

3. Relevant extracts from Hampstead Conservation Area Statement (2001), Design and Amenity SPD (2018), Camden Local Plan (2017) and London Plan (2016)



Conservation
area statement

► **Hampstead**

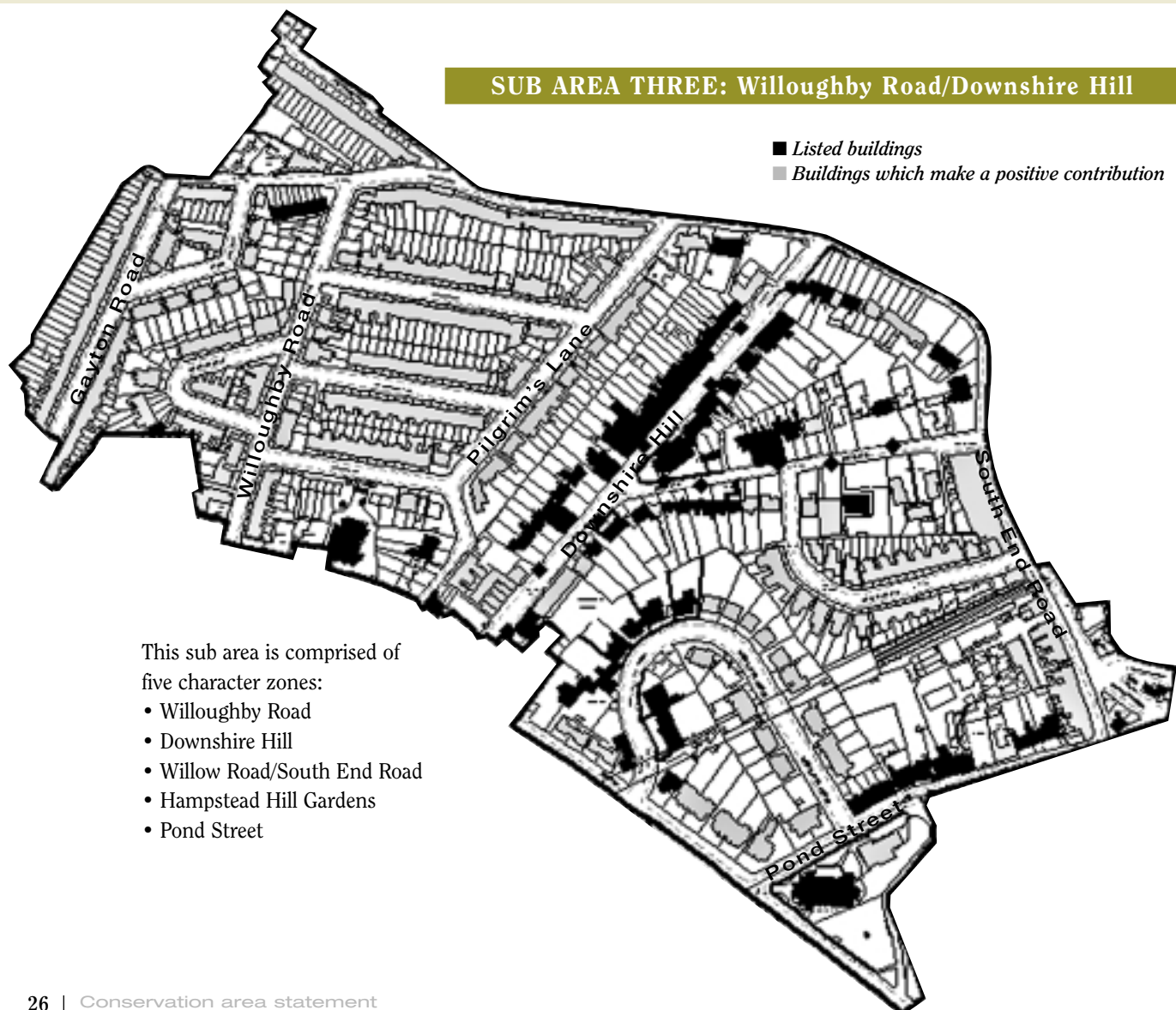
Buildings or features which detract from the character of the area and would benefit from enhancement

Elm Row: Two garage doors in wall
 New End: security gates at 2-6 Youngs Court, The Nurses Home
 New End Square: 34 - large mansard roof extension
 Hampstead Square: Garages adjacent to No.2
 Flask Walk: Garages next to 3-7 Flask Cottages, 36&56 garages
 East Heath Road: Hard standing in front of Nos.4-8.
 Holford Road: 5 & 6
 Cannon Place: roof of 23&25, garage at 19
 Streatley Place: security gates
 Squires Mount: Conservatory on roof of No.11

Neutral Buildings

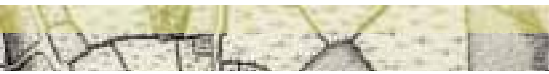
East Heath Road: Ladywell Court
 Flask Walk: 24-38, 3-7 Flask Cottages
 New End: 2-6 Youngs Court, Carnegie House,
 Streatley Place: 14-19
 Well Road: 15, 15a

SUB AREA THREE: Willoughby Road/Downshire Hill



This sub area is comprised of five character zones:

- Willoughby Road
- Downshire Hill
- Willow Road/South End Road
- Hampstead Hill Gardens
- Pond Street



WILLOUGHBY ROAD AREA



These streets form one of the most dense and homogenous parts of Hampstead, laid out somewhat like a grid. The houses are mostly of red or gault brick. Few are of high architectural quality, but many have attractive timber porches, ornamental brickwork or other flourishes typical of their period. Denning Road, Carlingford Road, Kemplay Road all run downhill away from Willoughby Road comprising largely four storey terraced Victorian houses with their rooflines stepping downhill to the east. Many of the houses have semi-basements and steps up to the front door with boundary walls to the pavement. Architectural details vary from street to street adding character to the area as a whole. A few smaller, modern houses have been built on gap sites or back gardens. These generally have fewer floors, lower ceilings and smaller windows than the older houses and in some cases the disparity in scale is uncomfortable.

Carlingford Road The terraces on either side are of a similar scale and period, three storeys with raised ground floors, semi-basements and varied detail. Nos.12-34 has well preserved iron balustrades to the front steps. A number of properties have dormers at the front and rear, some of which are unsympathetic and over large (e.g. Nos.15, 22,24,30,32,34). Nos.2-6 &25-35 have a parapet at roof level. The rear elevations of the lower south side properties are visible from Pilgrim's Lane.



Denning Road There are terraces on both sides with considerable variety in the detail. Predominantly they are three storey, some with a semi-basement. Nos.1-7 have distinct porticoes and ground floor bays, Nos.12-36 are brick with red brick dressings and sash windows with multi-panes with white painted wood details framing the recessed front door. The roof lines vary in design, although most are pitched. And as with other streets in this sub-area there are unsympathetic roof alterations (Nos.5,7,13,22 & 23,39). A former Hall (now in residential use) on the west side interrupts the rhythm of the street and provides contrast in scale, but with materials and details that relate to the street. Nos.29-33 are a terrace of distinct red brick houses with canopied front door and a gable/dormer in the roof. Nos.47/49 is a 1960s pair of three storey houses with internal garages at ground floor level. The garages are typical of the period but detrimental to the streetscape.

Gayton Crescent On the west side the whole area has a 1960s development (see Gayton Road). Facing it on the curving rising crescent are semi detached villas in gault brick with hipped roofs and prominent chimneys. Nos.1,2,3 form a terrace of 3 houses. All are substantial three storey buildings with a brick front wall and piers. No. 5 has a forecourt parking that detracts from this consistent boundary.



Gayton Road It falls gently from the High Street to Well Walk and has an unusually long terrace for the Conservation Area. The terrace (Nos.9-36 cons) on the north-west side is three storeys with semi-basements in gault brick, although some have been painted. They have a canted bay on three floors and decorative brickwork stringcourses and cornices. Nos.3-8 (cons.) at the Heath Street end is two storey with semi-basements. No.3 has a garage built onto the front garden that detracts from the townscape. The southeast side is three storey but with some variation in the detail. Low brick walls with piers form the boundary and some have cast iron railings and gates. About half of the properties have roof extensions and these have had a considerable impact on the road. Some of those extensions were built in the 1970s and 80s and would no longer be acceptable because of their design, bulk and materials. The 1960s group at Nos.17-23 Gayton Crescent and Nos.36a -38a Gayton Road (by Ted Levy, Benjamin & Partners), on the other hand, are more successful because the scale established by their windows and staggered plan harmonises with their neighbours.



Kemplay Road Most of the north side is a terrace (Nos.4-24) that steps up the hill. Built in gault brick with three storeys and raised ground floor and a semi-basement. The windows have a distinctive arch detail in carved



brickwork; originally built with a small dormer there are now a number of large harmful dormers (Nos. 4, 10, 14, 18, 22, 24). At the corner with Pilgrim's Lane is No.2, a two storey double fronted house with similar brickwork to the adjacent terrace. The single storey bay and porch has a parapet and balustrade and there are pollarded trees in the front garden. The south side has three storey Victorian properties at either end but the central section has a lower profile with the

Rosslyn Hill Unitarian Chapel (listed) set back from the street. It also has an entrance on Rosslyn Hill. The Chapel is in Kentish ragstone rubble with Portland Stone dressings. Either side of the Chapel, on a site that was part of the chapel garden and was left unbuilt until the middle of the 20th century are some plain two storey terraces - Nos.5&7 and Nos.13-21. There are mature trees in the chapel garden and in the front gardens of Nos.5-21. Tucked away to the west of the Chapel is Pilgrim's Place, a listed terrace of three mid 19th century unrendered cottages.



Pilgrim's Lane From Willow Road the Lane is straight rising gently to Kemplay Road and is largely 1880s. The properties are two and three storeys with varied detail. Many have a pitched roof and dormer window, except Nos.22-34 that have no roof alterations and Nos.50&52 that have a gable. An extension to No.50 by Eldridge Smerin (2002) provides a contemporary insertion. Denning, Carlingford and Kemplay Roads terminate on Pilgrim's Lane and there are views down towards Pilgrim's Lane, as well as views of those street's rear elevations looking back. The character of the road changes as it curves at its southern arm. At the curve of the road Nos.12-20 are two storey houses with pitched roofs of various periods. No.11 on the west side is

a prominent two storey detached house at the corner with Kemplay Road. Built in the inter-war period it has a hipped tiled roof and is now rendered a terracotta colour. As the road turns towards Rosslyn Hill a group of contrasting properties sit well together. No.10 is a 1960s building redesigned



by SHH Architects in stucco and wood. No.8 is an interesting Arts and Crafts influenced house. It has a gable with decorative brickwork and distinct chimneys. On the ground floor front elevation there is the unusual feature of a ships figurehead. Nos.2-6 is a terrace of red brick two storey houses with double height bays. Pilgrim's Lane was originally a short lane off Rosslyn Hill and the western end of the road shows this history with its fine late 18th and early 19th century houses; Nos.7, 9 and Rosslyn House (2a) are listed. Rosslyn House is the sole survivor of a terrace that ran down Rosslyn Hill.



Rudall Crescent The road loops to the west of Willoughby Road and is a mixture of 19th and 20th century architecture. Nos.1-13 is a red brick terrace of three storeys with double canted bay and single dormer. On the other side of the road Nos.2-6 are a two storey version with similar details and a ground floor bay and decorative brick cornice. No.6 had an unsightly conservatory in front of the ground floor bay enclosing the whole front garden that is being altered as part of the conversion of the property. No.13a (Penn Studio) is set back from the street and was built as an artist's studio c1880/1900 and is a single storey rendered building with a canted front. As the road curves the



properties are set back behind longer front gardens. Nos.15/17 are a pair of red brick Queen Anne style properties with a Dutch gable roof line. Nos.19-21 have a simpler design with a single storey bay, Nos.23/25 have a gable end with decorative bargeboard and arched windows on the upper floors. No.27 is a two storey 1960s house attached to No.29, also two storey from the late 1950s. It continues the rhythm and scale of Nos.31-39 that were built in the gardens of 4-9 Gayton Crescent in the late 1950s. The group creates an appealing contrast to its Victorian

neighbours forming a continuous two-storey terrace with white painted wood cladding, set back behind a brick wall. At the junction with Pilgrim's Lane are Nos.43-47 with distinctive two colour brick work and a gable. Steps lead to the raised ground floor with wooden porch and pediment.

Willoughby Road The road falls downhill towards Christchurch Hill, and mostly has three storey terraced properties, some with semi-basements. From the junction with Rosslyn Hill Nos.2-18 are three storey in red brick with semi-basement and a square bay to the first floor. The third floor has both a dormer and half dormer in the roof. The porch has a tiled roof and decorative timber. Nos.3-7 are three storey red brick with semi-basement. The mansard roof has a pedimented central window. Nos.9-17 are similar but with different roof details. On the east side Nos.18-24 form a terrace of three storey properties with a semi-basement and a dormer in the pitched roof. Unfortunately No.22 has a full width dormer that severely mars the group. No.28 & 28a are a 1950s two storey semi-detached pair whose symmetry is spoiled by the introduction of a roof extension on No.28. Nos.23-27 are post Second World War two storey houses with dormers that sit back from the road, forming a group. They lie between two 19th century buildings. There is a fine sycamore on corner of Willoughby Road and Willow Cottages (garden of No.33).



DOWNSHIRE HILL AREA



Keats Grove, Downshire Hill and the stretch of South End Road that links them were developed in the early 1800s around the elegant chapel of St John's. Most of the houses date from that period, and are listed. They range from tiny cottages to quite substantial villas of brick or stucco, detached or combined in informal terraces in a variety of classical styles or the Gothic of Nos.7 & 8 Downshire Hill. All are set in spacious front gardens defined by low walls, hedges or railings. These gardens, the numerous mature trees together with quality and variety of the houses give the area a strong identity.



Downshire Hill The road slopes down towards the Heath from Rosslyn Hill and is fairly broad with houses set back behind lush front gardens. Looking along the street low brick walls with piers and railings link the boundaries and create a unified streetscape. There is an abundance of quality in the buildings with 48 listed houses, mostly from the early 19th century. The majority are stuccoed and as Pevsner says "the delightful thing is the preservation of so much, yet no uniformity". Heights vary between two and three storeys and there is a profusion of ironwork on the facades and the front boundary. Two types of roof predominate - hipped roofs with projecting eaves or parapets. Placed at the centre is St John's Church (listed grade I) whose entrance faces the junction of Keats Grove and Downshire Hill. Built in 1818-23 as a proprietary chapel it is stuccoed. Here and there newer houses have been built, all of which fit comfortably into this relaxed setting; Nos.50&51 (listed) a pair of terraced mid 19th century stucco houses; a fine row of red brick properties with ground floor shops at No.1,2a,3a,4a; Hampstead Hill Mansions (1896) in red brick with a scrolled pediment above the entrance; the imposing side elevation of the listed Police Station on Rosslyn Hill; No.40a an 1880s red brick insertion - all reflect the increasing density of later 19th century development along the High Street and Rosslyn Hill.



The Freemasons Arms terminates the Heath end of Downshire Hill. This Georgian style building with bold hipped roof and chimneys replaced a succession of earlier pubs on the site in 1936. Other distinguished modern buildings include Sir Michael Hopkins steel and glass box at No.49a Downshire Hill (1975), discreet with the ground floor set well below street level and vegetation masking the building. No.13a by MJH and Charlotte Bunney (1936) was built next to the side wing of No.13 and has a painted two storey façade and elegant roof detail that blends into the road.

Keats Grove This slopes gently down to South End Road and has long, mature, well-maintained front gardens. The front boundaries are a combination of low brick walls with railings and hedges or wooden fencing. It has retained many of its Regency (early 19th century) Villas and cottages. Most properties are set back from the road and their two storey

HAMPSTEAD C.A. STREETSCAPE AUDIT -

BACK LANE towards Heath Street

Granite sett roadway (large pink rectangular blocks)
York stone pavement both sides
Narrow granite kerbstones
Two original cast iron lighting columns.
Granite setts used in crossovers

BIRD IN HAND YARD

On the left side, a recessed drain pipe might have been damaged by the vehicles.
On the right side, the corner from High Street to the Yard is curved at ground floor level, then right-angled from first floor level upwards – thus, a sharp edged corner avoided at ground level.
Huge square granite setts as road surface, with long granite blocks laid up to the kerbs (which abut the walls of the facing buildings); the wheel tracks showing in many places clearly visible, the indents of cart-wheels over many years.
At the entrance from the High Street, two stone bollards (½ section) leaning against corners to protect them. The kerbstones are black, grey and pink – a wonderful collection.
At the far end of the Yard, where Spencer Walk abuts, 16 granite blocks laid with their ends to the kerbstones – and the cart tracks here are even more visibly ‘rutted’ – originally the horse-bus terminus from central London.
On the north side originally a tiny gents’ urinal – outline of sloping roof just visible.

BOADES MEWS

Two steps are granite and top step is concrete,
High brick wall to school playground
Tiled name plate (TNP) including hand pointing “to Flask Walk”
York stone pavement outside Flask cottages
Granite setts at crossover to house in Boades Mews
One 19th century fluted lighting column

CANNON LANE towards Well Road

Towering brick wall to Cannon Hall
Fine small cannon bollards
Narrow granite kerbs
High wall to Cannon Hall
One 19C lighting column near Parish lock
granite setts as drainage channels
Set in wall: Doorway to historic Parish lock-up, also black iron plaque recounting its history.
1 cannon bollard
TNP on right hand wall “to Squires Mount and Cannon Place” with pointing hand.
Overhanging foliage on left hand wall opposite Cannon Hall wall
TNP Cannon Lane in wall of 22 Well Road

CANNON LANE to East Heath Road

Mature trees on left above garden walls
granite sett crossover into garage 2nd house on right
Lantern on top of wall at the back of Lyon House
TNP “Canon Lane” as the road meets E.Heath Road
Granite spurstone at base of wall at side of Lyon House

CANNON PLACE

Granite kerbs stones.
Drainage channels: North = 1 row granite setts; South = three rows granite setts.
Footways: York stone (both sides).

6 original listed bollards made by the Frederick Bird iron foundry - name stamped in base, same iron foundry which made the large ornamental lamp posts in Oriel Place.

WELL WALK from triangle to Christchurch Hill

Two 10'6" Revo lighting columns with copper lanterns; the one on the north side having a coat of arms on the door at its base.

On the left ie north side, distinctive red brick paving.

Cast iron letterbox.

Well Passage

3 cast iron bollards and 3 granite steps at top (junction with Well Road)

THE WELL WALK TRIANGLE

At junction of Well Walk, Willow Walk, Gayton Road, Flask Walk and New End Square, a very distinctive triangular paved area; triple stepped granite kerbstones on south side reducing to double stepped granite kerbstones on north side; the east end (ie at point of triangle) a large half segment stone; the whole triangle paved in York stone carefully cut into radial shapes at the two west end corners; two twelve foot Revo lighting columns, one at each end. A very special townscape feature in this Conservation area.

WILLOUGHBY ROAD

TNPs at corner with Willow Road, corner with High Street, corner with Old Brewery Mews.

Rare metal street name plate o/s No. 23, letters impressed on thin metal plate.

Borough of Hampstead cast aluminium street name plate o/s No. 7 on concrete posts

Nine 9' cast iron lamp posts, ex-Borough of Hornsey, unusual design, large round base with fluting, circular post, decorative ladder bars; refurbished copper lanterns c.1950s.

Coal hole covers in small York stone slabs eg o/s Nos. 2-14 and 46 and 48

Three lines of long granite setts for drainage channels.

Letter box Edward VII (ie E VII) o/s No. 7 corner with Rudall Crescent, McDowall Steven & Co. Ltd., London & Glasgow.

'One-off' circular ceramic plaque on flank wall of Essex Court, north corner with High Street, "In fond memory of Maggie Richardson 1901-1974 who sold flowers here for 60 years". The Heath & Old Hampstead Society".

Large mature tree in garden of 33 Willow Road; several tall lime trees in side garden of

2 Denning Road, and tall trees on north side of road opposite Denning Road; plus occasional street tree planting, all very effective.

WILLOW ROAD from Downshire Hill north to Flask Walk

Various front walls with piers, caps and railings. Bricks generally match the house behind.

Nos.5, 6 walls of soft red brick match houses.

Nos. 8, 9, 10, 11 matching; barley-sugar twist railings.

Nos. 12, 13, 14; another group, with distinctive matching piers. Railings of middle property may be original.

Nos. 15,16, 17, 18 another group; wall of Gault bricks with piers, stone caps, railngs.

No. 20 in-set iron boot-scrapers in pier to either side of entrance.

Fourteen 19th century cast iron lighting columns with reproduction Windsor lanterns Grassy bank of Heath directly abutting roadside.

Coal hole covers set in York stone slabs on pavement

TNPs at No 32, in front of No.54, in flank wall of No.1 Well Walk, wall of No. 48 and in garden wall of Gardnor House

Three and four lines of granite setts as drainage channels

Wide granite kerbstones many of geological significance

At jct. with Christchurch Hill cast iron Hampstead seat and listed granite cattle trough with vast and splendid horse-chestnut tree overhanging distinctive tall clipped privet hedge.

Victorian pillar box on corner of Pilgrims' Lane.

Fine sycamore on corner of Willoughby Road and Willow Cottages (garden of No.33).

Red brick pavement (outside listed Willow Cottages) with narrow granite kerbstones

York stone paving slabs between Gayton Crescent and Gayton Road, both sides

Magnificent ancient London Plane tree in back garden of No 54

Brick retaining wall with recessed arches outside Willow Hall (former barracks)

Camden Planning Guidance

Design_{CPG} 1

London Borough of Camden

July 2015 Updated March 2018



Rear extensions

- 4.9 A rear extension is often the most appropriate way to extend a house or property. However, rear extensions that are insensitively or inappropriately designed can spoil the appearance of a property or group of properties and harm the amenity of neighbouring properties, for example in terms of outlook and access to daylight and sunlight.

General principles

- 4.10 Rear extensions should be designed to:
- be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing;
 - respect and preserve the original design and proportions of the building, including its architectural period and style;
 - respect and preserve existing architectural features, such as projecting bays, decorative balconies or chimney stacks;
 - respect and preserve the historic pattern and established townscape of the surrounding area, including the ratio of built to unbuilt space;
 - not cause a loss of amenity to adjacent properties with regard to sunlight, daylight, outlook, overshadowing, light pollution/spillage, privacy/overlooking, and sense of enclosure;
 - allow for the retention of a reasonable sized garden; and
 - retain the open character of existing natural landscaping and garden amenity, including that of neighbouring properties, proportionate to that of the surrounding area.
- 4.11 Materials should be chosen that are sympathetic to the existing building wherever possible (see also CPG3 Sustainability on Sustainable use of materials).

Height of rear extensions

- 4.12 In order for new extensions to be subordinate to the original building, their heights should respect the existing pattern of rear extensions, where they exist. Ground floor extensions are generally considered preferable to those at higher levels. The maximum acceptable height of an extension should be determined in relation to the points outlined in paragraph 4.10 above. In cases where a higher extension is appropriate, a smaller footprint will generally be preferable to compensate for any increase in visual mass and bulk, overshadowing and overlooking that would be caused by the additional height.
- 4.13 In most cases, extensions that are higher than one full storey below roof eaves/parapet level, or that rise above the general height of neighbouring projections and nearby extensions, will be strongly discouraged.

Camden Local Plan

2017

Managing the impact of development

- 6.1 Standards of amenity (the features of a place that contribute to its attractiveness and comfort) are major factors in the health and quality of life of the borough's residents, workers and visitors and fundamental to Camden's attractiveness and success. Camden's Inner London location, the close proximity of various uses and the presence of major roads and railways means that amenity is a particularly important issue within the borough.
- 6.2 Policy A1 therefore seeks to ensure that standards of amenity are protected. Other policies within the Plan also contribute towards protecting amenity by setting out our approach to specific issues, such as the impact of food, drink and entertainment uses in Policy TC4 Town centre uses, Policy A4 Noise and vibration, and Policy CC4 Air quality.

Policy A1 Managing the impact of development

The Council will seek to protect the quality of life of occupiers and neighbours. We will grant permission for development unless this causes unacceptable harm to amenity.

We will:

- a. seek to ensure that the amenity of communities, occupiers and neighbours is protected;
- b. seek to ensure development contributes towards strong and successful communities by balancing the needs of development with the needs and characteristics of local areas and communities;
- c. resist development that fails to adequately assess and address transport impacts affecting communities, occupiers, neighbours and the existing transport network; and
- d. require mitigation measures where necessary.

The factors we will consider include:

- e. visual privacy, outlook;
- f. sunlight, daylight and overshadowing;
- g. artificial lighting levels;
- h. transport impacts, including the use of Transport Assessments, Travel Plans and Delivery and Servicing Management Plans;
- i. impacts of the construction phase, including the use of Construction Management Plans;
- j. noise and vibration levels;
- k. odour, fumes and dust;
- l. microclimate;
- m. contaminated land; and
- n. impact upon water and wastewater infrastructure.

Design

- 7.1 Good design is essential to creating places, buildings, or spaces that work well for everyone, look good, last well and will adapt to the needs of future generations. The National Planning Policy Framework establishes that planning should always seek to secure high quality design and that good design is indivisible from good planning.

Policy D1 Design

The Council will seek to secure high quality design in development. The Council will require that development:

- a. respects local context and character;
- b. preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;
- c. is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;
- d. is of sustainable and durable construction and adaptable to different activities and land uses;
- e. comprises details and materials that are of high quality and complement the local character;
- f. integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage;
- g. is inclusive and accessible for all;
- h. promotes health;
- i. is secure and designed to minimise crime and antisocial behaviour;
- j. responds to natural features and preserves gardens and other open space;
- k. incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example through planting of trees and other soft landscaping,
- l. incorporates outdoor amenity space;
- m. preserves strategic and local views;
- n. for housing, provides a high standard of accommodation; and
- o. carefully integrates building services equipment.

The Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

Tall buildings

All of Camden is considered sensitive to the development of tall buildings. Tall buildings in Camden will be assessed against the design criteria set out above and we will also give particular attention to:

- p. how the building relates to its surroundings, both in terms of how the base of the building fits in with the streetscape and how the top of a tall building affects the skyline;
- q. the historic context of the building's surroundings;
- r. the relationship between the building and hills and views;
- s. the degree to which the building overshadows public spaces, especially open spaces and watercourses; and
- t. the contribution a building makes to pedestrian permeability and improved public accessibility.

In addition to these design considerations tall buildings will be assessed against a range of other relevant policies concerning amenity, mixed use and sustainability.

Public art

The Council will only permit development for artworks, statues or memorials where they protect and enhance the local character and historic environment and contribute to a harmonious and balanced landscape design.

Excellence in design

The Council expects excellence in architecture and design. We will seek to ensure that the significant growth planned for under Policy G1 Delivery and location of growth will be provided through high quality contextual design.

Local context and character

- 7.2 The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:
- character, setting, context and the form and scale of neighbouring buildings;
 - the character and proportions of the existing building, where alterations and extensions are proposed;
 - the prevailing pattern, density and scale of surrounding development;
 - the impact on existing rhythms, symmetries and uniformities in the townscape;
 - the composition of elevations;
 - the suitability of the proposed design to its intended use;
 - inclusive design and accessibility;
 - its contribution to public realm and its impact on views and vistas; and
 - the wider historic environment and buildings, spaces and features of local historic value.
- 7.3 The Council will welcome high quality contemporary design which responds to its context, however there are some places of homogenous architectural style (for example Georgian Squares) where it is important to retain it.
- 7.4 Good design takes account of its surroundings and preserves what is distinctive and valued about the local area. Careful consideration of the characteristics of a site, features of local distinctiveness and the wider context is needed in order to achieve high quality development which integrates into its surroundings. Character is about people and communities as well as the physical components.

Policy D2 Heritage

The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

Designated heritage assets include conservation areas and listed buildings. The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;
- b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;
- c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
- d. the harm or loss is outweighed by the benefit of bringing the site back into use.

The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

Conservation areas

Conservation areas are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas.

The Council will:

- e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;
- f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;
- g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and
- h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage.

Listed Buildings

Listed buildings are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. To preserve or enhance the borough's listed buildings, the Council will:

- i. resist the total or substantial demolition of a listed building;
- j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and
- k. resist development that would cause harm to significance of a listed building through an effect on its setting.

Archaeology

The Council will protect remains of archaeological importance by ensuring acceptable measures are taken proportionate to the significance of the heritage asset to preserve them and their setting, including physical preservation, where appropriate.

Other heritage assets and non-designated heritage assets

The Council will seek to protect other heritage assets including non-designated heritage assets (including those on and off the local list), Registered Parks and Gardens and London Squares.

The effect of a proposal on the significance of a non-designated heritage asset will be weighed against the public benefits of the proposal, balancing the scale of any harm or loss and the significance of the heritage asset.

Enhancing the historic environment

7.42

The Council has a proactive approach to conserving heritage assets. In addition to the application of Local Plan policies the Council protects the historic environment through the following areas of work:

- Conservation Area Management Strategies: The Council works with the Conservation Area Advisory Committees to update and support the implementation of the strategies.
- Heritage at Risk: The Council identifies buildings and structures at risk and proactively seeks to conserve and where required put them back into viable use, including identifying sources of funding.
- Local list of undesignated heritage assets: The Council introduced the local list in 2015 and it will be updated annually.
- Guidance: The Council has adopted detailed guidance for the preservation of heritage assets in the supplementary planning document Camden Planning Guidance on design, and Retrofitting Planning Guidance (for sustainability measures in historic buildings). The Council updates planning guidance as required.

MAYOR OF LONDON



THE LONDON PLAN

**THE SPATIAL DEVELOPMENT STRATEGY FOR LONDON
CONSOLIDATED WITH ALTERATIONS SINCE 2011**

MARCH 2016

capacity, and subject to the wider concerns of this policy, the density of a scheme may be at the higher end of the appropriate density range. Where connectivity and capacity are limited, density should be at the lower end of the appropriate range. The Housing SPG provides further guidance on implementation of this policy in different circumstances including mixed use development, taking into account plot ratio and vertical and horizontal mixes of use.

- 3.31 Residential density figures should be based on net residential area, which includes internal roads and ancillary open spaces. Family housing is generally defined as having three or more bedrooms. Car parking provision should be in accordance with the standards outlined in Chapter 6. The Housing SPG provides guidance on addressing the relationships between car parking provision, development density and levels of public transport accessibility in different types of location.

POLICY 3.5 QUALITY AND DESIGN OF HOUSING DEVELOPMENTS

Strategic

- A Housing developments should be of the highest quality internally, externally and in relation to their context and to the wider environment, taking account of strategic policies in this Plan to protect and enhance London's residential environment and attractiveness as a place to live. Boroughs may in their LDFs introduce a presumption against development on back gardens or other private residential gardens where this can be locally justified.

Planning decisions and LDF preparation

- B The design of all new housing developments should enhance the quality of local places, taking into account physical context; local character; density; tenure and land use mix; and relationships with, and provision of, public, communal and open spaces, taking particular account of the needs of children, disabled and older people.
- C LDFs should incorporate requirements for accessibility and adaptability¹, minimum space standards² including those set out in Table 3.3, and water efficiency.³ The Mayor will, and boroughs should, seek to ensure that new development reflects these standards. The design of all new dwellings should also take account of factors relating to 'arrival' at the building and the 'home as a place of retreat'. New homes should have adequately sized rooms and convenient and efficient room layouts which are functional and fit for purpose, meet the changing needs of Londoners over their lifetimes, address climate change adaptation and mitigation and social inclusion objectives and should be conceived and developed through an effective design process⁴.

¹ Requirements M4 (2) and M4 (3) of Schedule 1 to the Building Regulations 2010. HM Government 2015.

² Technical housing standards – nationally described space standard. DCLG 2015

³ London Plan Policy 5.15

⁴ Mayor of London, Housing SPG 2016

- D Development proposals which compromise the delivery of elements of this policy, may be permitted if they are demonstrably of exemplary design and contribute to achievement of other objectives of this Plan.
- E The Mayor will provide guidance on implementation of this policy that is relevant to all tenures.

Table 3.3 Minimum space standards for new dwellings⁵⁷

Number of bedrooms	Number of bed spaces	Minimum GIA (m2)			Built-in storage (m2)
		1 storey dwellings	2 storey dwellings	3 storey dwellings	
1b	1p	39 (37)*			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	
5b	6p	103	110	116	3.5
	7p	112	119	125	
	8p	121	128	134	
6b	7p	116	123	129	4.0

Notes to Table 3.3

* Where a one person dwelling has a shower room instead of a bathroom, the floor area may be reduced from 39m² to 37m², as shown bracketed.

The Gross Internal Area of a dwelling is defined as the total floor space measured between the internal faces of perimeter walls that enclose a dwelling. This includes partitions, structural elements, cupboards, ducts, flights of stairs and voids above stairs. GIA should be measured and denoted in square metres (m²).

The nationally described space standard sets a minimum ceiling height of 2.3 meters for at least 75% of the gross internal area of the dwelling. To address the unique heat island effect of London and the distinct density and flatted nature of most of its residential development, a minimum ceiling height of 2.5m for at least 75% of the gross internal area is strongly encouraged so that new housing is of adequate quality, especially in terms of light, ventilation and sense of space.

⁵⁷ New dwellings in this context includes new build, conversion and change of use

- 3.32 Securing new housing of the highest quality and protecting and enhancing residential neighbourhoods are key Mayoral priorities. The number of new homes needed to 2036 will create new challenges for private developers and affordable homes providers, but also brings unique opportunities for new housing which will be remembered as attractive, spacious, safe and green and which help to shape sustainable neighbourhoods with distinct and positive identities.
- 3.32A Since 2011 the London Plan has provided the basis for a range of housing standards that address the housing needs of Londoners and these are brought together in the Housing Supplementary Planning Guidance (SPG). The options and process recently provided by Government aim to improve the quality of housing nationally⁵⁸ and provide an opportunity to reinforce the status of the standards already in place for London. They have been consolidated and tested to ensure that they are sound in terms of need and viability.
- 3.33 New housing development should address the wider concerns of this Plan to protect and enhance the environment of London as a whole. New development, including that on garden land and that associated with basement extensions, should avoid having an adverse impact on sites of European importance for nature conservation either directly or indirectly, including through increased recreation pressure on these sites. New development should also take account of the Plan's more general design principles (policies 7.2 to 7.12) and those on neighbourhoods (Policy 7.1), housing choice (Policy 3.8), sustainable design and construction (Policy 5.3), as well as those on climate change (Chapter 5), play provision (Policy 3.6), biodiversity (Policy 7.19), and flood risk (Policy 5.12).
- 3.34 Directly and indirectly back gardens play important roles in addressing many of these policy concerns, as well as being a much cherished part of the London townscape contributing to communities' sense of place and quality of life. Pressure for new housing means that they can be threatened by inappropriate development and their loss can cause significant local concern. This Plan therefore supports development plan-led presumptions against development on back-gardens where locally justified by a sound local evidence base. Such a presumption has been taken into account in setting the Plan's housing target⁵⁹. The London-wide SHLAA assumed a theoretical reduction of 90% in the historic level of garden development, so there is no strategic housing land availability obstacle to the formulation of relevant DPD policies that seek to protect back gardens or other private residential gardens from housing development. Local approaches to the surfacing of front gardens should also reflect the broader policies of this Plan, including the need for such surfaces to be permeable, subject to permitted development rights⁶⁰.

58 New national technical standards, Eric Pickles written statement to Parliament 25 March 2015: "Steps the government is taking to streamline the planning system, protect the environment, support economic growth and assist locally-led decision-making."

59 CLG NPPF 2012 op cit paras 48, 53

60 CLG. Guidance on the Permeable Surfacing of Front Gardens. CLG, 2009

- 3.35 The quality of individual homes and their neighbourhoods is the product of detailed and local design requirements but the implementation of these across London has led to too many housing schemes in London being of variable quality. The cumulative effect of poor quality homes, and the citywide benefits improved standards bring, means this is a strategic issue and properly a concern of the London Plan. Addressing these issues is an important element of achieving the Mayor's vision and detailed objectives for London and its neighbourhoods set out in Chapter One.
- 3.36 The Mayor regards the relative size of all new homes in London to be a key element of this strategic issue and therefore has adopted the Nationally Described Space Standard⁶¹. Table 3.3 sets out minimum space standards for dwellings of different sizes. This is based on the minimum gross internal floor area (GIA) required for new homes relative to the number of occupants and taking into account commonly required furniture and the spaces needed for different activities and moving around. This means developers should state the number of bedspaces/ occupiers a home is designed to accommodate rather than, say, simply the number of bedrooms. These are minimum standards which developers are encouraged to exceed. When designing homes for more than eight persons/bedspaces, developers should allow approximately 10 sq m per extra bedspace/person. Single person dwellings of less than 37 square metres may be permitted if the development proposal is demonstrated to be of exemplary design and contributes to achievement of other objectives and policies of this Plan.
- 3.37 Other aspects of housing design are also important to improving the attractiveness of new homes as well as being central to the Mayor's wider objectives to improve the quality of Londoners' environment. To address these he has produced guidance on the implementation of Policy 3.5 for all housing tenures in his Housing SPG, drawing on his design guide for affordable housing⁶².
- 3.38 At the neighbourhood level this SPG addresses the relationship between strategic density Policy (3.4) and different local approaches to its implementation; the spaces between and around buildings; urban layout; enclosure; ensuring homes are laid out to form a coherent pattern of streets and blocks; public, communal and private open spaces; and the ways these relate to each other and neighbourhoods as a whole. It will respond to the needs of an ageing population by including the principles for inclusive design and those to develop and extend Lifetime Neighbourhoods set out in Policies 7.1 and 7.2.
- 3.39 For individual dwellings the SPG covers issues such as 'arrival' - including the importance of creating active frontages, accommodating footpaths and entrances and shared circulation spaces; size and layout including room space standards as well as the dwelling space standards set out in Table 3.3; the home as a 'place of retreat' (especially important in higher density development); meeting the

61 Technical housing standards – nationally described space standard. DCLG 2015

62 Mayor of London. London Housing Design Guide (LHDG) 2010 - this has been replaced by the 2016 Housing SPG
