

Application ref: 2018/3977/P  
Contact: David Peres Da Costa  
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Date: 30 October 2018

**Development Management**  
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DP9 Ltd  
100 Pall Mall  
London  
SW1Y 5NQ

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Approval of Details Granted**

Address:

**1 Triton Square & St Anne's Church  
London  
NW1 3DX**

Proposal:

Details of 'ground investigation in accordance with the approved programme' for the residential element required by condition 12b of planning permission 2016/6069/P dated 21/11/2017 (as amended by 2017/6573/P dated 22/12/17) (for erection of 3 storey extension at roof (6th floor) level of 1 Triton Square to provide additional office floorspace (Class B1) with relocated plant above, creation of roof terraces at 6th floor level, reconfiguration of ground floor including infill of Triton Square Mall including flexible retail, affordable workspace (B1) and reprovision of gym (D2); erection of part 6, part 9 storeys residential building to provide 22 flats (Class C3) following demolition of St Anne's Church (Class D1); hard and soft landscaping including garden at junction of Longford Street and Triton Square; reconfigured vehicle and pedestrian accesses; and other ancillary works).

Drawing Nos: St Annes Ground Contamination Risk Assessment and Remediation Strategy prepared by Arup dated 1st August 2018

Informative(s):

#### **1 Reason for granting**

The environmental health officer has reviewed the submitted information. The ground investigation identified elevated lead, PAH and asbestos. A clean cover

layer of a minimum 1.0m thickness is recommended in the garden area that should be underlain by a hard no dig layer. A marker layer would be placed beneath hard surfaced areas and used to line service trenches to mitigate potential risks to future maintenance workers. A verification report would be prepared following completion of the works to demonstrate that the objectives of the remediation strategy have been achieved.

The written scheme of remediation and mitigation would meet the requirements of Condition 12b and would ensure future occupiers would be protected from the possible presence of ground contamination. A verification report is required prior to occupation before condition 12 can be fully discharged. This would be confirmed in an informative.

The planning and appeal history of the site has been taken into account when coming to this decision.

The submitted details are consistent with the general expectations of the approved scheme and are acceptable in all other respects.

As such, the proposed development is in general accordance with policies C1, A1 and DM1 of the Camden Local Plan 2017.

- 2 You are reminded that conditions 4b (piling method statement - residential element), 5 (hard and soft landscaping), 7b (tree protection - residential element), 8 (Detailed drawings, or samples of materials), 9 (sample panel), 12 (contamination verification report), 13A (SUDS - residential element and Longford Place) and 13B (SUDS - evidence of implementation), 14 (biodiverse roof), 15 (bird and bat boxes), 17 (mechanical ventilation), 18 (Air Quality Neutral), 21 (Building Regulations M4(2)), 22 (Building Regulations M4(3)(2)(b)) and 26 (waste storage) of planning permission 2016/6069/P dated 21/11/2017 (as amended by 2017/6573/P dated 22/12/17) are outstanding and require details to be submitted and approved.

You are advised that details for conditions 16A (air quality monitoring for commercial element), 16B (air quality monitoring for residential element) and 20 (Solar PV) of planning permission 2016/6069/P dated 21/11/2017 (as amended by 2017/6573/P dated 22/12/17) have been submitted and are being currently assessed.

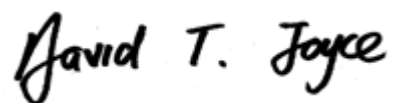
- 3 You are reminded that in order to fully discharge condition 12, a verification report is required to be submitted to demonstrate that the remediation strategy has been achieved.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The script is cursive and fluid, with the first letters of each word being capitalized and prominent.

David Joyce  
Director of Regeneration and Planning