

LOWER GROUND FLOOR PLAN																
DOOR No.	LOCATION	LEAF TYPE	CONFIGURATION	DOOR FINISH	FRAME FINISH	JAMB DETAIL	HEAD DETAIL	LEAF WIDTH	DOOR SEALS	VISION PANEL	FIRE RATING	ACCESS CONTROL	AUTOMATIC PUSH BUTTON	HARDWARE FINISH	COMMENTS	DOOR No.
LG.01	EXTERNAL/ CORRIDOR DOOR	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	REMOVE EXISTING LOCK - REPLACE WITH NEW LOCK AND THUMBTURN THOROUGHLY PREPARE AND REDECORATE DOOR AND FRAME	LG.01
LG.02	OFFICE R.LG01	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	EXISTING DOOR REHUNG, REFER TO GA PLAN	LG.02
LG.03	CLEANER CUPBOARD	TYPE 17	SINGLE	SPRAY PAINTED	SPRAY PAINTED HARDWOOD	J3 + J3	H3	826	INTUMESCENT	NO	FD 30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE LOCKABLE	LG.03
LG.04	LIGHTWELL ACCESS DOOR	TYPE 18	SINGLE	SPRAY PAINTED	SPRAY PAINTED HARDWOOD	EXTERNAL	EXTERNAL	SITE DIMENSIONS REQD	WEATHERPROOF	-	-	-	-	DARK BRONZE ANOD.	FRAME DETAILS TO BE SIMILAR TO DOOR NO. LG.08 PROVIDE NEW EXTERIOR QUALITY DOOR & FRAME FITTED WITH WEATHERPROOF SEALS, FRAME HEAD HEIGHT AS EXISTING WINDOW	LG.04
LG.05	OMITTED															LG.05
LG.06	STAIR 1 / CORRIDOR	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	FIT INTUMESCENT SEALS	EXISTING	FD 30 S	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM, NEW DOOR IF REQUIRED TO MATCH EXISTING IN APPEARANCE	LG.06
LG.07	WC	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOOR REPAIRS TO ALLOW FOR FITTING OF NEW IRONMONGERY OR REPLACE DOOR IF NECESSARY	LG.07
LG.08	LIFT LOBBY/ LIGHT WELL	TYPE 24	SINGLE	GLASS/ TIMBER	GLASS/ TIMBER	TO MATCH EXISTING	TO MATCH EXISTING	SITE DIMENSION	INTUMESCENT	YES	FD 30 S	TBC	-	DARK BRONZE ANOD.	PROVIDE NEW GLASS/TIMBER DOOR TO MATCH EXISTING, ALLOW FOR NEW LOCKS & ACCESS CONTROL LOCK	LG.08
LG.09	LIFT MOTOR ROOM	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	-	DARK BRONZE ANOD.		LG.09
LG.10	COMMS ROOM	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	-	-	YES	-	DARK BRONZE ANOD.		LG.10
LG.11	LIGHTWELL/ PLANT ROOM	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	-	DARK BRONZE ANOD.	THOROUGHLY PREPARE AND REDECORATE DOOR AND FRAME	LG.11
LG.12	LIGHT WELL MEET & GREET	TYPE 23	SINGLE	GLASS/ALUMINIUM	ALUMINIUM	BY SPECIALIST	BY SPECIALIST	SITE DIMENSION	ACOUSTIC	N/A	-	TBC	-	DARK BRONZE ANOD.	REFER ALSO TO DRAWING NO. DT21 SHOWING REDUCED DOOR HEIGHT & NEW BULKHEAD OVER	LG.12
LG.13	OFFICE R.LG09	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.		LG.13
LG.14	COMMON ROOM	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD 30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	LG.14
LG.15	OFFICE R.LG09	EXISTING	DOUBLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	-	DOOR TO BE FIXED SHUT, NO IRONMONGERY TO BE FITTED, PAINT FINISH TO MATCH ADJACENT WALL COLOUR	LG.15
LG.16	ANCLLARY	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	EXISTING DOOR LEAF TO BE REHUNG (REFER TO GA PLAN)	LG.16
LG.17	CUPBOARD	TYPE 25	DOUBLE	SPRAY PAINTED	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD60 S	-	-	DARK BRONZE ANOD.	PROVIDE NEW DOOR IN EXISTING FRAME CONTRACTOR TO CHECK & ALLOW FOR FITTING NEW INTUMESCENT SEALS TO ACHIEVE REQUIRED FIRE RESISTANCE IF NECESSARY	LG.17
LG.18	STAIR 2/ COMMON ROOM	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	FIT INTUMESCENT SEALS	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM	LG.18
LG.19	EXTERNAL/ OFFICE DOOR	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	REMOVE EXISTING LOCK - REPLACE WITH NEW LOCK AND THUMBTURN THOROUGHLY PREPARE AND REDECORATE DOOR AND FRAME	LG.19
LG.20	OFFICE R.LG13	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	FIT INTUMESCENT SEALS	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	LG.20
LG.21	OFFICE R.LG14	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	FIT INTUMESCENT SEALS	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	LG.21
LG.22	OFFICE R.LG15	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.		LG.22
LG.23	STAIR 2	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	REPLACE	-	-	-	-	DARK BRONZE ANOD.	THOROUGHLY PREPARE AND REDECORATE DOOR AND FRAME	LG.23
LG.24	LIGHT WELL COURTYARD	EXISTING	SINGLE	-	-	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOOR TO BE OVERHAULED, ALLOW FOR FITTING NEW SEALS & IRONMONGERY	LG.24
LG.25	HOT OFFICE	TYPE 1	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1B + J1C	H1	830 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	JAMB DETAIL J1C TO BE AGREED WITH DOOR/PARTITION MANUFACTURER	LG.25
LG.26	SEMINAR ROOM														DOOR TO BE PROVIDED AS PART OF OPERABLE WALL SYSTEM, IRONMONGERY TO MATCH ADJACENT DOORS	LG.26
LG.27	BOOTH	TYPE 3	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1B + J1C	H1	630 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	JAMB DETAIL J1C TO BE AGREED WITH DOOR/PARTITION MANUFACTURER	LG.27
LG.28	BOOTH	TYPE 3	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1B + J1C	H1	630 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	JAMB DETAIL J1C TO BE AGREED WITH DOOR/PARTITION MANUFACTURER	LG.28
LG.29	MEETING ROOM 7P	TYPE 2	SINGLE	DOUBLE GLAZED	ALUMINIUM RAL 9007	J2B + J2C	H2	830 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	JAMB DETAIL J2C TO BE AGREED WITH DOOR/PARTITION MANUFACTURER, PROVIDE ACOUSTIC DROP DOWN THRESHOLD SEAL	LG.29
LG.30	RISER	EXISTING	DOUBLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	FIT INTUMESCENT SEALS	-	FD60 S	-	-	RAL 9007	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY RISER DOORS TO BE DECORATED TO MATCH ADJACENT WALL COLOUR	LG.30
LG.31	RISER	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	FIT INTUMESCENT SEALS	-	FD60 S	-	-	RAL 9007	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY RISER DOORS TO BE DECORATED TO MATCH ADJACENT WALL COLOUR	LG.31
LG.32	WINE STORE	TYPE 5	SINGLE	HW VENEER	SPRAY PAINTED HARDWOOD	J3 + J3	H3	826	ACOUSTIC	YES	-	-	-	RAL 9007	DOOR TO BE LOCKABLE	LG.32
LG.33	PREP. KITCHEN	TYPE 4	SINGLE	HW VENEER	SPRAY PAINTED HARDWOOD	J3 + J3	H3	926	ACOUSTIC	YES	-	-	-	RAL 9007		LG.33
LG.34	FURNITURE STORE	TYPE 6	DOUBLE	SPRAY PAINTED	SPRAY PAINTED HARDWOOD	J3 + J3	H3	826 + 826	ACOUSTIC	NO	-	-	-	RAL 9007		LG.34
LG.35	STAIR 3 LOBBY	TYPE 16	SINGLE	HW VENEER	SPRAY PAINTED HARDWOOD	J3 + J3	H3	926	INTUMESCENT	YES	FD30 S	TBC	YES	RAL 9007	DOOR TO BE POWER ASSISTED	LG.35
LG.36	DDA WC	TYPE 7	SINGLE	HW VENEER	SPRAY PAINTED HARDWOOD	J3 + J3	H3	926	ACOUSTIC	NO	-	-	-	RAL 9007	DOOR TO BE FITTED WITH HARDWARE THAT ALLOWS DOOR TO OPEN OUTWARDS IN EVENT OF AN EMERGENCY	LG.36
LG.37	WC	TYPE 20	SINGLE	HW VENEER	REPAIR & REDECORATE	EXISTING	EXISTING	SITE DIMENSIONS	ACOUSTIC	EXISTING	-	-	-	RAL 9007	PROVIDE NEW DOOR IN EXISTING FRAME	LG.37
LG.38	FIRE EXIT	TYPE 11	DOUBLE	PPC RAL 9007	PPC RAL 9007	BY SPECIALIST	BY SPECIALIST	SITE DIMENSIONS	WEATHERPROOF	N/A	-	YES	-	STAINLESS STEEL	NEW STEEL/GLASS EXTERIOR DOOR & FRAME TO MATCH EXISTING PROVIDE KEYPAD/VIDEO/INTERCOM DOOR ENTRY SYSTEM LINKED TO RECEPTION DESK	LG.38
LG.39	LOCKERS & BIKES	TYPE 8	SINGLE	LAMINATE REF. TBC	SPRAY PAINTED HARDWOOD	J3 + J3	H3	926	INTUMESCENT	NO	FD 30 S	-	-	RAL 9007		LG.39
LG.40	DDA SHOWER	TYPE 10	SINGLE	LAMINATE REF. TBC	SPRAY PAINTED HARDWOOD	J3 + J3	H3	926	ACOUSTIC	NO	-	-	-	RAL 9007		LG.40
LG.41	SHOWER	TYPE 9	SINGLE	LAMINATE REF. TBC	SPRAY PAINTED HARDWOOD	J3 + J3	H3	726	ACOUSTIC	NO	-	-	-	RAL 9007		LG.41
LG.42	SEMINAR ROOM	TYPE 12	SINGLE	HW VENEER	SPRAY PAINTED HARDWOOD	J3 + J3	H3	826	ACOUSTIC	NO	-	-	-	RAL 9007	PROVIDE ACOUSTIC DROP DOWN THRESHOLD SEAL	LG.42
LG.43	ELEC. INTAKE	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	-	STAINLESS STEEL	THOROUGHLY PREPARE AND REDECORATE DOOR AND FRAME, ALLOW FOR PROVIDING NEW POLYESTER POWDER COATED GRILLE	LG.43
LG.44	STORAGE	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	-	STAINLESS STEEL	THOROUGHLY PREPARE AND REDECORATE DOOR AND FRAME, ALLOW FOR PROVIDING NEW POLYESTER POWDER COATED GRILLE	LG.44
LG.45	PUMP CUPBOARD	TYPE 22	SINGLE	LAMINATE REF. TBC	SPRAY PAINTED HARDWOOD	J3 + J3	H3	626	ACOUSTIC	NO	-	-	-	RAL 9007	35RWB ACOUSTIC GREASE DOOR & SEALS	LG.45

NOTES

- THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL GENERAL ARRANGEMENT PLANS, PARTITION LAYOUTS & DOOR DETAILS
- CONTRACTOR TO ALLOW FOR ALL NECESSARY REPAIRS, MAKING GOOD ETC TO ALL EXISTING DOORS & FRAMES THAT ARE TO BE RETAINED
- CONTRACTOR TO ALLOW FOR UPGRADING OF EXISTING DOORS & FRAMES WHERE NECESSARY TO ACHIEVE THE REQUIRED FIRE RESISTANCE WHERE INDICATED ON THE GENERAL ARRANGEMENT PLANS AND DOOR & IRONMONGERY SCHEDULE OR FOR REPLACING THE DOOR AND FRAME IF NECESSARY
NOTE - PANALLED TIMBER DOORS MAY BE SUITABLE FOR UPGRADING TO ACHIEVE 30 MINUTES FIRE RESISTANCE USING SEALMASTER FIREFACE MEMBRANE. REFER TO SPECIFICATION SHEET SP24 FOR FURTHER DETAILS OR CONTACT MANUFACTURER. TELE 01223 832851
- WHERE EXISTING DOORS ARE TO BE REPLACED, THEN CONTRACTOR IS TO ALLOW FOR REPLACEMENT DOORS & FRAMES TO MATCH EXISTING IN APPEARANCE
- EXISTING DOORS THAT ARE TO BE RETAINED ARE TO BE REPAIRED AND REDECORATED. NOTE - SOME EXISTING DOORS HAVE A HARDWOOD VENEER FINISH AND ARE FITTED WITHIN HARDWOOD FRAMES, WHERE THIS IS THE CASE THEN THE DOOR & FRAME IS TO BE REPAIRED AND REFINISHED TO MATCH EXISTING WHERE NECESSARY
- GENERALLY ALL EXISTING IRONMONGERY IS TO BE REPLACED REFER TO SCHEDULE PREPARED BY FRANCHI LTD FOR FURTHER DETAILS NOTE - IRONMONGERY FINISH VARIES -> BEDFORD ROW - DARK BRONZE ANOUSED JOCKEY'S FIELDS - RAL COLOUR REF. 9007
- ALL EXTERNAL PAINTED DOORS TO BE PAINTED DARK GREY COLOUR REF. TO BE CONFIRMED AND SUBJECT TO CLIENT APPROVAL

GROUND FLOOR PLAN																
DOOR No.	LOCATION	LEAF TYPE	CONFIGURATION	DOOR FINISH	FRAME FINISH	JAMB DETAIL	HEAD DETAIL	LEAF WIDTH	DOOR SEALS	VISION PANEL	FIRE RATING	ACCESS CONTROL	AUTOMATIC PUSH BUTTON	HARDWARE FINISH	COMMENTS	DOOR No.
G.01	MAIN ENTRANCE/ STAIR 4	EXISTING	SINGLE	REPAIR & REDECORATE COLOUR REF. TBC	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	REPLACE WEATHERPROOF SEALS	-	-	YES	-	DARK BRONZE ANOD.	THOROUGHLY PREPARE AND REDECORATE DOOR AND FRAME PROVIDE KEYPAD/VIDEO/INTERCOM DOOR ENTRY SYSTEM LINKED TO RECEPTION DESK	G.01
G.02	STAIR 1	TYPE 27	SINGLE	NEW PANALLED DOOR	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM PROVIDE NEW DOOR IN EXISTING FRAME	G.02
G.03	WC	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.		G.03
G.04	LOWER ROOF	EXISTING	SINGLE	-	-	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOOR TO BE OVERHAULED, ALLOW FOR FITTING NEW SEALS & IRONMONGERY	G.04
G.05	LOBBY	TYPE 24	SINGLE	GLASS/ TIMBER	GLASS/ TIMBER	TO MATCH EXISTING	TO MATCH EXISTING	SITE DIMENSION	INTUMESCENT	YES	FD 30 S	-	YES	DARK BRONZE ANOD.	PROVIDE NEW GLASS/TIMBER DOOR TO MATCH EXISTING, DOOR TO BE POWER ASSISTED	G.05
G.06	RECEPTION	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FIXED SHUT, NO IRONMONGERY TO BE FITTED, DOOR TO BE PAINTED TO MATCH ADJACENT WALL COLOUR CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	G.06
G.07	RECEPTION	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	G.07
G.08	WAITING AREA	EXISTING	SINGLE	REPAIR IF REQUIRED	REPAIR IF REQUIRED	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM	G.08
G.09	WAITING/ RECEPTION	TYPE 19	DOUBLE	SPRAY PAINTED	SPRAY PAINTED HARDWOOD	TO MATCH EXISTING	TO MATCH EXISTING	826 + 826	ACOUSTIC	NO	-	-	-	DARK BRONZE ANOD.	FRAME HEAD HEIGHT TO MATCH EXISTING, ALL DOOR PANEL DETAILING TO MATCH EXISTING EXISTING TIMBER WALL PANELLING TO BE AMENDED TO SUIT NEW DOORS	G.09
G.10	BEVERAGES	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	EXISTING DOOR LEAF TO BE REHUNG (REFER TO GA PLAN)	G.10
G.11	CUPBOARD	EXISTING	SINGLE	-	-	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	CONTRACTOR TO ALLOW FOR OVERHAULING EXISTING DOORS & FITTING NEW IRONMONGERY	G.11
G.12	STAIR 2/ RECEPTION	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	INTUMESCENT	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM	G.12
G.13	ENTRANCE CORRIDOR	EXISTING	SINGLE	REPAIR & REDECORATE COLOUR REF. TBC	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	REPLACE WEATHERPROOF SEALS	-	-	YES	-	DARK BRONZE ANOD.	THOROUGHLY PREPARE AND REDECORATE DOOR AND FRAME	G.13
G.14	ENTRANCE CORRIDOR/ STAIR 2	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	INTUMESCENT	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	G.14
G.15	OFFICE R.G10	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH AUTOMATIC HOLD OPEN DEVICE LINKED TO FIRE ALARM CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	G.15
G.16	OFFICE R.G11	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.		G.16
G.17	CUPBOARD	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOOR TO BE DECORATED TO MATCH ADJACENT WALL COLOUR	G.17
G.18	LIGHT WELL/ WAITING & BREAKOUT	TYPE 23	SINGLE	GLASS/ TIMBER	GLASS/ TIMBER</											

FIRST FLOOR PLAN																
DOOR No.	LOCATION	LEAF TYPE	CONFIGURATION	DOOR FINISH	FRAME FINISH	JAMB DETAIL	HEAD DETAIL	LEAF WIDTH	DOOR SEALS	VISION PANEL	FIRE RATING	ACCESS CONTROL	AUTOMATIC PUSH BUTTON	HARDWARE FINISH	COMMENTS	DOOR No.
1.01	OFFICE R.105	EXISTING	SINGLE	REPAIR IF NECESSARY	REPAIR IF NECESSARY	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	CARRY OUT TIMBER REPAIRS, THOROUGHLY PREPARE AND REDECORATE DOOR & FRAME	1.01
1.02	STAIR 4	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD 30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH HOLD OPEN DEVICE LINKED TO FIRE ALARM	1.02
1.03	WC	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	1.03
1.04	LOBBY/ LIGHT WELL LINK	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD 30 S	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	1.04
1.05	ROOF TERRACE STAIR	EXISTING	SINGLE	-	-	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOOR TO BE OVERHAULED, ALLOW FOR FITTING NEW SEALS & IRONMONGERY	1.05
1.06	OFFICE R.106	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD 30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH HOLD OPEN DEVICE LINKED TO FIRE ALARM	1.06
1.07	OFFICE R.105 & R.106	EXISTING	DOUBLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	-	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	1.07
1.08	OFFICE R.107	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	EXISTING DOORS TO BE FIXED SHUT & EXISTING IRONMONGERY TO BE REMOVED, REDECORATE, PAINT FINISH TO MATCH ADJACENT WALL COLOUR	1.08
1.09	CUPBOARD	EXISTING	DOUBLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	-	1.09
1.10	OFFICE R.106/ STAIR 2	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD 30 S	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	1.10
1.11	OFFICE R.109/ STAIR 2	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD 30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH HOLD OPEN DEVICE LINKED TO FIRE ALARM	1.11
1.12	OFFICE R.110/ STAIR 2	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD 30 S	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	1.12
1.13	OFFICE R.109/ R.110	EXISTING	DOUBLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	-	1.13
1.14	CUPBOARD	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOORS TO BE LOCKED SHUT, REDECORATE, PAINT FINISH TO MATCH ADJACENT WALL COLOUR	1.14
1.15	OFFICE R.111	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	-	1.15
1.16	LINK	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	-	1.16
1.17	ADMIN OFFICE R.112	TYPE 15	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	PROVIDE ACOUSTIC DROP DOWN THRESHOLD SEAL	1.17
1.18	ROOF TERRACE	EXISTING	DOUBLE	-	-	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	RAL 9007	DOOR TO BE OVERHAULED, ALLOW FOR FITTING NEW SEALS & IRONMONGERY	1.18
1.19	BREAK AREA	TYPE 26	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	PROVIDE ACOUSTIC DROP DOWN THRESHOLD SEAL	1.19
1.20	RISER	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	REPLACE INTUMESCENT SEALS	EXISTING	FD60 S	-	-	RAL 9007	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	1.20
1.21	DOOR OMITTED															1.21
1.22	RISER	EXISTING	DOUBLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	REPLACE INTUMESCENT SEALS	EXISTING	FD60 S	-	-	RAL 9007	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	1.22
1.23	WC	TYPE 20	SINGLE	HW VENEER	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	RAL 9007	PROVIDE NEW DOOR IN EXISTING FRAME	1.23
1.24	WC	TYPE 14	SINGLE	HW VENEER	SPRAY PAINTED HARDWOOD	J3 + J3	H3	826	ACOUSTIC	NO	-	-	-	RAL 9007	-	1.24
1.25	STAIR 3 LOBBY	TYPE 16	SINGLE	HW VENEER	SPRAY PAINTED HARDWOOD	J3 + J3	H3	926	INTUMESCENT	YES	FD30 S	TBC	YES	RAL 9007	-	1.25
1.26	DX/ DATA STORE	TYPE 5	SINGLE	HW VENEER	SPRAY PAINTED HARDWOOD	J3 + J3	H3	826	ACOUSTIC	YES	-	-	-	RAL 9007	PROVIDE TRANSLUCENT FILM TO VISION PANEL, DOOR TO BE LOCKABLE	1.26
1.27	MEETING ROOM 4P	TYPE 13	SINGLE	DOUBLE GLAZED	ALUMINIUM RAL 9007	J2A + J2B	H2	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	PROVIDE ACOUSTIC DROP DOWN THRESHOLD SEAL	1.27
1.28	CE OFFICE	TYPE 13	SINGLE	DOUBLE GLAZED	ALUMINIUM RAL 9007	J2A + J2B	H2	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	PROVIDE ACOUSTIC DROP DOWN THRESHOLD SEAL	1.28
1.29	STRONG ROOM	TYPE 21	SINGLE	SPRAY PAINTED	SPRAY PAINTED HARDWOOD	J3 + J3	H3	726	ACOUSTIC	-	TBC	TBC	-	RAL 9007	MIN. 44mm THICK SOLID CORE DOOR LEAF REQUIRED, DOOR TO BE FITTED WITH CYLINDER LOCK & 5 LEVER DEAD LOCKS, WITH EMERGENCY RELEASE SMBS	1.29

NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL GENERAL ARRANGEMENT PLANS, PARTITION LAYOUTS & DOOR DETAILS
- CONTRACTOR TO ALLOW FOR ALL NECESSARY REPAIRS, MAKING GOOD ETC TO ALL EXISTING DOORS & FRAMES THAT ARE TO BE RETAINED
- CONTRACTOR TO ALLOW FOR UPGRADING OF EXISTING DOORS & FRAMES WHERE NECESSARY TO ACHIEVE THE REQUIRED FIRE RESISTANCE WHERE INDICATED ON THE GENERAL ARRANGEMENT PLANS AND DOOR & IRONMONGERY SCHEDULE OR FOR REPLACING THE DOOR AND FRAME IF NECESSARY
NOTE - PANNELLED TIMBER DOORS MAY BE SUITABLE FOR UPGRADING TO ACHIEVE 30 MINUTES FIRE RESISTANCE USING SEAMASTER FIREFACE MEMBRANE. REFER TO SPECIFICATION SHEET SP24 FOR FURTHER DETAILS OR CONTACT MANUFACTURER. TELE 01223 832851
- WHERE EXISTING DOORS ARE TO BE REPLACED, THEN CONTRACTOR IS TO ALLOW FOR REPLACEMENT DOORS & FRAMES TO MATCH EXISTING IN APPEARANCE
- EXISTING DOORS THAT ARE TO BE RETAINED ARE TO BE REPAIRED AND REDECORATED. NOTE - SOME EXISTING DOORS HAVE A HARDWOOD VENEER FINISH AND ARE FITTED WITHIN HARDWOOD FRAMES, WHERE THIS IS THE CASE THEN THE DOOR & FRAME IS TO BE REPAIRED AND REFINISHED TO MATCH EXISTING WHERE NECESSARY
- GENERALLY ALL EXISTING IRONMONGERY IS TO BE REPLACED REFER TO SCHEDULE PREPARED BY FRANCHI LTD FOR FURTHER DETAILS
NOTE - IRONMONGERY FINISH VARIES -> BEDFORD ROW - DARK BRONZE ANODISED
JOCKEY'S FIELDS - RAL COLOUR REF. 9007
- ALL EXTERNAL PAINTED DOORS TO BE PAINTED DARK GREY COLOUR REF. TO BE CONFIRMED AND SUBJECT TO CLIENT APPROVAL

SECOND FLOOR PLAN																
DOOR No.	LOCATION	LEAF TYPE	CONFIGURATION	DOOR FINISH	FRAME FINISH	JAMB DETAIL	HEAD DETAIL	LEAF WIDTH	DOOR SEALS	VISION PANEL	FIRE RATING	ACCESS CONTROL	AUTOMATIC PUSH BUTTON	HARDWARE FINISH	COMMENTS	DOOR No.
2.01	OFFICE R.201	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH HOLD OPEN DEVICE LINKED TO FIRE ALARM	2.01
2.02	OFFICE R.205	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.02
2.03	CORRIDOR/ STAIR 1	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.03
2.04	OFFICE R.208	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH HOLD OPEN DEVICE LINKED TO FIRE ALARM	2.04
2.05	WC	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.05
2.06	OFFICE R.209	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.06
2.07	CUPBOARD	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.07
2.08	OFFICE R.207	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.08
2.09	CUPBOARD	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	DOORS TO BE DECORATED TO MATCH ADJACENT WALL COLOUR	2.09
2.10	CORRIDOR/ STAIR 2	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	REPLACE INTUMESCENT SEALS	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.10
2.11	OFFICE R.211	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	REPLACE INTUMESCENT SEALS	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH HOLD OPEN DEVICE LINKED TO FIRE ALARM	2.11
2.12	OFFICE R.212	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	REPLACE INTUMESCENT SEALS	EXISTING	FD30 S	-	-	DARK BRONZE ANOD.	DOOR TO BE FITTED WITH HOLD OPEN DEVICE LINKED TO FIRE ALARM	2.12
2.13	OFFICE R.211 / R.212	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	-	EXISTING DOOR TO BE FIXED SHUT & EXISTING IRONMONGERY TO BE REMOVED, REDECORATE, PAINT FINISH TO MATCH ADJACENT WALL COLOUR	2.13
2.14	CUPBOARD	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	PAINT FINISH TO MATCH ADJACENT WALL COLOUR	2.14
2.15	OFFICE R.213	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	DARK BRONZE ANOD.	-	2.15
2.16	OFFICE R.221	TYPE 15	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	-	2.16
2.17	ROOF TERRACE	EXISTING	SINGLE	REPAIR/OVERHAUL	REPAIR/OVERHAUL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	RAL 9007	REPAIR & OVERHAUL EXISTING ROOF TERRACE ACCESS	2.17
2.18	OFFICE R.220	TYPE 15	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	-	2.18
2.19	ROOF TERRACE	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	RAL 9007	REPAIR & OVERHAUL EXISTING ROOF TERRACE ACCESS	2.19
2.20	OFFICE R.219	TYPE 15	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	NO LOCKING DEVICE TO BE FITTED, DOOR MUST BE FREE TO OPEN DUE TO FIRE EXIT ROUTE	2.20
2.21	ROOF TERRACE	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	RAL 9007	REMOVE LOCKS & OVERHAUL DOOR, DOOR TO BE FITTED WITH EASILY OPERATED SIMPLE FASTENINGS TO BUILDING CONTROL APPROVAL FOR FIRE ESCAPE PURPOSES	2.21
2.22	PLANT AREA	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD60 S	-	-	RAL 9007	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.22
2.23	RISER	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD60 S	-	-	RAL 9007	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.23
2.24	RISER	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD60 S	-	-	RAL 9007	CONTRACTOR TO CHECK & ALLOW FOR UPGRADING EXISTING DOOR TO ACHIEVE REQUIRED FIRE RESISTANCE OR REPLACE DOOR & FRAME IF NECESSARY	2.24
2.25	WC	TYPE 20	SINGLE	HW VENEER	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	RAL 9007	PROVIDE NEW DOOR IN EXISTING FRAME	2.25
2.26	STAIR 3 LOBBY	TYPE 28	SINGLE	HW VENEER	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	FD30 S	TBC	YES	RAL 9007	PROVIDE NEW DOOR IN EXISTING FRAME	2.26
2.27	OFFICE R.217	TYPE 15	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	-	2.27
2.28	OFFICE R.222	TYPE 15	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	-	2.28
2.29	OFFICE R.223	TYPE 15	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	-	2.29
2.30	OFFICE R.224	TYPE 15	SINGLE	SINGLE GLAZED	ALUMINIUM RAL 9007	J1A + J1B	H1	930 APPROX	ACOUSTIC	N/A	-	-	-	RAL 9007	-	2.30
2.31	CUPBOARD	EXISTING	DOUBLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	RAL 9007	-	2.31

- LC Issued for Tender. 11.10.18

[Rev. | Drawn | Description | Date]



THIRD FLOOR PLAN																
DOOR No.	LOCATION	LEAF TYPE	CONFIGURATION	DOOR FINISH	FRAME FINISH	JAMB DETAIL	HEAD DETAIL	LEAF WIDTH	DOOR SEALS	VISION PANEL	FIRE RATING	ACCESS CONTROL	AUTOMATIC PUSH BUTTON	HARDWARE FINISH	COMMENTS	DOOR No.
3.01	OFFICE R.301	EXISTING	SINGLE	REPAIR & REDECORATE	REPAIR & REDECORATE	EXISTING	EXISTING	EXISTING	EXISTING							



NOTES

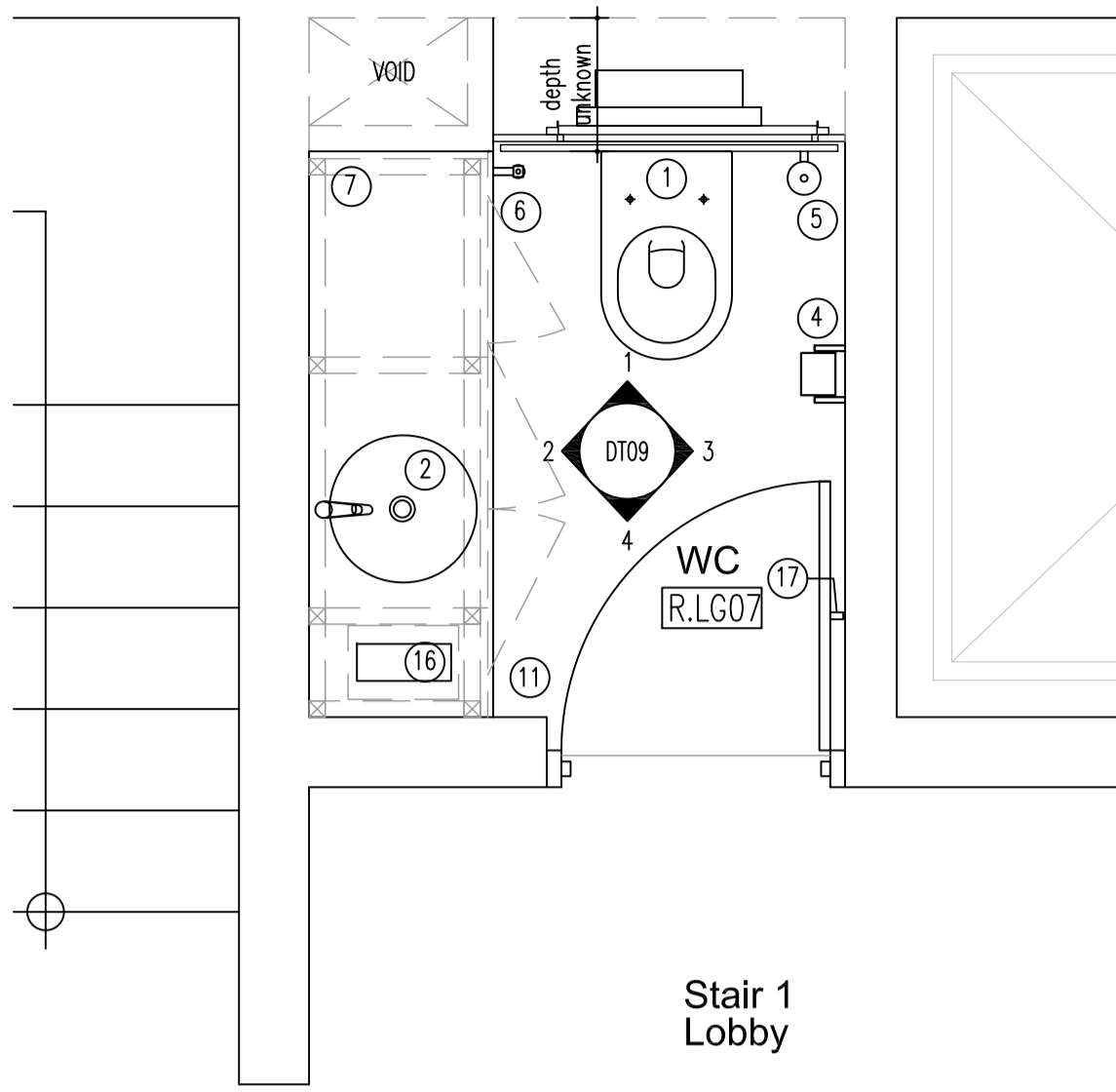
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL GENERAL ARRANGEMENT PLANS, PARTITION LAYOUTS, DETAILS AND DOOR & IRONMONGERY SCHEDULE.
2. ALL FIRE RESISTING DOORS TO COMPLY WITH BS. 476 PT.22
3. ALL GLAZED VISION PANELS TO BE CLEAR GLAZED FIRE RESISTING DOORS TO BE CLEAR GLAZED WITH PYRAN OR EQUAL APPROVED TO ACHIEVE THE REQUIRED FIRE RESISTANCE. ALL GLASS TO BE CLEARLY MARKED WITH THE BRITISH STANDARD KITEMARK AND COMPLY WITH BS.6206 REGARDING SAFETY GLASS.
5. DOOR HANDINGS VARY, REFER TO PLAN FOR DETAILS
6. REFER TO IRONMONGERY SCHEDULE FOR SIGNAGE REQUIREMENTS
7. ALL DIMENSIONS TO BE CHECKED ON SITE
8. IRONMONGERY WHERE SHOWN IS TYPICAL ONLY, REFER TO IRONMONGERY SCHEDULE FOR DETAILS
9. ALL DIMENSIONS SHOWN ARE NOMINAL ONLY
10. JOINERY SUB-CONTRACTOR TO ALLOW FOR ALL NECESSARY TOLERANCES
11. DETAILS REGARDING LOCK MASTER KEYING/SUITING TO BE CONFIRMED
12. NOTE - CERTAIN DOORS ARE TO BE UNDERCUT TO SUIT VARIOUS FLOOR FINISHES CONTRACTOR/SUB-CONTRACTOR TO ASCERTAIN REQUIRED DIMENSIONS ON SITE
13. ALL DOORS & IRONMONGERY TO COMPLY WITH CURRENT BUILDING REGULATIONS APPROVED DOCUMENT M & THE REQUIREMENTS AS SET OUT IN THE DDA ACT 1995/ EQUALITY ACT 2010.
14. DOOR FINISHES TO VARY REFER TO DOOR SCHEDULE FOR VARIOUS TYPES.
15. LEADING EDGE OF TIMBER LAMINATE FACED DOORS TO HAVE SOLID HARDWOOD LIPPING TO PROVIDE CONTRASTING EDGE. LAMINATE FACE TO COVER HARDWOOD DOOR LIPPING. SEE RELEVANT DETAIL.
16. JAMB AND HEAD DETAILS TYPICAL ONLY TO SUIT SITE CONDITIONS.
17. MANIFESTATION FILM TO BE 50x50mm SQUARES AT 100mm CENTRES SET AT TWO HEIGHT ABOVE FINISHED FLOOR LEVEL 800mm & 1400mm.

LC Issued for Tender. 11.10.18
 Rev | Drawn | Description | Date



Client: Chambers 7BR
 Project: 7 Bedford Row, London WC1R 4BS
 Drawing: Door Elevation Details

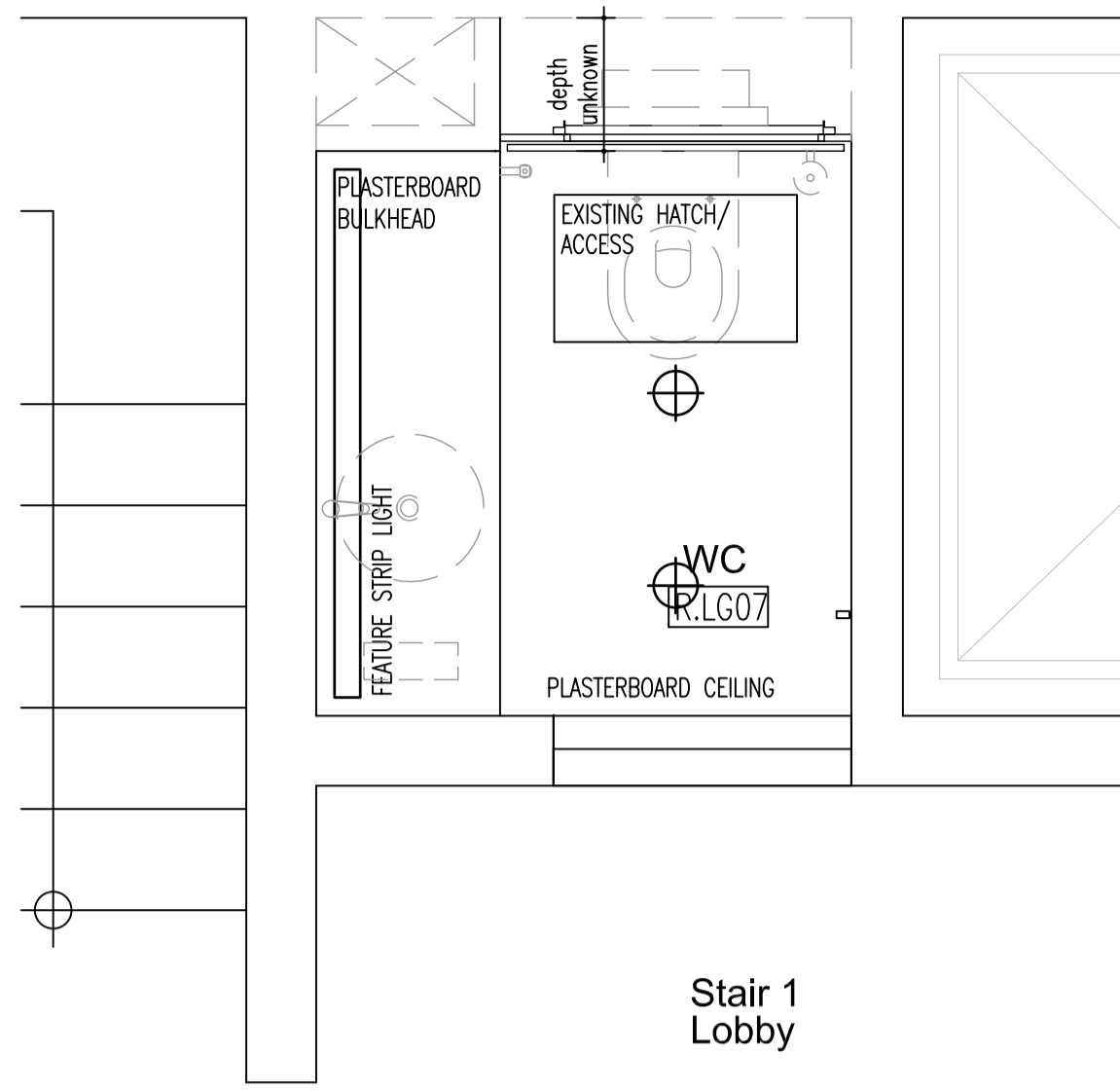
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Drawn by	PDW	Project no. 172332
Checked by	JDM	Drawing no. DT07
Date	SEPT 2018	Revision no. -



Stair 1 Lobby

A Bedford Row - Typical WC Plan

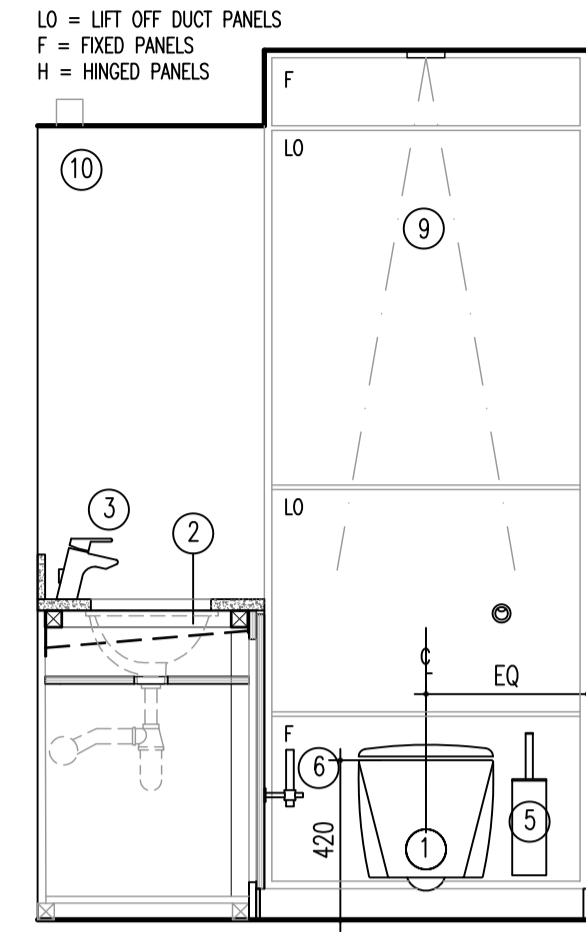
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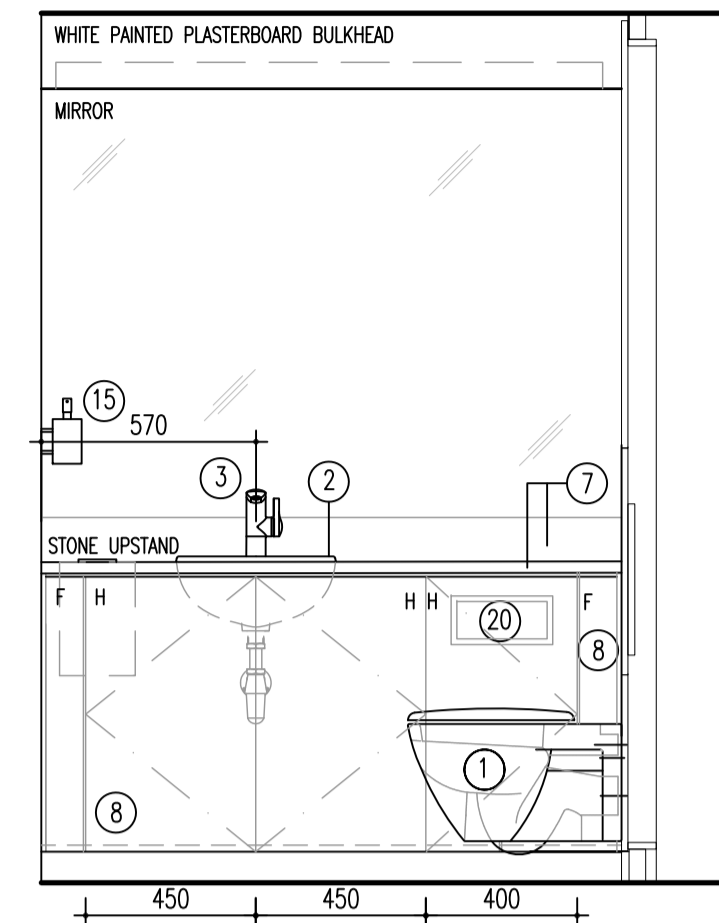
Stair 1 Lobby

B Bedford Row WC - Reflected Ceiling Plan

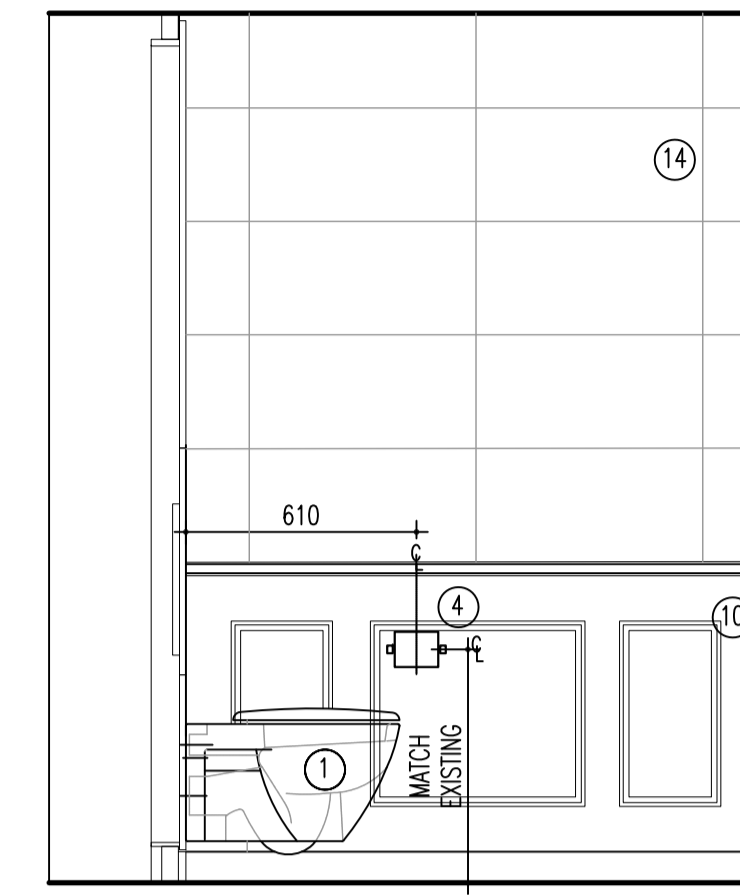
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Layout applies to Lower Ground, Ground, First, Second & Third Floors



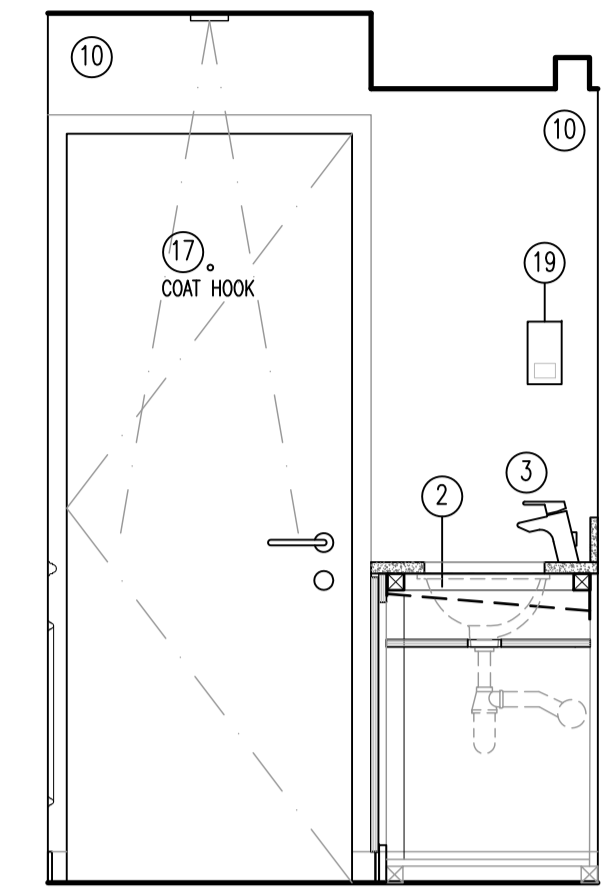
1 Elevation
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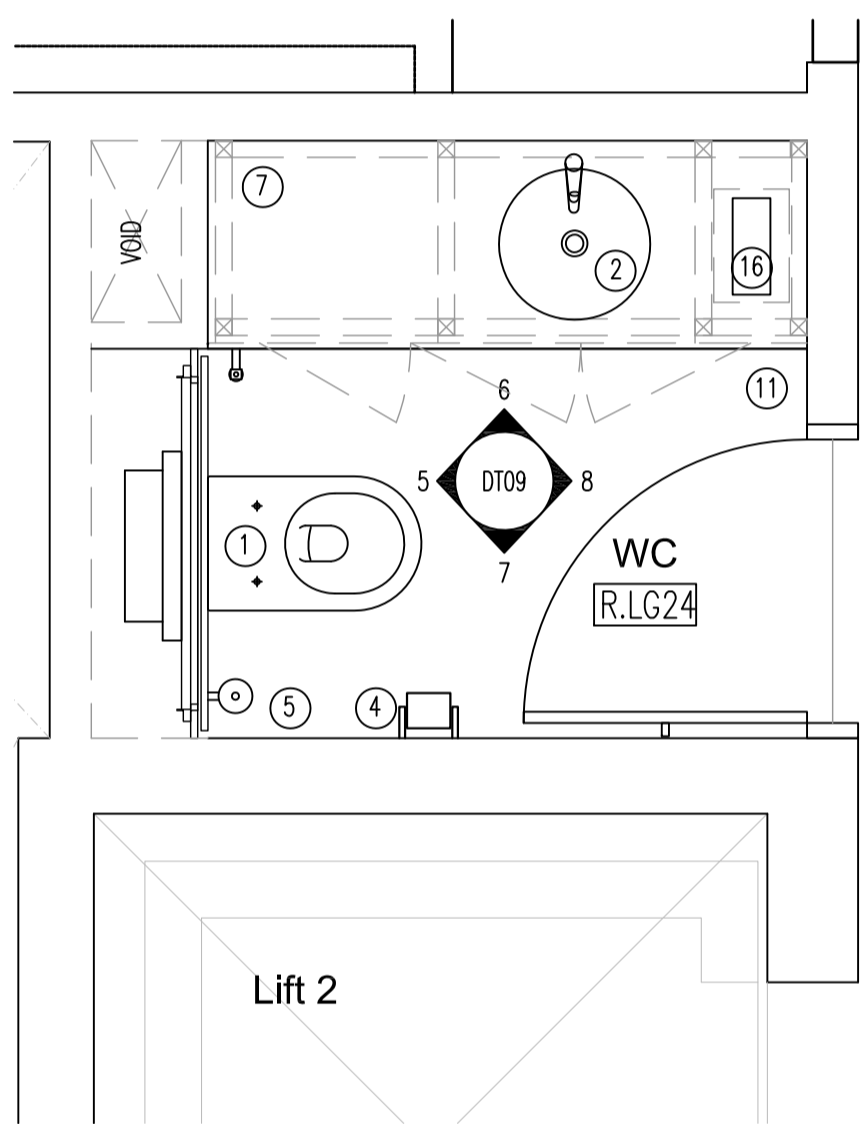
2 Section/ Elevation
Scale 1:20



3 Section/ Elevation
Scale 1:20

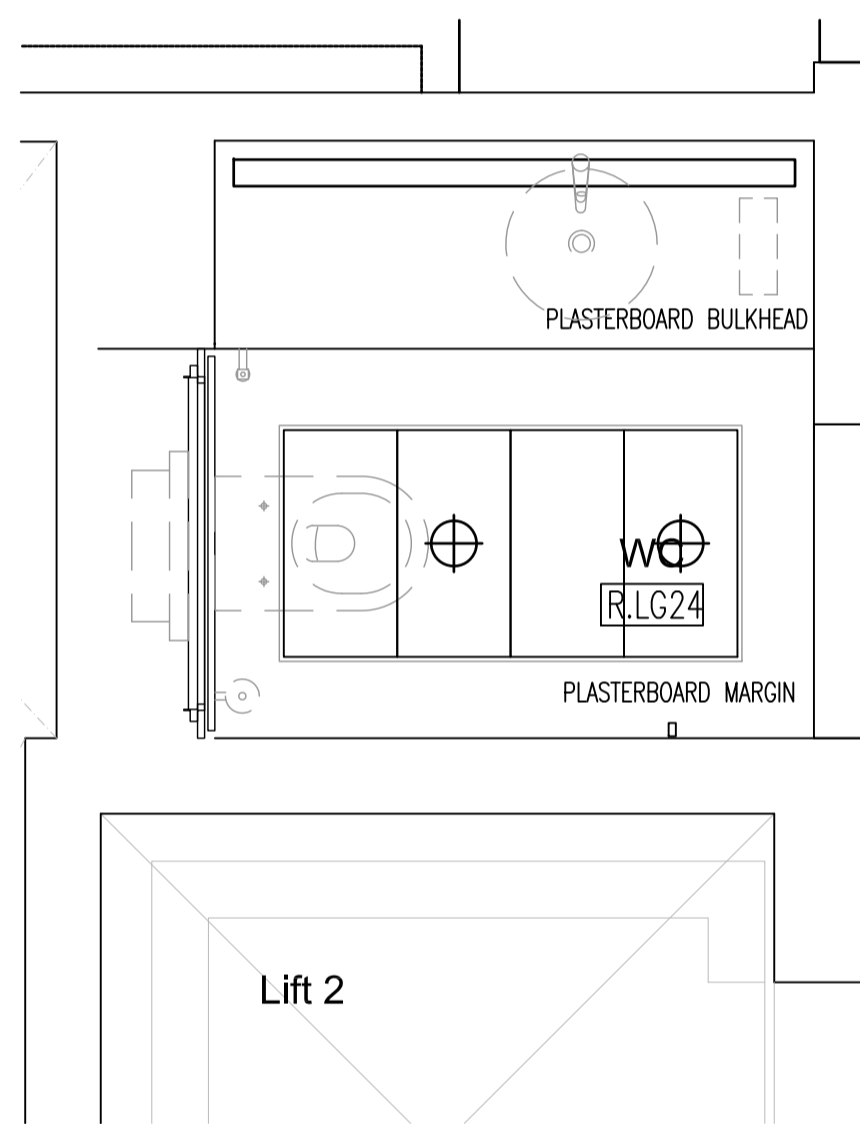


4 Elevation
Scale 1:20



C Jockey Fields - Typical WC Plan

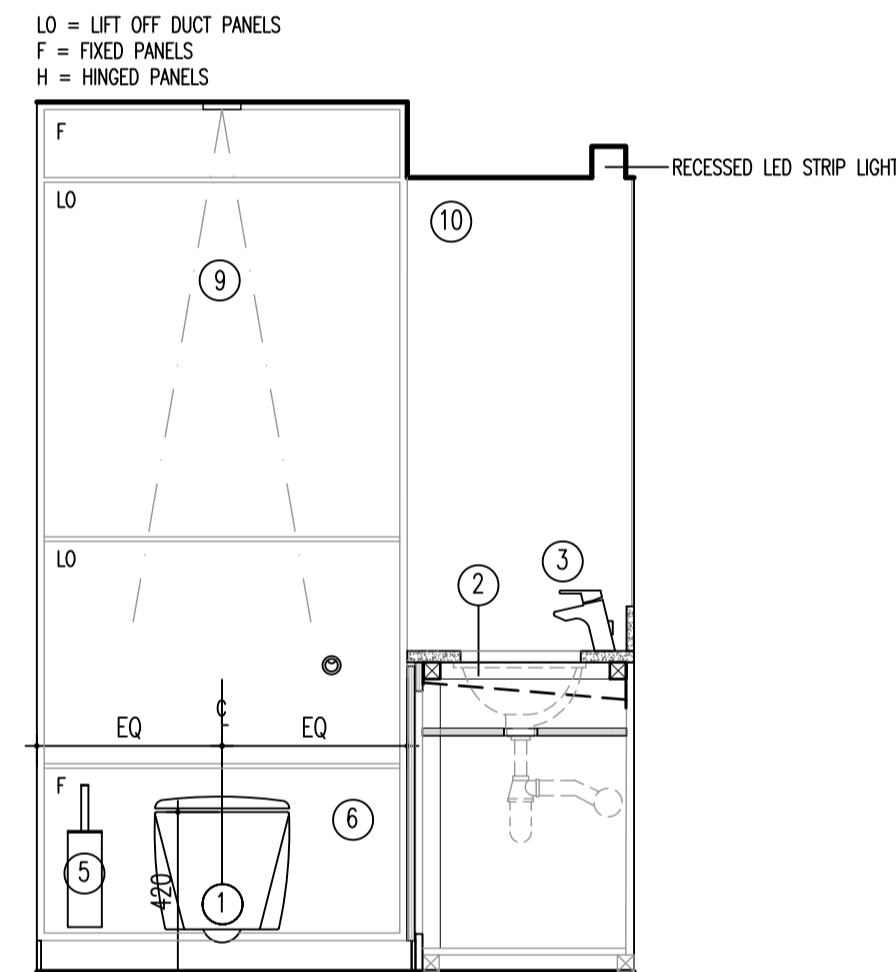
Scale 1:20
Layout applies to Lower Ground, Ground, First & Second Floors



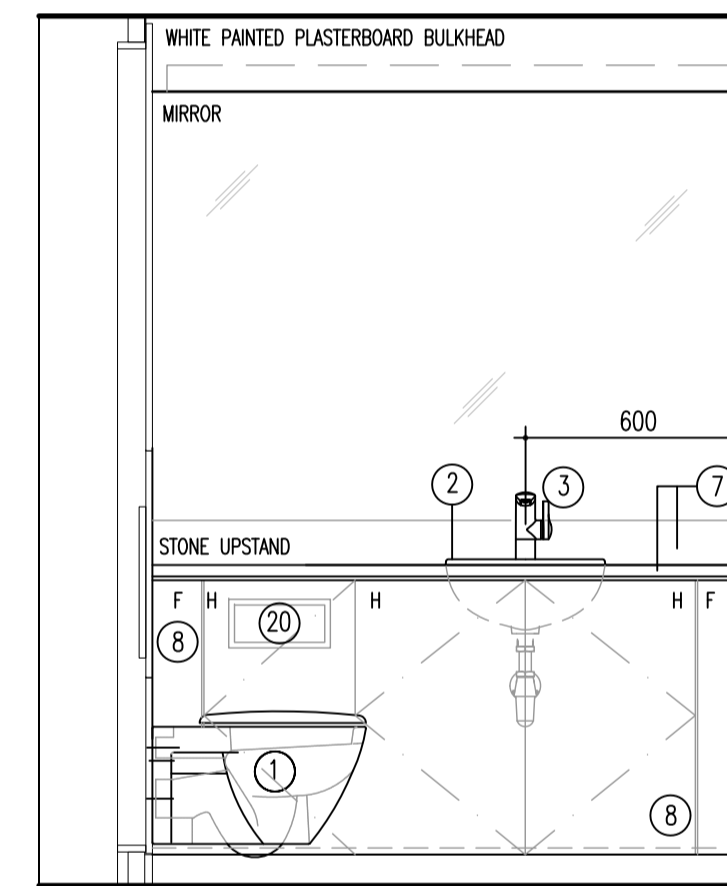
Stair 3 Lobby

D Jockey Fields - WC - Reflected Ceiling Plan

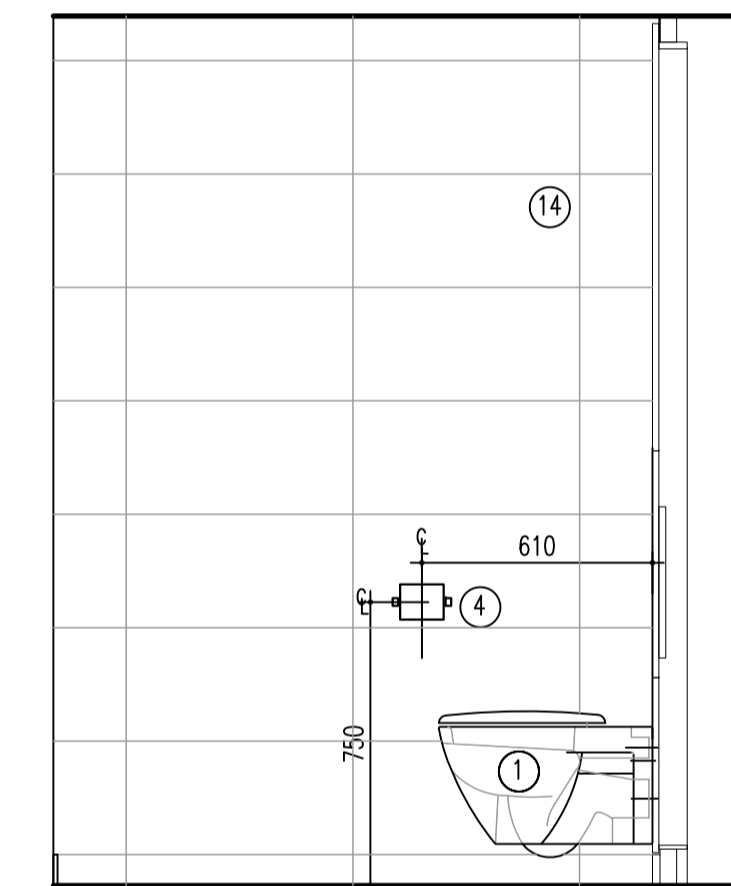
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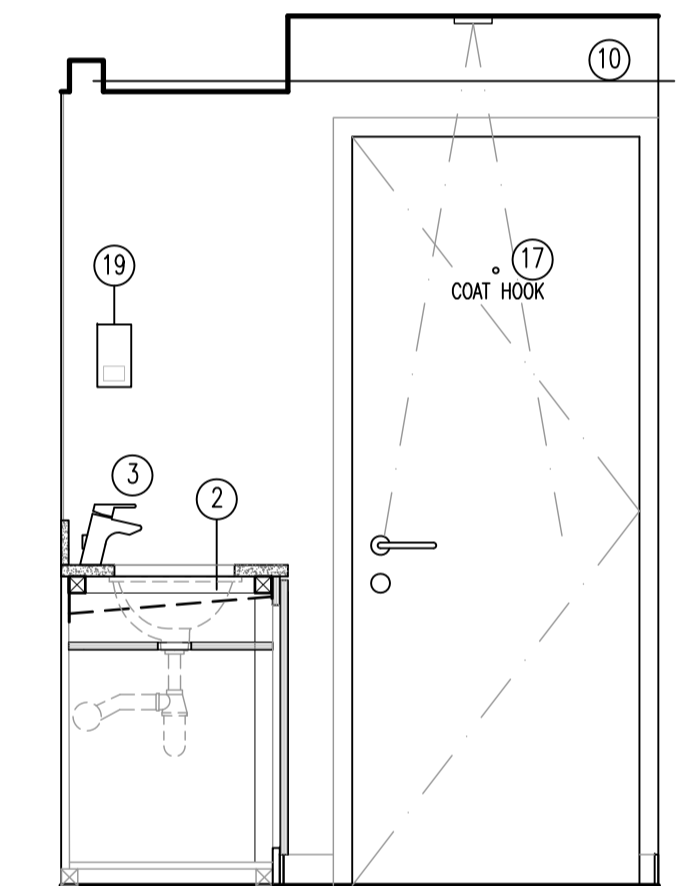
5 Elevation
Scale 1:20



6 Elevation
Scale 1:20



7 Elevation
Scale 1:20



8 Elevation
Scale 1:20

WC SPECIFICATION:

- 1 WC - DURAVIT ARCHITEC WC REF: 254609 WITH SLOW CLOSE TOILET SEAT & COVER + WONDERGLOSS COATING CONCEALED CISTERN LOCATED BEHIND DUCT WALL PANNELLING
- 2 WASHBASIN - DURAVIT 'ARCHITEC' WHITE VITREOUS CHINA UNDERMOUNT BASIN WITH OVERFLOW & PUSH OPEN WASTE Size: 400mmØ + WONDERGLOSS COATING
- 3 TAP - VOLA 'hvi' ONE HANDLE MIXER TAP THERMOSTATICALLY CONTROLLED LEVER OPERATED MIXER TAP IN A BRUSHED CHROME FINISH
- 4 TOILET ROLL HOLDER - ALLGOOD REF: 6680 BATHLINE HOLDER IN A POLISHED CHROME FINISH REFER TO SPECIFICATION SHEET SP08 FOR FURTHER DETAILS
- 5 TOILET BRUSH HOLDER - ALLGOOD REF: 2445 MODRIC OR SIMILAR APPROVED PRODUCT FINISHED IN POLISHED CHROME FINISH REFER TO SPECIFICATION SHEET SP10 FOR FURTHER DETAILS
- 6 SPARE TOILET ROLL HOLDER - ALLGOOD REF: 6681 IN A POLISHED CHROME FINISH REFER TO SPECIFICATION SHEET SP15 FOR FURTHER DETAILS
- 7 30mm THICK QUARZA PIETRA VANITY TOP & UPSTAND REF: DOMUS DTS QP 101 - POLISHED FINISH
- 8 LAMINATE FACED PANELS TO VANITY UNIT WITH CONCEALED FRAMEWORK. DOOR FINISH: POLYREY LAMINATE ORIGINE N112 NOYER D'AMERIQUE DOORS TO BE ON SMOOTH PISTON BLUM HINGES AND MAGNETIC TOUCH CATCHES
- 9 PROPRIETARY DUCT PANNELLING SYSTEM TO REAR OF CUBICLE FOR ACCESS TO WC CISTERN AND TOILET SERVICES. PANEL FINISH: POLYREY LAMINATE ORIGINE N112 NOYER D'AMERIQUE
- 10 DULUX EMULSION PAINT FINISH COLOUR REF: XX/XXXX
- 11 REFER TO DRAWING FLOOR FINISHES PLANS FOR PROPOSED FLOOR FINISH
- 12 REFER TO DRAWING FLOOR FINISHES PLANS FOR PROPOSED FLOOR FINISH

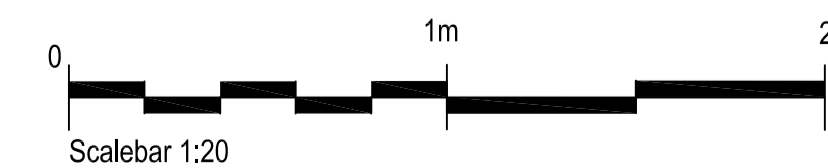
- 13 6mm THICK BEVELLED EDGED MIRROR ADHESIVELY BONDED TO WALL
- 14 JOHNSON TILES: MODE MOD01N COTTON - NATURAL FINISH SIZE: 600x300mm
- 15 SOAP DISPENSER - DOLPHIN DISPENSERS REF: BC 613 SIZE: 1720mm(H) x 76.5mmØ IN A POLISHED CHROME FINISH REFER TO SPECIFICATION SHEET SP27 FOR FURTHER DETAILS
- 16 COUNTER MOUNTED PAPER TOWEL DISPENSER - DOLPHIN DISPENSERS REF: DP 3201 SIZE: 300mm(L) x 200mm(W). RECESSED INTO WORKTOP TOILET. POLISHED CHROME FINISH REFER TO SPECIFICATION SHEET SP31 FOR FURTHER DETAILS
- 17 ROBE HOOK WITH BUFFER - 1NO. PER CUBICLE FIXED TO REAR OF DOOR IN POLISHED CHROME FINISH
- 18 DOOR STOP WITH RUBBER BUFFER - 1 NO. PER CUBICLE FIXED TO FLOOR BEHIND THE DOOR IN POLISHED CHROME FINISH
- 19 RECESSED ELECTRIC SHAVERS SOCKET IN POLISHED CHROME FINISH
- 20 SURFACE MOUNTED BIN FRAME - DOLPHIN PRESTIGE REF: DP 5604 SIZE: 298mm(W) X 148mm(H). RECESSED INTO DOOR. POLISHED STAINLESS STEEL FINISH. REFER TO SPECIFICATION SHEET SP29 FOR FURTHER DETAILS

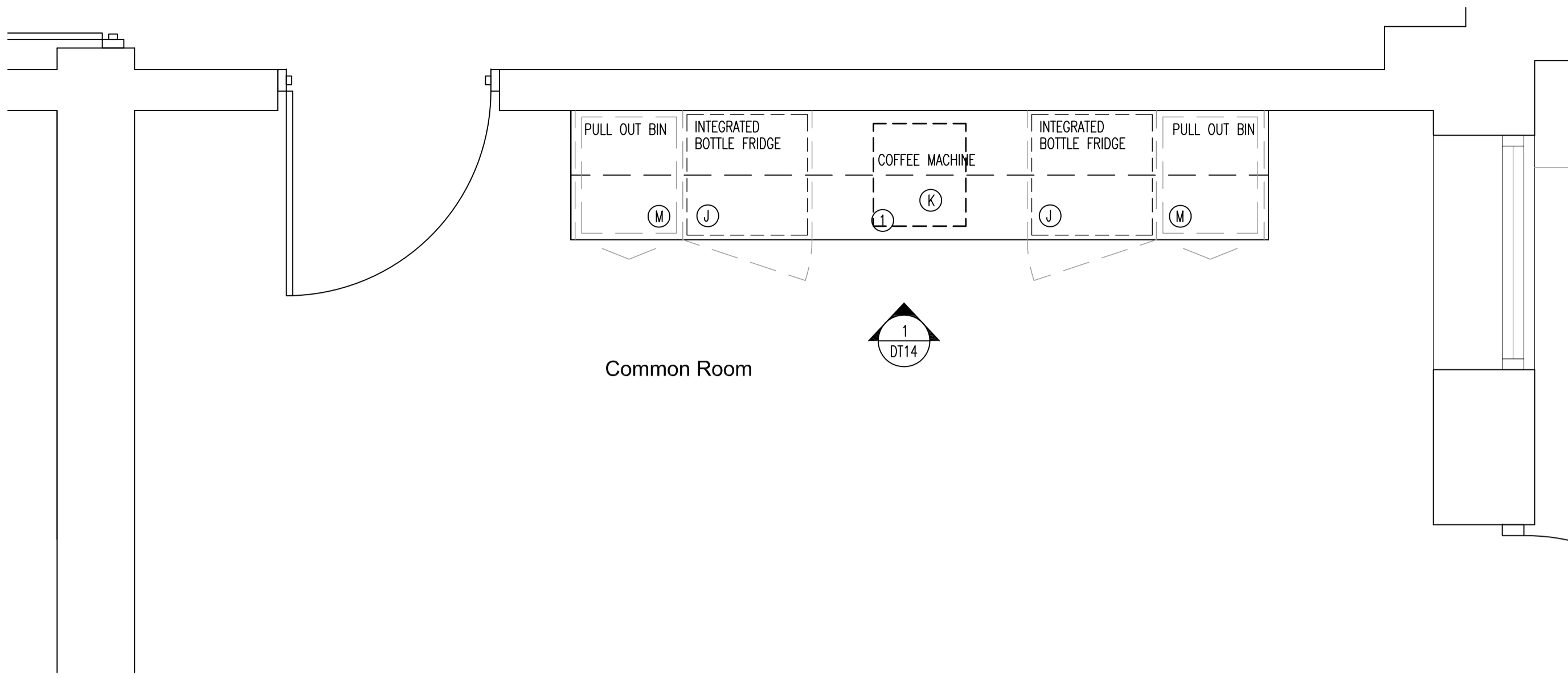
GENERAL NOTES

1. JOCKEY FIELDS BUILDING ONLY - ALLOW FOR REMOVING ALL EXISTING TIMBER WALL PANNELLING.
2. BEDFORD ROW - RETAIN EXISTING DADO RAIL AND MOCK PANNELLING TO WC CUBICLE SIDE WALL.
3. ALLOW FOR REMOVING EXISTING TUNDISH UNITS TO REAR OF CUBICLE PANELS.
4. ALLOW FOR SKIMMING/ PLASTERING EXISTING TOILET BATHROOM WALLS IN PREPARATION FOR FINISHES
5. ALLOW FOR PROVIDING SUITABLE MARINE GRADE PLYWOOD SUBSTRATE WITH DITRA MATTING FOR NEW TILED FLOOR TO BATHROOM.
6. ALLOW FOR DECORATING THE EXISTING DOOR AND FRAME TO THE BATHROOM.
7. CONTRACTOR TO SUPPLY BIN FOR PAPER TOWELS.

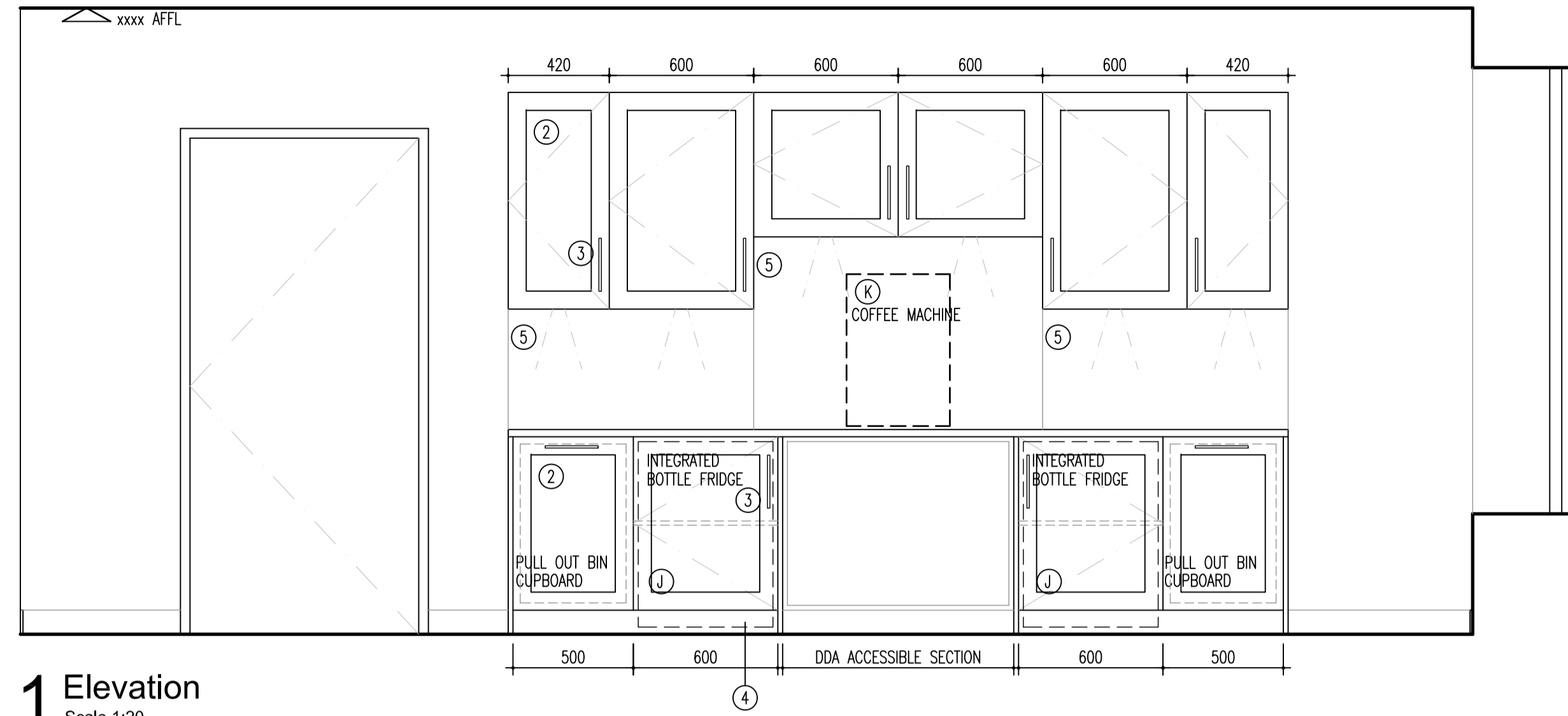


Client	Chambers 7BR		
Project	7 Bedford Row London WC1R 4BS		
Drawing	Stair 1 & Stair 3, Lower Ground Floor, First, Second & Third Floor Typical Core WC Plan and Elevation details		
Drawing Status	TENDER		
Scale	1:20@A1	Cad file	-2332 DT09
Drawn by	LC	Project no.	172332
Checked by	JDM	Drawing no.	DT09
Date	SEPT 2018	Revision	-





A Plan - Common Room R.LG10
Scale 1:20



1 Elevation
Scale 1:20

SPECIFICATION:

- ① WORKTOP COMMON ROOM: DIESPEKER & CO. TERRAZZO, 20mm THICK, REF: TO BE ADVISED. THICK, REF: CG014
- ② DOOR FINISH: MATT SPRAY LAQUOURED PAINT FINISH COLOUR REF: FARROW & BALL DOWNPIPE. CARCASE INTERNALS TO BE DARK GREY TO MATCH DOORS, LAMINATED 18mm MDF
- ②A DOOR FINISH ANCILLARY ROOM: POLYREY G076 GRIS ACIER FA (NOT SHAKER STYLE).
- ③ HAFELE BAR HANDLE - POLISHED CHROME FINISH 288mm LONG 12MM DIA. REFER TO SPEC SHEET 35.
- ④ PLINTH FINISH TO MATCH DOORS.
- ⑤ SPLASHBACK TOP BE TERRAZZO DIESPEKER REF: CG014 10mm THICK.

FIXTURES & FITTINGS: R.LG11

- Ⓐ FRANKE OLYMPIUS TAP REF: 115.0049.980 POLISHED CHROME FINISH REFER TO SPEC SHEET 09
- Ⓑ BOSCH FULLY INTEGRATED FULL HEIGHT FRIDGE KIR81AF30G A++ ENERGY RATING. REFER TO SPEC SHEET 04 OR SIMILAR APPROVED.
- Ⓒ NEFF 600mm (w) FULLY INTEGRATED DISHWASHER N30 S511A50X0G REFER TO SPEC SHEET 07 OR SIMILAR APPROVED.
- Ⓓ BILLI QUADRA SPARKLING DISPENSING HOT WATER TAP, CHILLED AND SPARKLING + MOUNTING FONT. REQUIRES: 13 AMP SOCKET, MAINS WATER FEED, DRAINAGE WITH TRAP, INSTALLED IN 600mm CABINET. NO VENTILATION NEEDED. CHROME FINISH TAP & DRIP TRAY. REFER TO SPEC SHEET 01
- Ⓔ TOWEL RAIL: ALUMINUM T BAR FIXED INSIDE OF CUPBOARD BELOW SINK.
- Ⓕ LOCATION FOR CLIENTS COFFEE MACHINE WITH MILK UNIT. UNITS REQUIRES TO BE PLUMBED IN WATER SUPPLY AND POWER.
- Ⓖ FRANKE ROTONDO STAINLESS STEEL INSET SINK & DRAINER REF: RBX 604 & RBX 610- REFER TO SPEC SHEETS 16 & 17

FIXTURES & FITTINGS: R.LG10

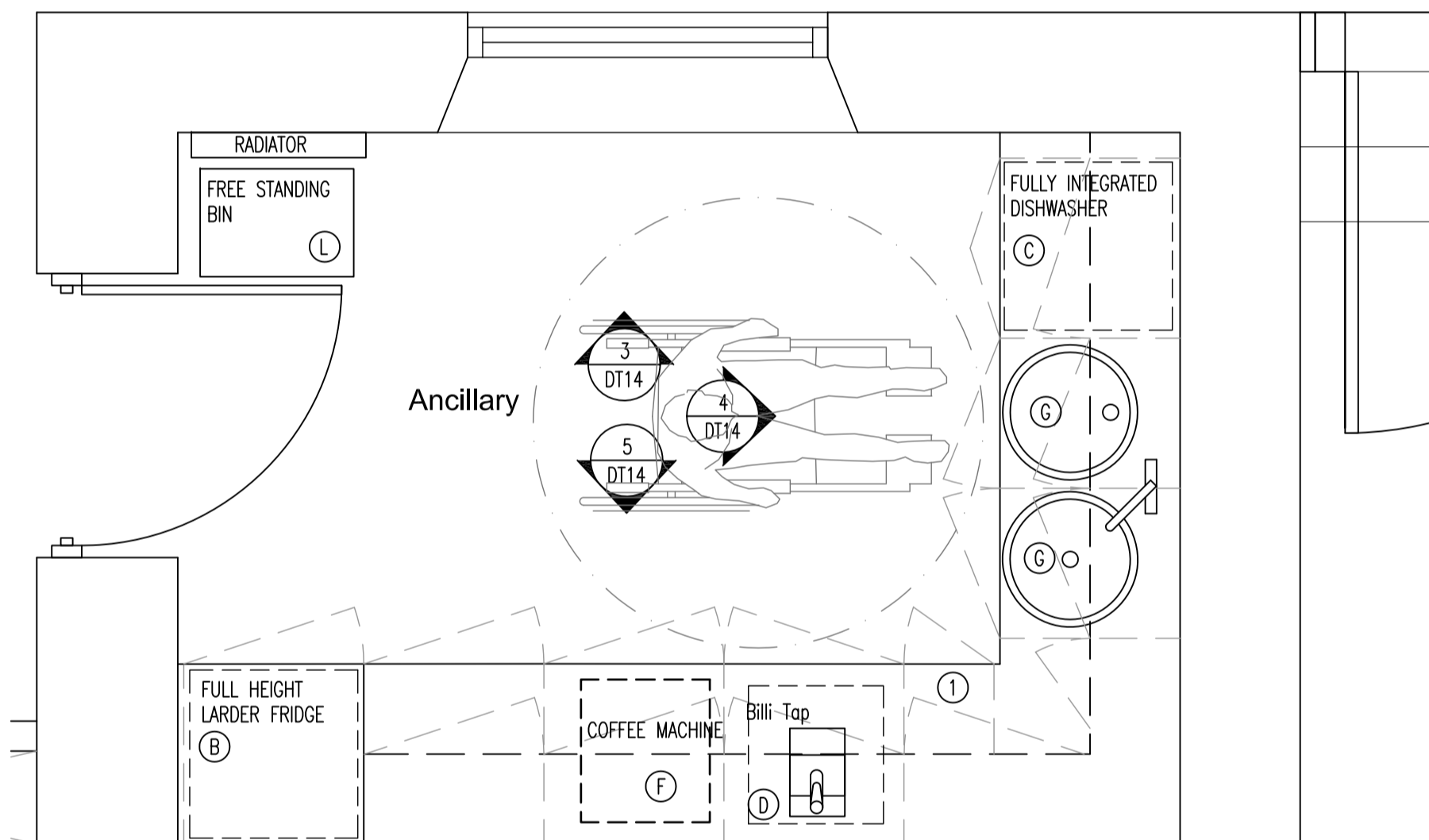
- Ⓕ BOSCH FULLY INTEGRATED UNDER COUNTER FRIDGE KUR15A50GB A+ ENERGY RATING - REFER TO SPEC SHEET 12 OR SIMILAR APPROVED.
- Ⓖ GLASS FRONTED BOTTLE COOLER/ FRIDGE PROVIDE POWER TO REAR OF FRIDGE. REFER TO SPEC SHEET 18
- Ⓕ LOCATION FOR NEW CAPSULE BASED COFFEE MACHINE WITH WATER TANK, GROMMET IN WORKTOP TO CONCEALED POWER SUPPLY.
- Ⓖ LAKELAND FREE STANDING WASTE BIN - SIMPLEHUMAN TOUCH BAR KITCHEN WASTE BIN SILER 301 REF: 24395
- Ⓖ HAFELE EURO CARGO 30I PULL OUT WASTE BIN REFER TO SPEC SHEET SPXX
- Ⓖ INDIVIDUAL UNDER COUNTER LED SPOT LIGHTS TO UNITS IN COMMON ROOM.

ELECTRICAL:

- SINGLE 13AMP SWITCHED SOCKET OUTLET
- MULTI-PLATE ISOLATION SWITCHES LOCATED IN WALL / BASE UNITS
- FUSED CONNECTION UNIT
- TWIN 13AMP SWITCHED SOCKET OUTLET

NOTES: ALL VISIBLE SOCKET FACE PLATES ETC. TO BE POLISHED CHROME FINISH JOINERY MANUFACTURER TO PROVIDE RODS'S FOR SIGN OFF PRIOR TO MANUFACTURER. DESIGN SUBJECT

ALL POWER/ DATA INDICATED ON ELEVATIONS IS INDICATIVE ONLY, REFER MEP PRO M&E CONSULTANTS DRAWINGS AND SPECIFICATIONS.

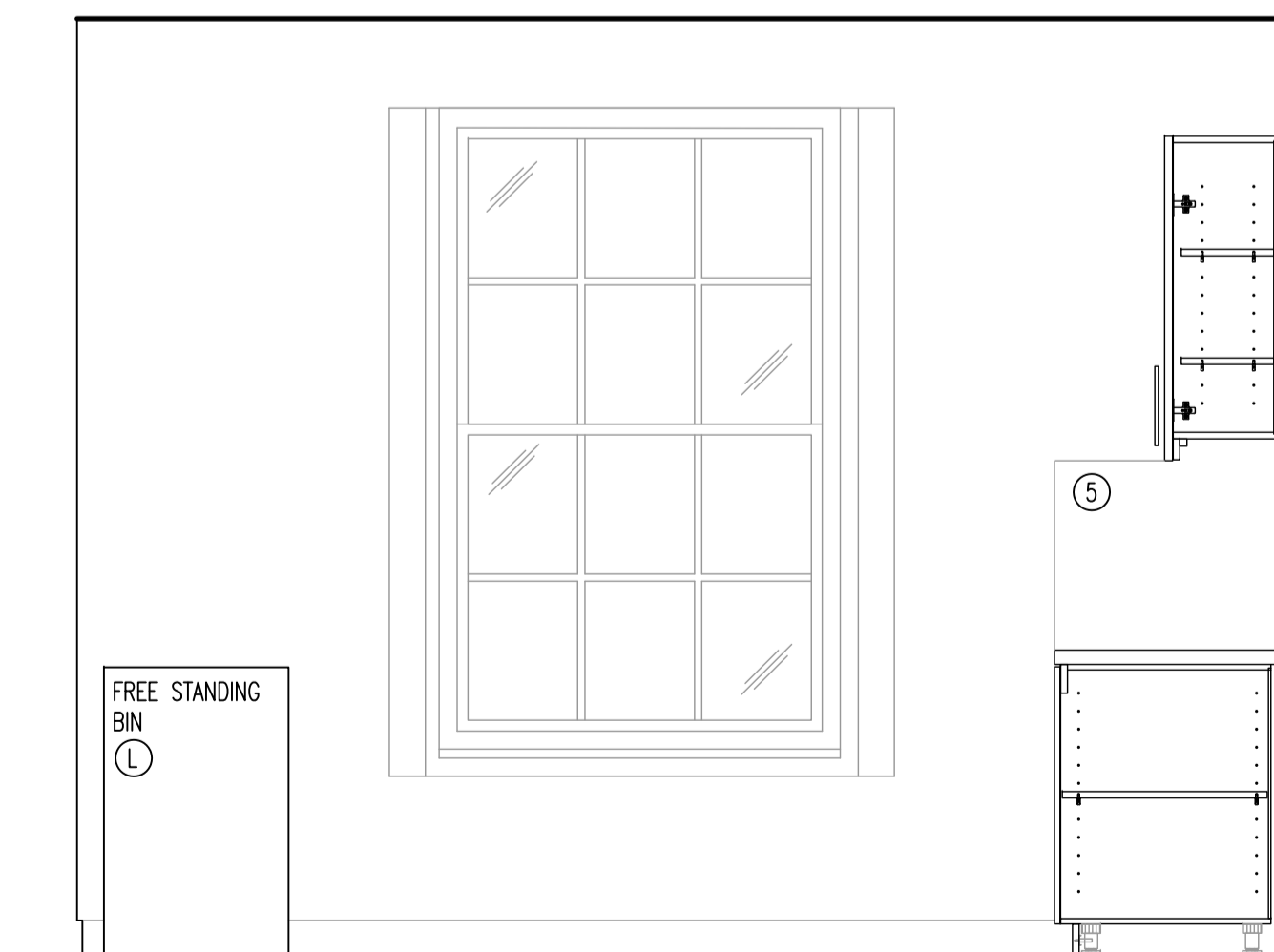


B Plan - Ancillary Room R.LG11
Scale 1:20

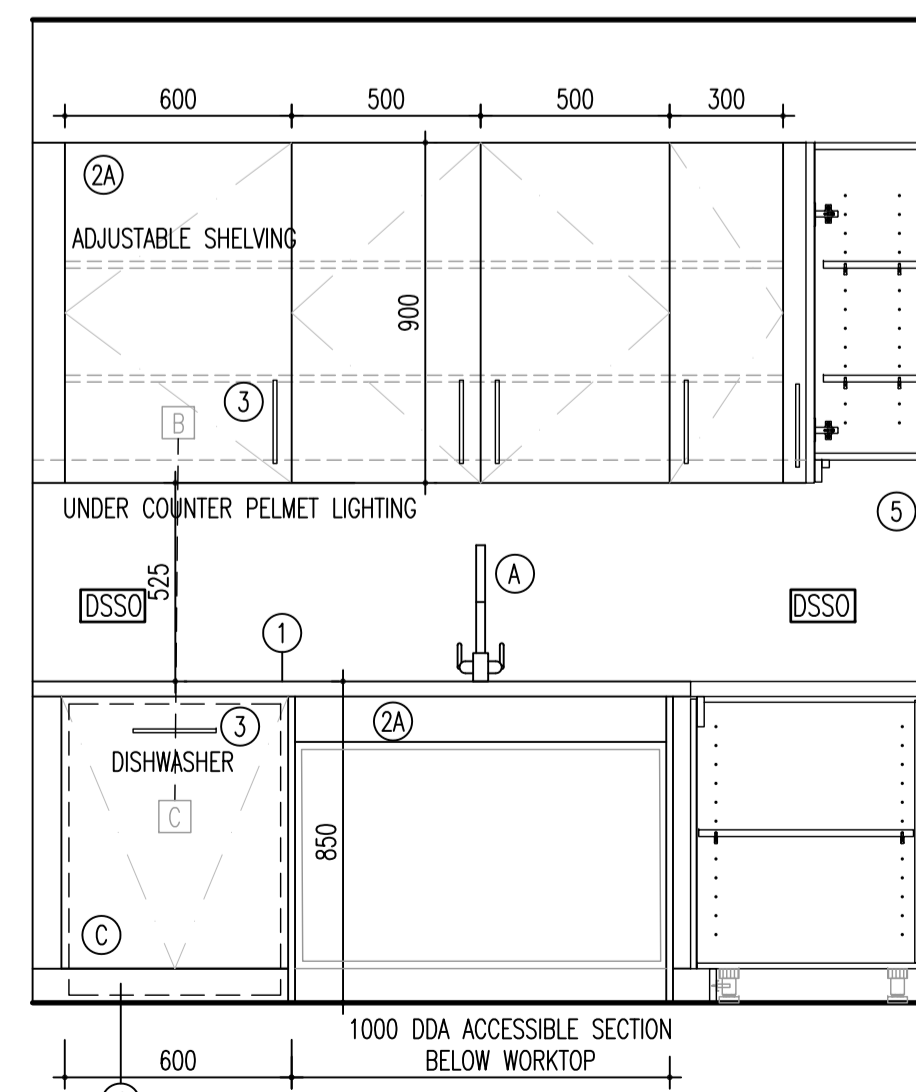
LC	Issued for Tender.	11.10.18
Rev.	Drawn / Description	Date



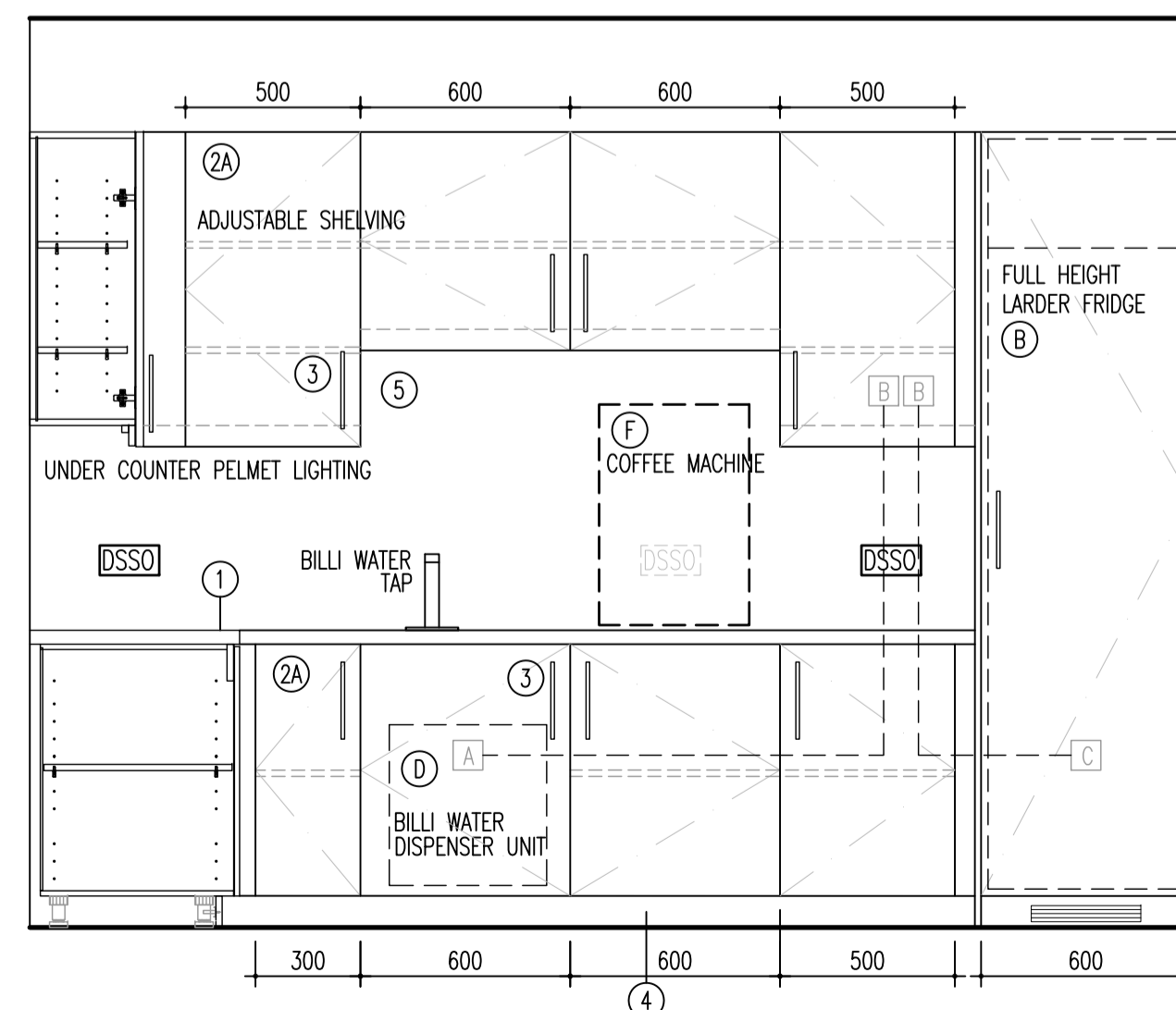
Client	Chambers 7BR		
Project	7 Bedford Row London WC1R 4BS		
Drawing	Lower Ground Floor Common Room & Ancillary Plans & Elevations		
Drawing Status	TENDER		
Scale	1:20@A1	Cad file	-2332 DT14
Drawn by	AW	Project no.	172332
Checked by	LC	Drawing no.	DT14
Date	SEPT 2018	Revision	-



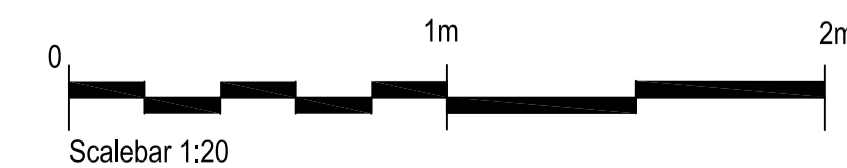
3 Elevation
Scale 1:20



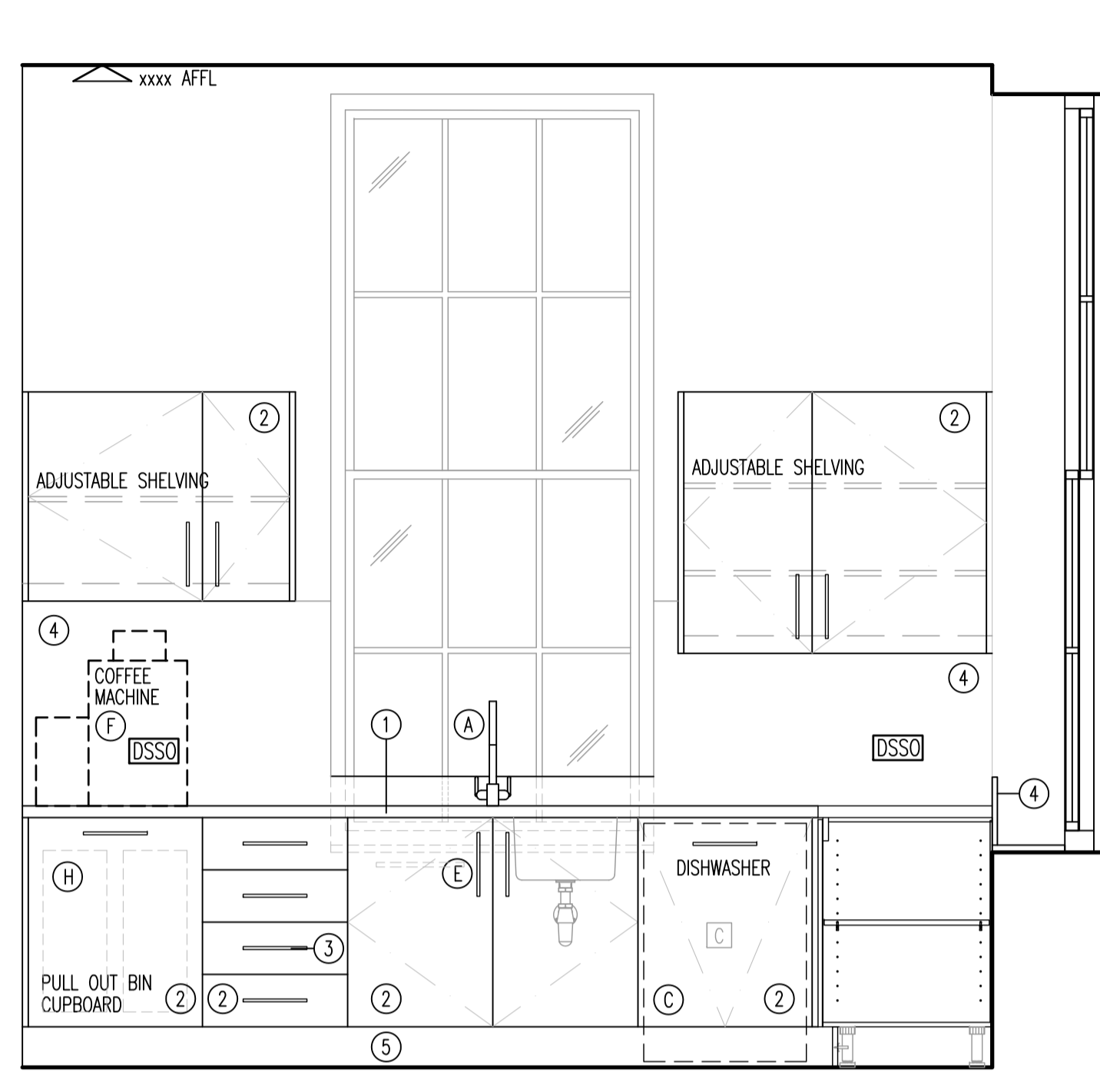
4 Elevation
Scale 1:20



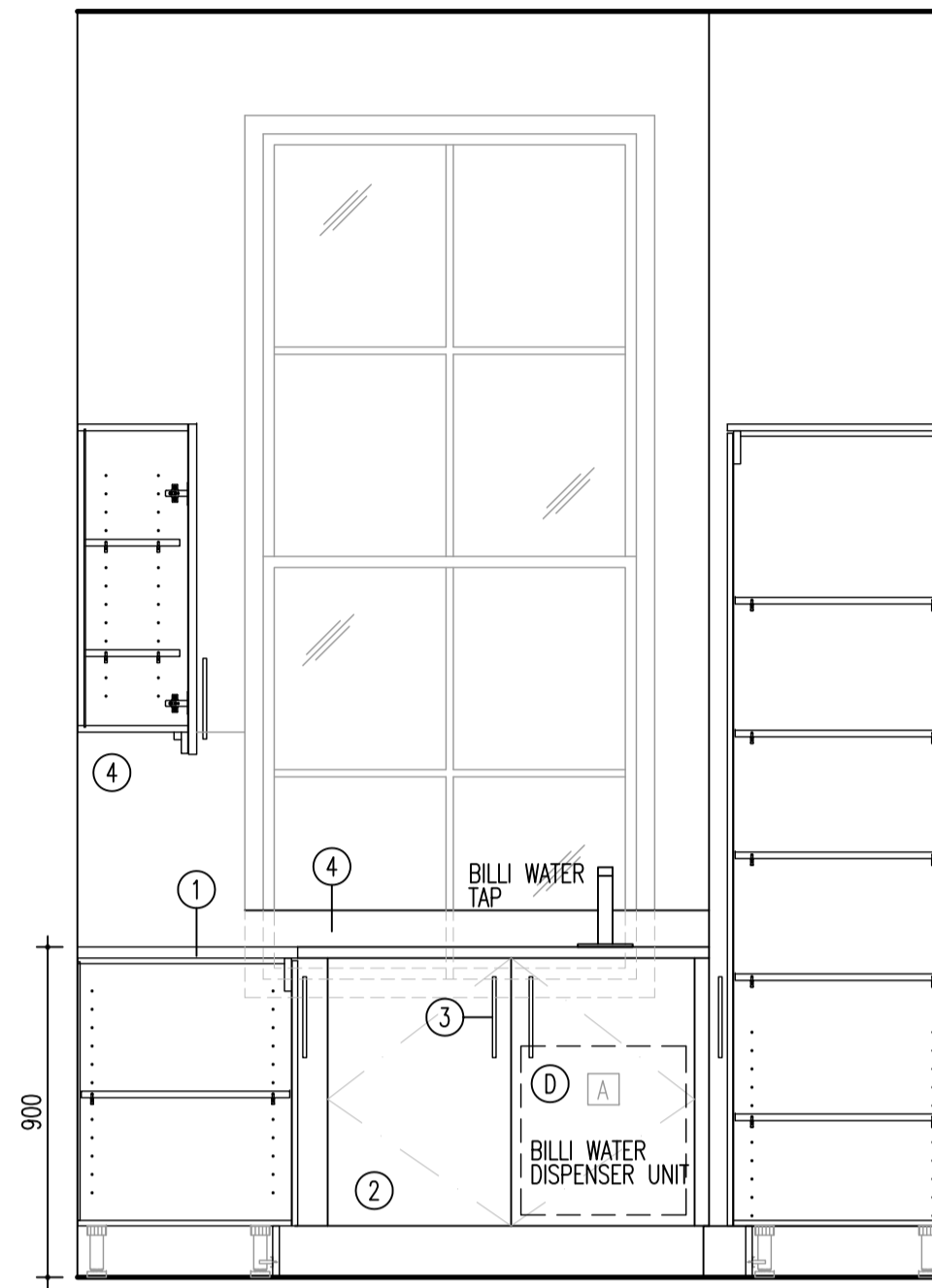
5 Elevation
Scale 1:20



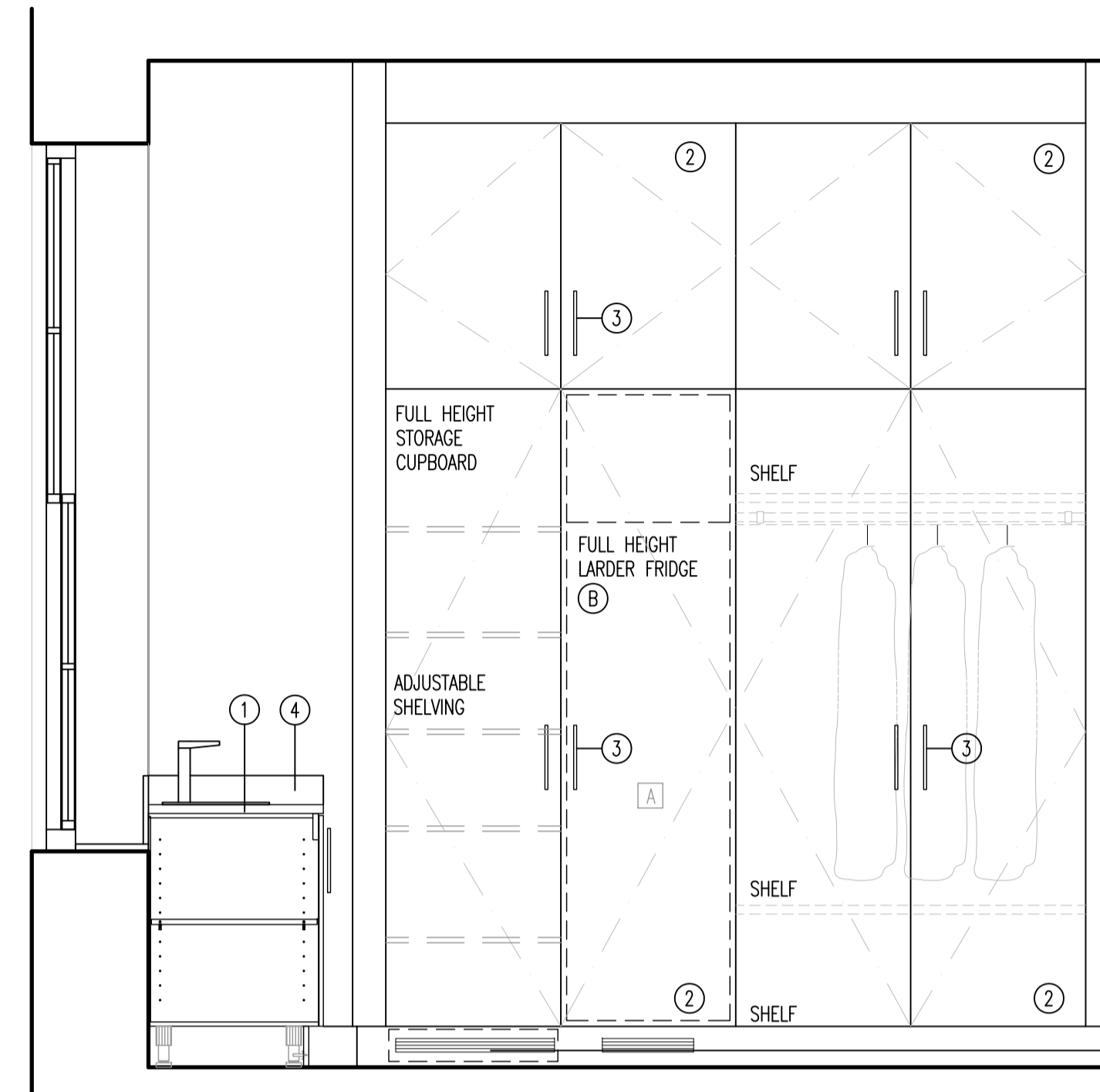
All dimensions to be checked on site prior to commencement of work



1 Elevation
Scale 1:20



2 Elevation
Scale 1:20



3 Elevation
Scale 1:20

PLINTH HEATER
SPEC BY M&E CONSULTANT






SPECIFICATION:

- ① WORKTOP: DIESPEKER & CO TERRAZZO 20mm THICK REF. TO BE ADVISED
- ② DOOR FINISH: LAMINATE FACED DOORS POLYREF REF: G076 GRIS ACIER FA CARCASE INTERNALS TO BE WHITE MFC
- ③ HAFELE BAR HANDLE - POLISHED CHROME FINISH
288mm LONG X 12MM DIA. REFER TO SPEC SHEET 35
- ④ SPLASHBACK/ UPSTAND DIESPEKER & CO TERRAZZO 20mm THICK REF. CG014
- ⑤ PLINTH FINISH TO MATCH DOORS

FIXTURES & FITTINGS:

- A FRANKE OLYMPUS TAP REF: 115.0049.980 POLISHED CHROME FINISH REFER TO SPEC SHEET 09
- B BOSCH FULLY INTEGRATED FRIDGE KIR41AF30G. A++ ENERGY RATING REFER TO SPEC SHEET 04 OR SIMILAR APPROVED.
- C NEFF 600mm (w) FULLY INTEGRATED DISHWASHER N30 S511A50X0G REFER TO SPEC SHEET 07 OR SIMILAR APPROVED.
- D BILLI QUADRA SPARKLING DISPENSING HOT WATER TAP, CHILLED AND SPARKLING + MOUNTING FRONT. REQUIRES: 13 AMP SOCKET, MAINS WATER FEED, DRAINAGE WITH TRAP, INSTALLED IN 600mm CABINET. NO VENTILATION NEEDED. CHROME FINISH TAP & DRIP TRAY. REFER TO SPEC SHEET 01
- E TOWEL RAIL: ALUMINUM T BAR FIXED INSIDE OF CUPBOARD BELOW SINK.
- F LOCATION FOR CLIENTS FILTER COFFEE MACHINE, & HOT WATER UNIT. BOTH UNITS REQUIRE PLUMBED IN WATER SUPPLY AND POWER.
- G FRANKE ROTONDO STAINLESS STEEL INSET SINK & DRAINER REF: RBX 604 & RBX 610- REFER TO SPEC SHEETS 16 & 17
- H WASTE BIN - HAFELE EURO CARGO 60 OR SIMILAR APPROVED. REFER TO SPEC SHEET 23

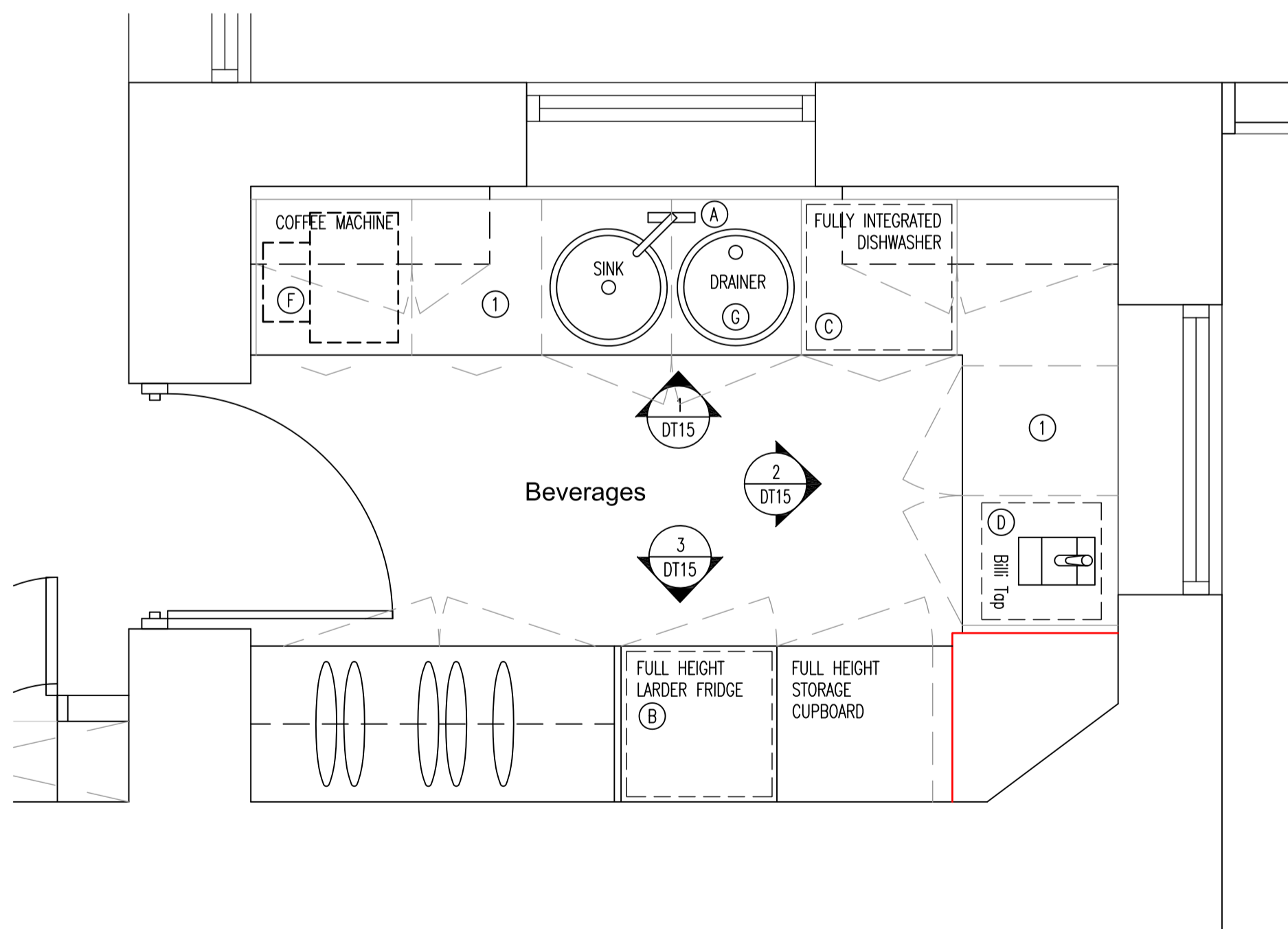
ELECTRICAL:

- SINGLE 13AMP SWITCHED SOCKET OUTLET 
- MULTI-PLATE ISOLATION SWITCHES LOCATED IN WALL / 
- BASE UNITS 
- FUSED CONNECTION UNIT 
- TWIN 13AMP SWITCHED SOCKET OUTLET 

NOTES: ALL VISIBLE SOCKET FACE PLATES ETC. TO BE POLISHED CHROME

JOINERY MANUFACTURER TO PROVIDE RODS'S FOR SIGN OFF PRIOR TO MANUFACTURER. DESIGN SUBJECT

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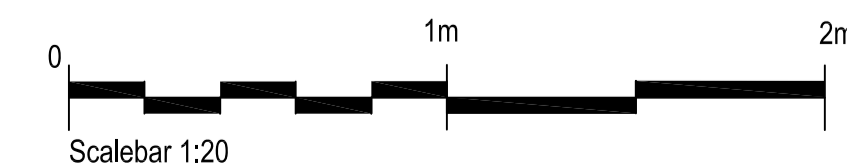
A Plan Beverages - R.G07
Scale 1:20

LC	Issued for Tender.	11.10.18
Rev.	Drawn / Description	Date



Client	Chambers 7BR		
Project	7 Bedford Row London WC1R 4BS		
Drawing	Ground Floor Beverages plan & elevation details		

Drawing Status	TENDER		
Scale	1:20@A1	Cad file	-2332 DT15
Drawn by	AW	Project no.	172332
Checked by	LC	Drawing no.	DT15
Date	SEPT 2018	Revision	-



Scalebar 1:20