windows.
- Repair external brickwork where required and repoint with lime mortar.
- Repair stucco where required and repaint.
- Repairs to roof and floor structures where required.

1. Basement

Front Lightwell

- Infill under bridge.
- Install York paving.
- Tank vaults. Restore original width of central vault’s door. Repair doors.
- Fix external light.

Front room

- Infill existing doorway from the hall. Create new doorway matching the original proportions. New door to be built to match proportions, mouldings etc. of original (without glazed panel).
- Insert new door (to match existing door, as above) to provide access to new shower room and front light well.
- Reinstate shutters to window, internally, to match details of shutters of Ground floor window.

Hallway

- Form new shower room in front hallway.

Back room

- Lower window opening to create a new doorway, retaining the width of the existing window. Insert new Crittall-style door.

Closet wing

- Raise the ceiling to increase the ceiling height.
- Divide room to create a WC/shower room and a utility room
- Infill rear window. Create new window to new WC/shower room. Window to be traditional timber-framed.
- Replace existing rear door with Crittall-style door.

Garden

- Excavate part of upper garden.
- Install York paving.

2. Ground floor

Hallway

- Remove internal, twentieth century lobby door.

Front room

- Widen opening between front and back rooms (retaining downstand and nibs).

Back room

- Install kitchen.

Closet wing

- Raise the floor level to increase the head room in the basement below.
- Remove partition wall between stairwell and closet wing.

- Divide room to create WC.
- Insert new Crittall-style door in rear wall to provide access to rear garden.
- Insert new fixed, frameless window in flank wall.

3. First floor

Front room

- Reinstate nib to the right hand side of the opening between the front and back rooms to increase the legibility of the historic plan form.

Back room

- Reinstate original doorway from hallway. Door proportions and details to match original reception room doors.

Closet wing

- Remove WC.
- Replace unoriginal external door with new traditional, timber door to provide access to rear terrace.

Balcony

- Replace modern wooden fencing with black-painted cast iron.

4. Second floor

Front room

- Create doorway between front and back rooms.

Back room

- Lock door from hallway.
- Use furniture to divide room to create a dressing room and a bathroom.
- Insert rooflight over dressing room.

Hallway

- Remove section of ceiling over landing and stairs up to Mezzanine (insert rooflight).

6.1 DEVELOPMENT PROPOSALS

5. Mezzanine

Remove WC.

Remove wall between stairwell and mezzanine room. Instate banisters to match original.

6. Roof

Two new roof lights (listed above).

Repair roof. Replace felt/fibre tile area of roof with slates to match original.

7. Rear garden

Partially excavate rear garden to create usable lower patio at basement level and upper patio at ground floor level.

8. Front elevation

Repair and repaint stucco.

Install York stone paving to ground floor entrance.

6.1 ASSESSMENT OF IMPACT

1-7 Sharpleshall Street (Grade II)

The development proposals have been carefully progressed to preserve the significance of this listed building. The proposals include structural repairs to the listed building to secure its fabric, as well as maintenance and repairs to external brickwork and stucco. These aspects of the proposals have been progressed with advice from a specialist conservation structural engineer and will extend the life of the building.

The features of historic and architectural interest are being retained and opportunities have been taken to enhance the historic detail of the house where twentieth century interventions have been unsympathetic. One key principle which has guided these proposals is the historical hierarchy of spaces within the house, which included principal rooms being located in the main house at ground and first floor. The architectural features in these rooms, such as decorative cornices and taller doorways provide evidence of their intended prominence. As such, these rooms are proposed to remain as reception rooms, and bedrooms and bathrooms are proposed to be situated in the less architecturally sensitive areas of the house. This would limit alterations required to facilitate these domestic functions to be focussed in the closet wing and at basement and second floor levels.

Two guest bedrooms, with associated bathrooms, are therefore proposed in the basement. In order to maintain the proportions of the existing front and back rooms, the bathrooms would require the subdivision of the hallway and the closet wing. Care has been taken in designing these spaces in order to ensure the front and back entrances would continue to be useable.

This arrangement would include the insertion of a small bathroom in part of the hallway and creation of a lobby inside the front basement door. Doors would lead off the lobby into the front bedroom and new bathroom. These proposals would also include moving the existing door to the front room. The proportions and details of the existing door would be replicated, although the glazed upper part of the existing door would be replaced with timber panels to provide privacy. The new position of the door would match that of the door to the room above which demonstrates the traditional corner entry arrangement. Overall, the loss of part of the original hallway and insertion of an additional doorway in the front room would result in the loss of a small amount of historic fabric and the reconfiguration of the original floor plan in this part of the basement. This is an alteration which allows the retention of original fabric and floor plan in more significant areas of the house and is therefore considered to have **no impact** on the significance of the listed building.

It is also proposed to raise the ceiling in the closet wing at basement level to increase the height in this room which is currently uncomfortably low. The room would also be divided to provide a small bathroom for the new rear bedroom. This would include moving the existing window to provide

light into the new bathroom. The proportions of the existing window will be replicated and the new window will be traditional, timber framed. These alterations are considered to have **no impact** upon the significance of the listed building.

It is proposed to infill under the bridge to the ground floor entrance. This will provide a covered entrance to the basement level. This is a common alteration in such terraces and has already been done at the neighbouring property. It is considered that this will have **no impact** upon the significance of the listed building.

It is proposed to tank the vaults in front of the basement area in order to make them useable storage spaces. It is also proposed to reinstate the original width of the entrance to the central vault, and to repair the historic timber doors. This repair would **enhance** the significance of the listed building.

New external, Critall-style doors are proposed to the rear basement level to maximise natural light in these darker areas and enhance the relationship between the house and the garden. This area is largely unappreciable from neighbouring properties or the public realm because of tight development surrounding the rear of this terrace. The door which is being replaced (in the rear elevation of the closet wing at basement) is not considered to be of historic or architectural value and its replacement with a high quality, modern door is considered appropriate in this location. The window in the rear of the main house at basement level which is proposed to be replaced is timber framed sash window and is likely to date from the nineteenth century. This window is largely concealed from exterior views and has been replaced in other houses in the terrace. These alterations are therefore considered to have **no impact** upon the significance of the listed building.

The main alterations proposed at ground floor level are intended to improve the appearance of this space and are limited to the closet wing. It is proposed to introduce a new doorway with Crittall-style door from the rear of the closet wing into the upper part of the rear garden. It is also proposed to insert a new window in the flank elevation of the closet wing. These openings are in discreet locations at a lower level of the rear elevation with very limited visibility from exterior positions. The designs of the door and window are both modern in style and are therefore legible as new insertions. The carefully considered proportions and placement of the proposed window and door would provide an appropriate composition of the elevations. It is therefore considered that this will have **no impact** upon the significance of the listed building.

It is also proposed to remove the internal wall between the stairwell and the closet wing in order to increase the amount of light brought into the stairwell and hallway from the proposed openings in the closet wing. This wall at present does not align with the rear wall of the main house. Removing this wall would result in the loss of a small amount of fabric

which probably dates to the nineteenth century, however it would enable the appreciation of the elegant staircase soffit which at present is restricted. A length of banister to match the existing would be fitted in place of the existing wall for safety and to enable a continued appreciation of the separate spaces. This would be reinforced by the change in floor levels between the landing and closet wing as a result of raising the floor in the closet wing to increase the ceiling height of the room below. It is therefore considered that these alterations would have **no impact** upon the significance of the listed building.

At first floor level it is proposed to instate a nib between the front and rear rooms and insert double doors in order to reinstate the legibility of the historic plan form at this level. Furthermore, the original door into the rear room is proposed to be reinstated with the new door designed to match the existing reception room doors. These aspects of the proposals would provide an **enhancement** to the significance of the listed building.

In the closet wing between ground and first floor it is proposed to remove the WC. This small room is not considered to contribute to the significance of the listed building and so its removal is considered to have **no impact** upon the significance of the listed building.

The proposal to replace the poor quality, unoriginal rear door onto the balcony at this level with a traditional, timber-framed door will provide an **enhancement** to the significance of the listed building. The appearance of the rear elevations and associated closet wings of the other houses in the terrace are consistent at this, more visible level, and so it is considered important to retain the rhythm and appearance of openings here.

It is also proposed to replace the poor quality and unstable wooden balcony fence with a simple, black painted, cast iron railing, which is considered an appropriate materials and would provide an **enhancement** to the building's significance.

At second floor it is proposed to create a master bedroom suite. In order to retain the legibility of the historic room plan, it is proposed to lock the door from the landing to the rear room. Cupboards will be positioned against this door on the inside. It is proposed to create a doorway between the front and rear rooms which will enable the continued legibility of the historic floor plan. It is considered that this will have **no impact** upon the significance of the listed building.

In order to bring more natural light into the second floor it is proposed to insert two rooflights, one above the proposed dressing room and one above the landing. It is also proposed to remove the WC at upper mezzanine level and the small section of wall between the WC and the stairwell, replacing it with bannisters to match the existing throughout the rest of the house. These aspects of the proposal will together increase the amount of light and enhance the appearance of the second floor landing. The WC on the upper mezzanine level at present makes no contribution to the significance

6.1 ASSESSMENT OF IMPACT

of the listed building and so its removal will have no impact on the significance of the listed building. The butterfly roof is entirely concealed from the public realm by raised parapets and so the rooflights will not be visible. These aspects are together considered to have **no impact** on the listed building's significance.

The roof is covered partly in slates and partly in a non-original, felt/fibre roof tiles. The proposals to repair the roof, retaining the existing reusable slates and replacing the felt/fibre tiles with slates to match the existing will provide an **enhancement** to the significance of the listed building.

Primrose Hill Conservation Area

Externally, the proposals seek to repair and repoint the brickwork and repaint the stucco where necessary. This will improve the appearance of the building and **enhance** the character and appearance of the Conservation Area.

The alterations to external doors and windows are restricted to the basement and ground floor levels of the rear elevation. Due to the tightly developed nature of the surrounding area and high garden walls, these proposed alterations will be largely concealed from view from the Conservation Area. Furthermore, these parts of the building are traditionally more functional spaces and similar alterations are common features of such terraces. It is therefore considered that these aspects of the proposals will have **no impact** upon the significance of the Conservation Area.

7.0 CONCLUSIONS

This Built Heritage Statement has been produced by CgMs Heritage (part of the RPS Group) in support of the planning and listed building consent application for alterations and refurbishment to 6 Sharpleshall Street.

This report is submitted to address the requirements of Paragraph 189 of the NPPF. It provides a detailed assessment of the site and its significance as well as an assessment of the impact of the proposals upon the significance of the listed building.

The proposals are considered to preserve the listed building’s features of special architectural and historic interest, repairing its fabric and securing its appropriate use and occupation into the future. In addition, the proposals will have no impact upon the significance of the Grade II listed 1-7 Sharpleshall Street or the Primrose Hill Conservation Area.

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