

Application ref: 2018/1885/P
Contact: Tony Young
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Date: 25 October 2018

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Mr Ali Moshref
Flat 20
Hampstead Gates
38 Ryland Road
London
NW5 3EH

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat 20
Hampstead Gates
38 Ryland Road
London
NW5 3EH

Proposal: Installation of a conservation style rooflight to inner pitch of south roofslope.

Drawing Nos: Site location plan; Site plan; Block plan (ref. RYLND-L101); (AM-)101 to 111 (inclusive); Velux section details (ref. GGL-EDN-0114-1104); Product specification (ref. VELUX-GGU MK06 0034); Design & access (with heritage) statement dated October 2018.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017 and policy D3 of the Kentish Town Neighbourhood Plan (2016)

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: Site location plan; Site plan; Block plan (ref. RYLND-L101); (AM-)101 to 111 (inclusive); Velux section details (ref. GGL-EDN-0114-1104); Product specification (ref. VELUX-GGU MK06 0034); Design & access (with heritage) statement dated October 2018.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting planning permission:

The proposal seeks to install a conservation style rooflight to the inner pitch of the south roofslope. The centre-pivot rooflight would contain obscure glass within dark grey aluminium frames to blend in closely with the existing grey slate roofslope. The rooflight would not be visible from the public realm given it's low position within the inner pitch of the existing roofslope, as well as, being set as close to flush as possible within the plane of this roofslope, so ensuring that no harm would be caused to the character, appearance or historic interest of the Grade II listed building and to wider views of the host building.

Overall, the proposed alteration is considered to be appropriate in terms of its design, scale, colour, position, and materials to be used. The proposal is minor in nature and would preserve the special architectural and historic interest of the Grade II listed building, and would not detract from the character and appearance of the Inkerman Conservation Area, in accordance with Council policies and guidelines, and is therefore considered to be acceptable.

Concern was initially raised by the Council given that the original proposal to insert 3 triangular shaped rooflights on 3 sides of the apex of the roof would not be appropriate as they would be highly visible and harmful to the special architectural and historic interest of the Grade II listed building. Following advice, the applicant altered the proposals to a single rooflight, positioned lower down in an inward facing roofslope. Following these revisions, the proposal is considered to be acceptable.

Given the minor nature and siting of the proposed works, they are not considered to harm the amenity of adjoining occupiers. The alteration would not result in the loss of any outlook or increased overlooking to the nearest neighbouring resident whose window faces the south roofslope given the low position of the proposed rooflight and the fact that it would be obscure glazed. The level of artificial light spill from a rooflight of this size, angle and position is also considered unlikely to result in any undue harm. Overall, the proposal is

therefore considered to be acceptable in terms of its impact on privacy, outlook, overlooking, and artificial light level.

The site's planning and appeals history has been taken into account when coming to this decision.

Following statutory consultation, the Kentish Town Neighbourhood Forum raised no objections to the proposals. No objections were received in relation to the proposal.

Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest as well as the character of the conservation area, under s.66 and s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

As such, the proposal is in general accordance with policies A1, D1 and D2 of the Camden Local Plan 2017, policy D3 of the Kentish Town Neighbourhood Plan 2016, the London Plan 2016, and the National Planning Policy Framework 2018.

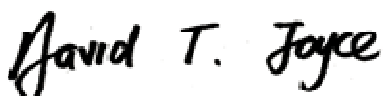
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning