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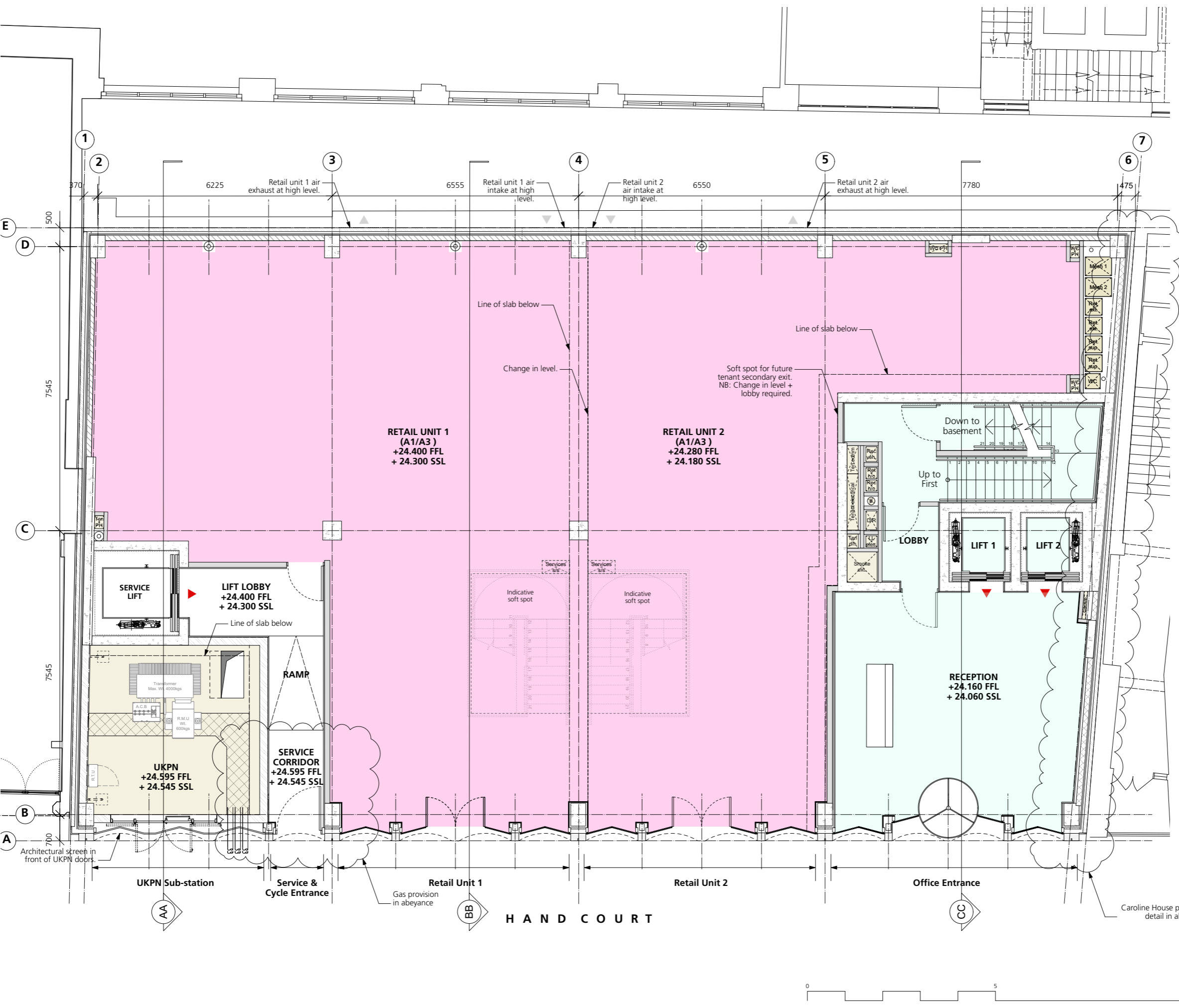
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NOTES.

REVISION	DATE
<b>Buckley Gray Yeoman</b>	
Studio 4.04 The Tea Building 56 Shoreditch High Street London E1 6JJ T: 020 7033 9913 F: 020 7033 9914	
CLIENT <b>SRG Holborn Limited</b>	
PROJECT <b>18-21 Hand Court</b>	
DRAWING <b>General Arrangements - Basement Plan</b>	
SCALE 1:50 @ A1 (1:100 @ A3)	
DATE Oct 2017	DRAWN BY JR
DWG No. 975_1821HC-GA-B1	REVISION -
DRAWING STATUS <b>FOR INFORMATION</b>	

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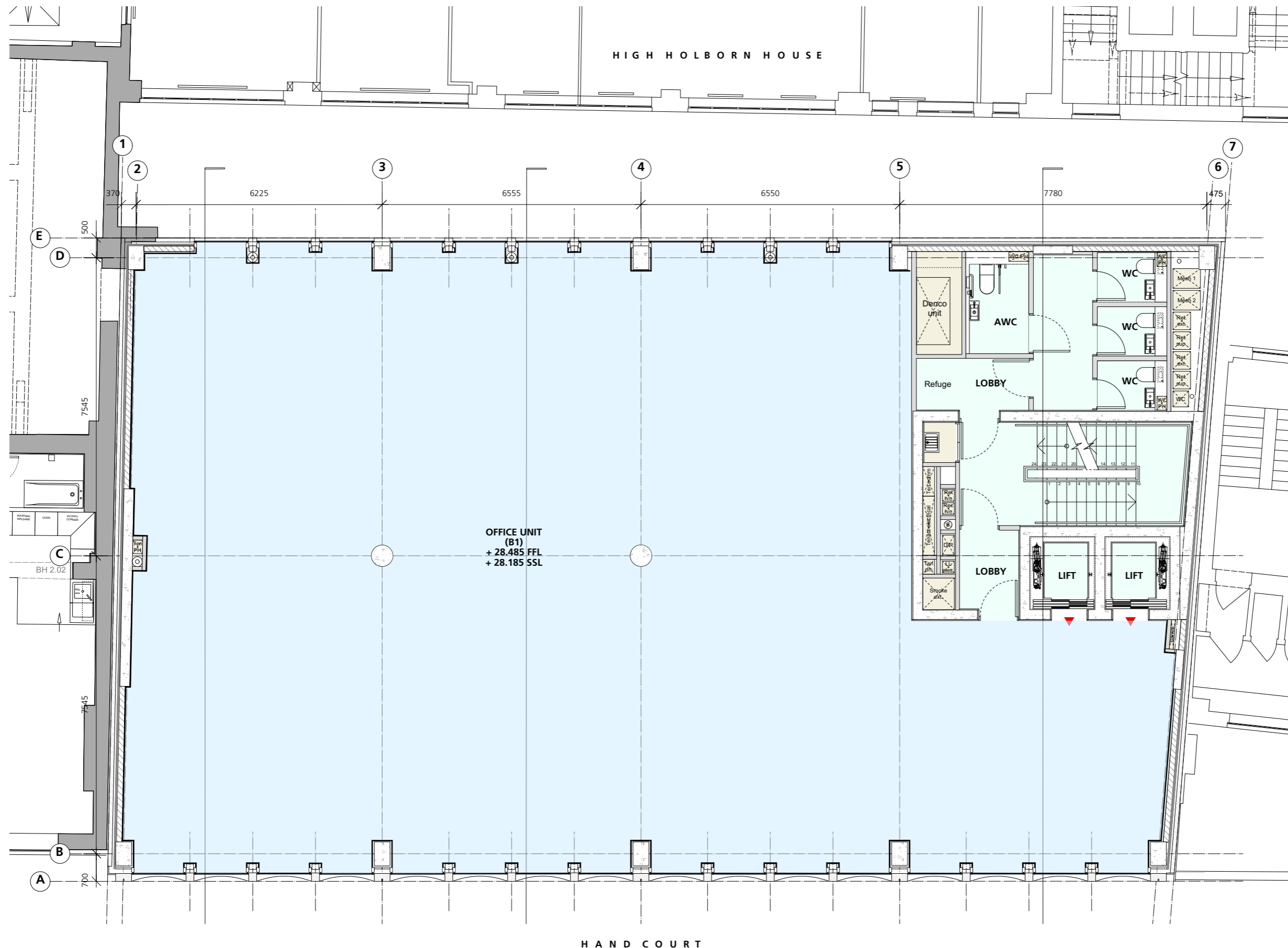
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CLIENT	
SRG Holborn Limited	
PROJECT	
18-21 Hand Court	
DRAWING	
General Arrangements - Ground Floor Plan	
SCALE	
1:50 @ A1 (1:100 @ A3)	
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HAND COURT

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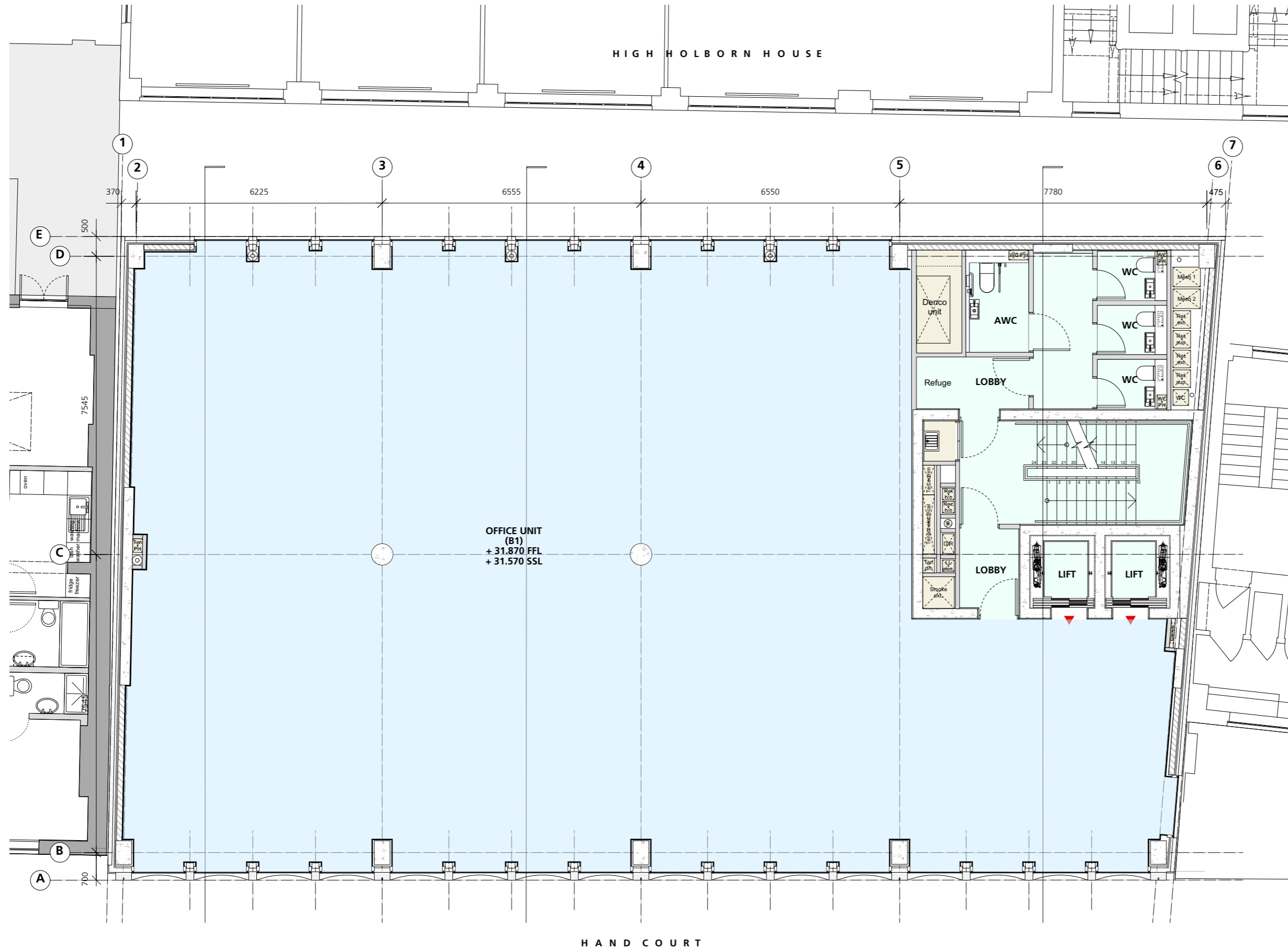
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REVISION	DATE
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CLIENT	
SRG Holborn Limited	
PROJECT	
18-21 Hand Court	
DRAWING	
General Arrangements - First Floor Plan	
SCALE	
1:50 @ A1 (1:100 @ A3)	
DATE	DRAWN BY
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DWG No.	REVISION
975_1821HC-GA-01	-
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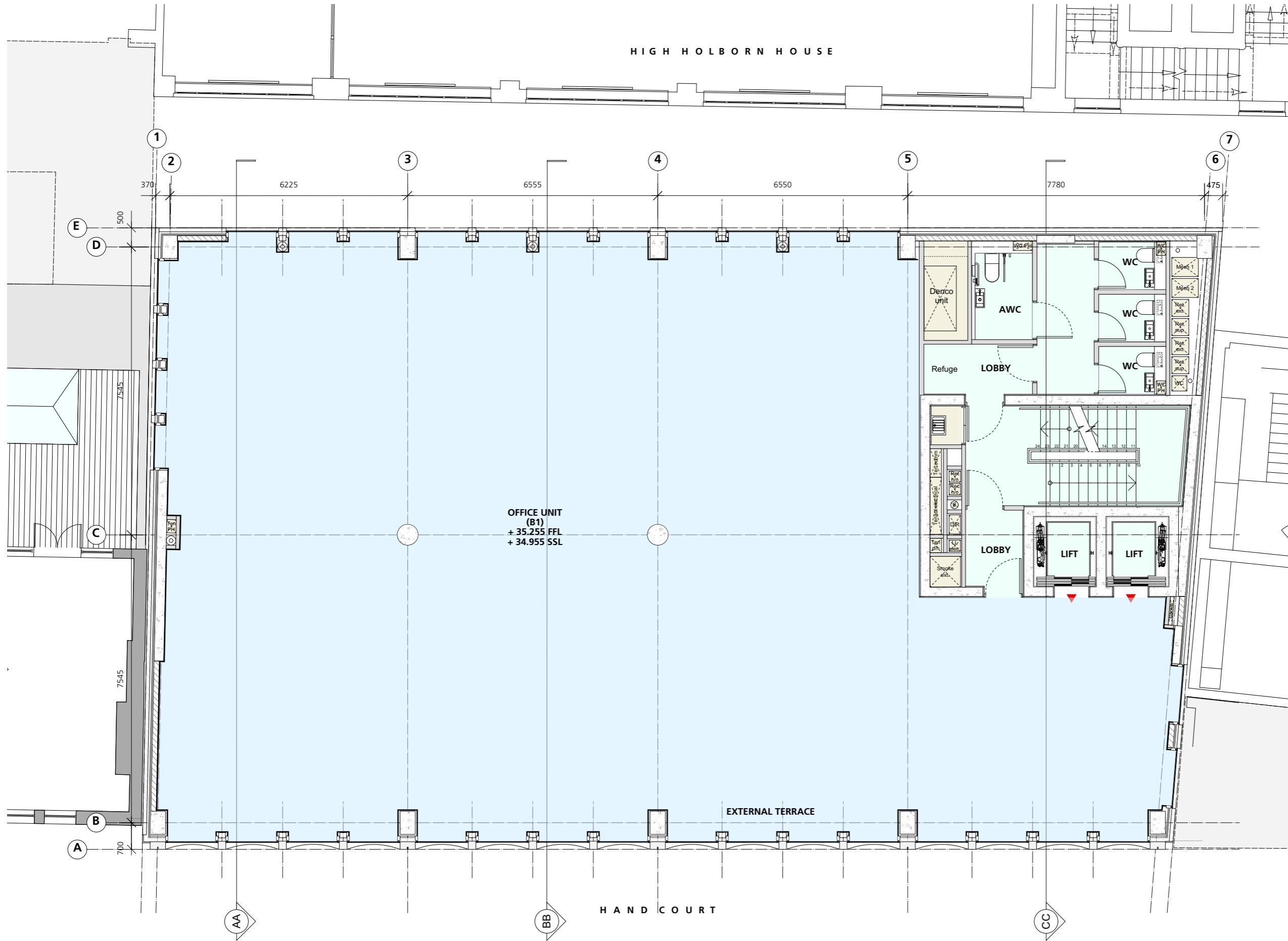
DO NOT SCALE FROM THIS DRAWING.

NOTES.

REVISION	DATE
<b>Buckley Gray Yeoman</b> Studio 4.04 The Tea Building 56 Shoreditch High Street London E1 6JJ T: 020 7033 9913 F: 020 7033 9914	
CLIENT	
SRG Holborn Limited	
PROJECT	
18-21 Hand Court	
DRAWING	
General Arrangements - Second Floor Plan	
SCALE	
1:50 @ A1 (1:100 @ A3)	
DATE	DRAWN BY
Oct 2017	JR
DWG No.	REVISION
975_1821HC-GA-02	-
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+ 34.955 SSL

H A N D C O U R T

EXTERNAL TERRACE

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NOTES.

REVISION DATE

Buckley Gray Yeoman

Studio 4.04 The Tea Building 56 Shoreditch High Street  
London E1 6JJ T: 020 7033 9913 F: 020 7033 9914

CLIENT  
SRG Holborn Limited

PROJECT  
18-21 Hand Court

DRAWING  
General Arrangements -  
Third Floor Plan

SCALE  
1:50 @ A1 (1:100 @ A3)

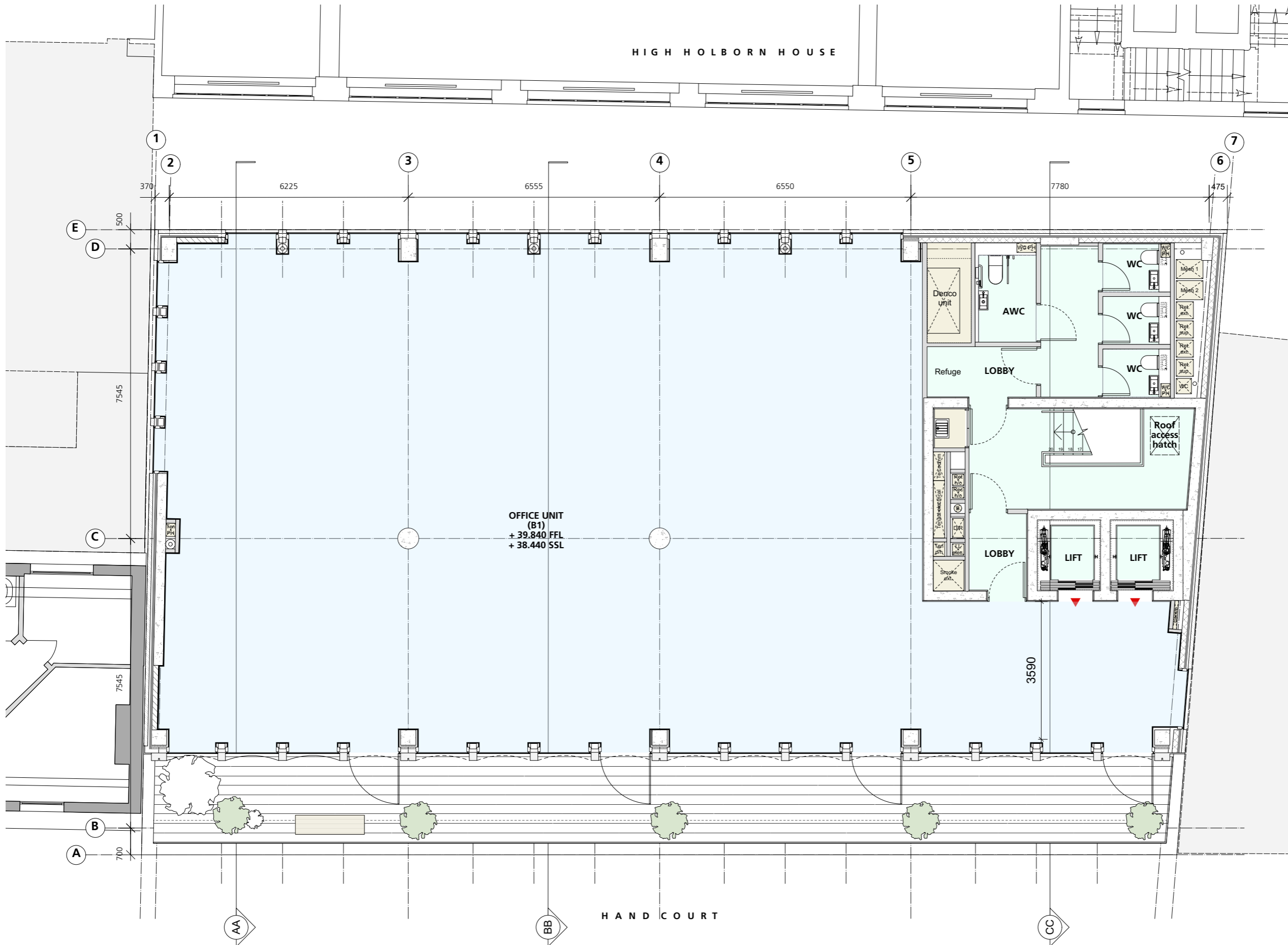
DATE  
Oct 2017

DRAWN BY  
JR

DWG No.  
975\_1821HC-GA-03

REVISION  
-

DRAWING STATUS  
FOR INFORMATION



HIGH HOLBORN HOUSE

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HANDCOURT

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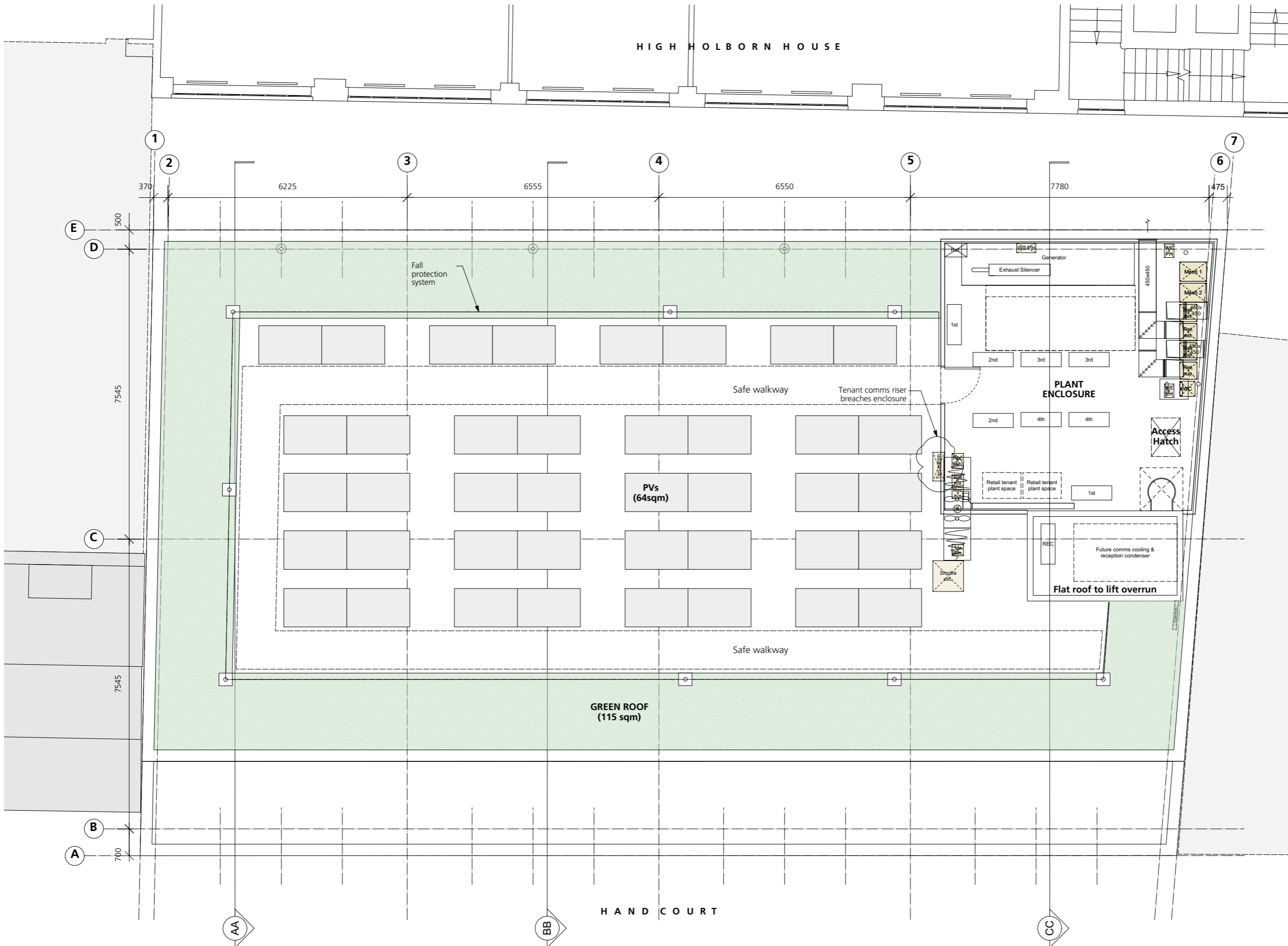
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CLIENT	
SRG Holborn Limited	
PROJECT	
18-21 Hand Court	
DRAWING	
General Arrangements - Fourth Floor Plan	
SCALE	
1:50 @ A1 (1:100 @ A3)	
DATE	DRAWN BY
Oct 2017	JR
DWG No.	REVISION
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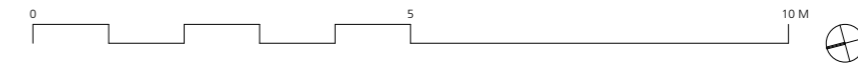
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.

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NOTES.

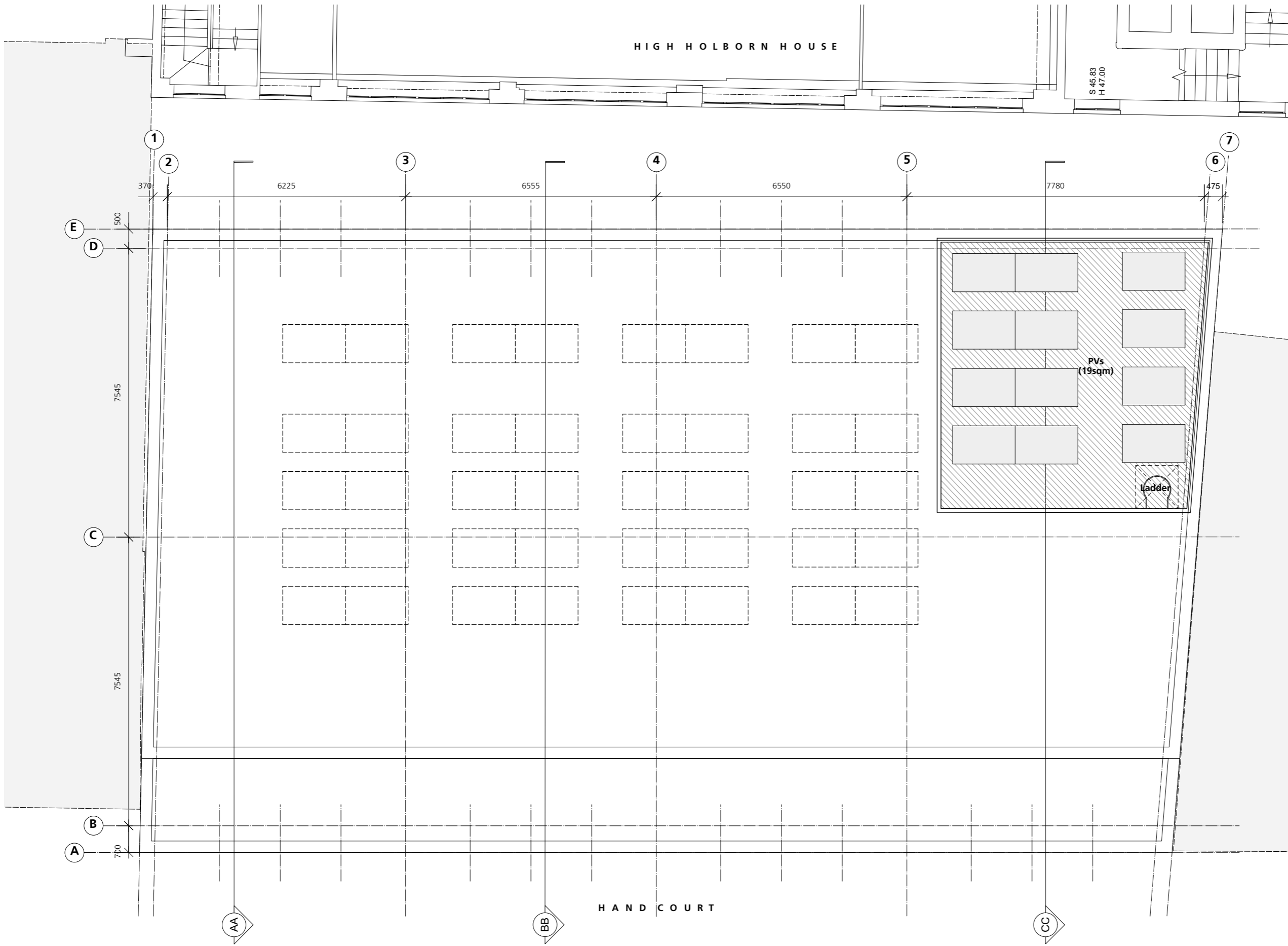
REVISION	DATE
<b>Buckley Gray Yeoman</b> Studio 4.04 The Tea Building 56 Shoreditch High Street London E1 6JJ T: 020 7033 9913 F: 020 7033 9914	
CLIENT	
SRG Holborn Limited	
PROJECT	
18-21 Hand Court	
DRAWING	
General Arrangements - Roof Plan	
SCALE	
1:50 @ A1 (1:100 @ A3)	
DATE	DRAWN BY
Oct 2017	JR
DWG No.	REVISION
975_1821HC-GA-RF	-
DRAWING STATUS	
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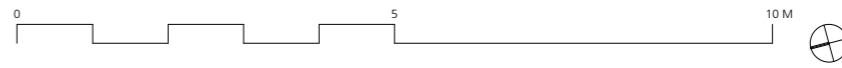
HIGH HOLBORN HOUSE

S 46.83  
H 47.00



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 NOTES.

REVISION	DATE
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CLIENT <b>SRG Holborn Limited</b>	
PROJECT <b>18-21 Hand Court</b>	
DRAWING <b>General Arrangements - Roof PV Plan</b>	
SCALE 1:50 @ A1 (1:100 @ A3)	
DATE Oct 2017	DRAWN BY JR
DWG No. 975_1821HC-GA-RFPV	REVISION -
DRAWING STATUS <b>FOR INFORMATION</b>	



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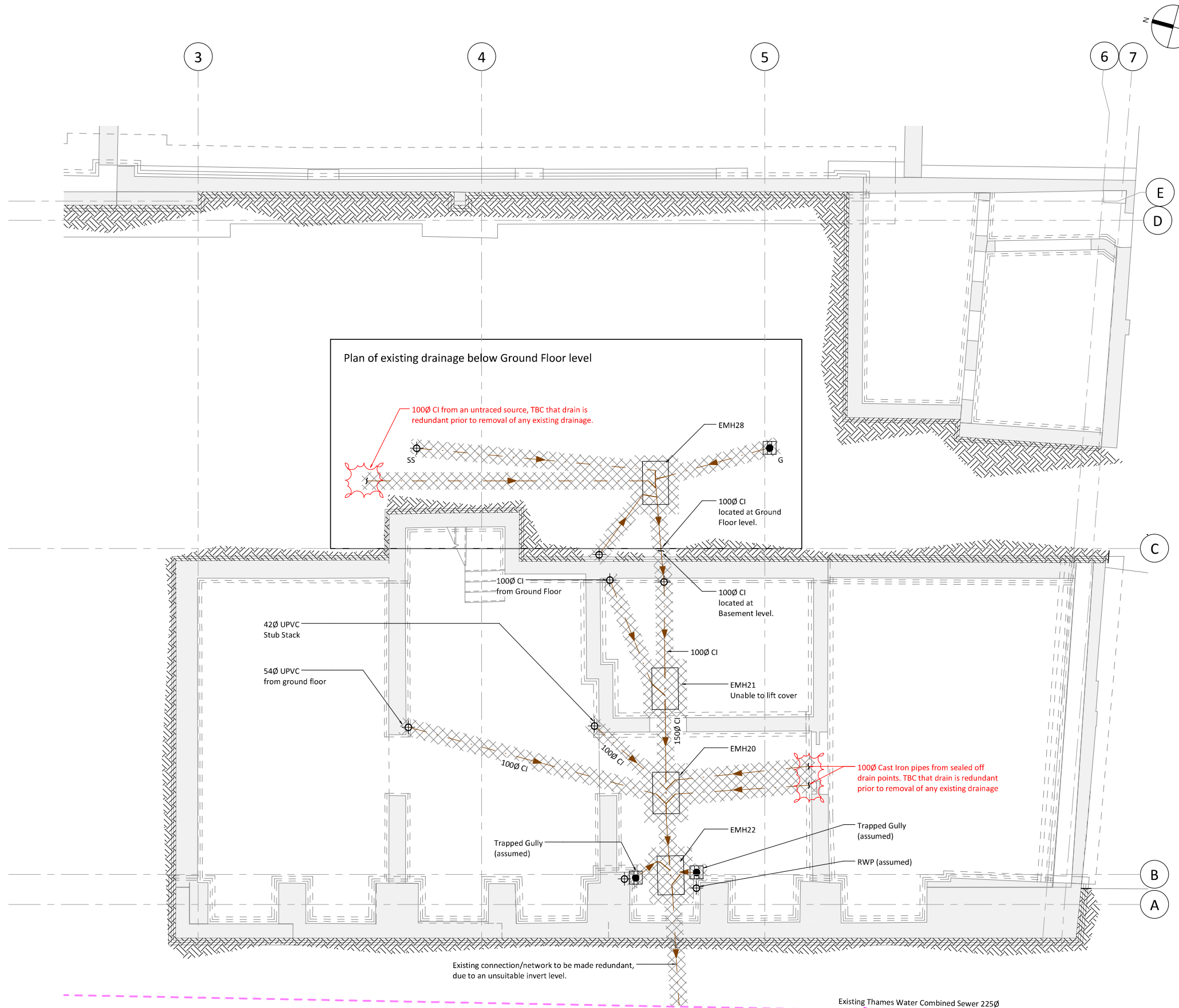


# Appendix B

Existing Drainage Layout & CCTV Survey

# Drainage Notes

- This drawing is to be read in conjunction with all relevant architects, engineers and specialists drawings and specifications.
- Do not scale from this drawing in either paper or digital form. Use written dimensions only. To check drawing has been printed to the intended scale the above bar should be 100mm
- All drainage shall comply with the typical drainage construction details and the requirements of BS EN 752.
- Access covers and frames shall comply with the loadings specified and to BS EN 124 and kitemarked or if recessed covers are specified then in accordance with FACTA association equivalent.
- The proposed building outlines shown on this drawing are for information only. Refer to Architects plans for precise location setting out information and details.
- All drainage pipework shown shall be 100mm diameter unless noted otherwise.
- All underslab drainage shall be laid at gradients of 1:40 min. for foul pipework and 1:80 min. for surface water unless noted otherwise.
- All underslab drainage shall be clear of foundations unless shown otherwise with long radius bends kept to a minimum and used where unavoidable.
- At least one soil pipe at the head of each foul run shall be vented to the atmosphere.
- All gutters shall be fitted with a leaf filter at each outlet to reduce the risk of blockage.
- All foul and rainwater downpipes shall be accessible above ground for rodding purposes.
- Any part of the existing drainage system to be retained as part of the new scheme shall be cleaned and inspected by CCTV survey. Any structural defects shall be repaired or replaced as may be required using appropriate and approved methods.
- Where existing access locations are to be retained the cover and frames shall be checked to ensure they are of a suitable duty for reuse and levels adjusted to suit proposed finished ground levels.
- All internal access covers shall be recessed, double sealed and lockable.
- Cover levels shown on this drawing are approximate and shall be adjusted to suit finished pavement levels on site by Contractor. Covers shall be orientated to suit pavement finishes where appropriate.
- All private drainage pipework for foul and surface water systems have been designed on the basis of UPVC to BS EN 1401-1, unless noted otherwise.
- All adoptable drainage pipework for foul and surface water systems have been designed on the basis of clayware, concrete or plastic to comply with Sewers for Adoption 7th Edition.
- Concrete encasement of the pipework shall be required where the vertical clearance between two pipes crossing is less than 300mm
- All existing drainage shall be assumed to be 'live' and shall be maintained at all times during the works. Existing drainage shall be reconnected to the new drainage system unless proven to be redundant for abandonment. All existing drainage to be abandoned shall be sealed by appropriate means.
- All drainage connecting to the public sewer network shall not commence until receipt of the approval from the drainage authority and shall comply with requirements using vitrified clay pipework to BS EN 295 with plain sleeved or socketed flexible joints subject to their approval.
- Where drainage works are carried out in the public highway the relevant necessary approvals and road opening notices shall be obtained from the highway authority and utility companies.
- Upon completion all new drainage installation together with any existing drainage retained shall be jetted and CCTV surveyed. Contractor to ensure that the drainage system is fully operational, free of excess debris/silt and all identified faults rectified.
- The contractor is to execute all repair works and recommendations associated with drainage to be retained and reused.
- HEALTH & SAFETY: Future works shall be carried out by specialist competent and experienced contractors. All operatives shall have received full and appropriate training with appropriate qualifications for the operations they are required to undertake. All work shall be carried out in accordance with the relevant Health & Safety Regulations.
- This Drawing is for planning purposes only and is subject to change.
- This drawing does not show co-ordination at this stage and therefore it should be explored in greater detail at the detailed design stages.
- All below ground level drainage should be pumped up to ground level and then discharged via gravity to the public sewer.

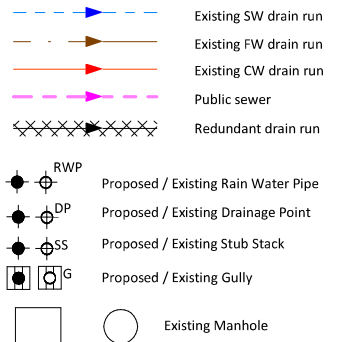


Existing Manhole Schedule

Ref	Cover level	Invert level	Chamber size	MH Material / Type	Cover Class	Cover Size	Notes
EMH20	21.340	20.410	960 x 610	Brick	TBC	750 x 750	-
EMH21	21.340	TBC	TBC	TBC	TBC	TBC	Unable to lift cover - below carpet
EMH22	21.340	20.260	900 x 610	Brick	TBC	720 x 720	-
EMH28	23.390	22.155	1000 x 600	Brick	TBC	840 x 690	-

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- Abbreviations:-
  - CL - Cover Level
  - IL - Invert Level
  - MH - Manhole
  - OD - Outer Diameter
  - RWP - Rainwater Pipe
  - SVP - Soil Vent Pipe
- Existing drainage layout based on spafflow CCTV survey, dated: Feb 2011.
- Existing cover levels obtained from survey drawing by Plowman Craven, dated: May 2012.

### Drainage Key



P1	20.06.18	KG	KG	Preliminary Issue
Rev	Date	By	Eng	Amendments

**HEYNE TILLET STEEL** STRUCTURAL ENGINEERS  
hts.uk.com

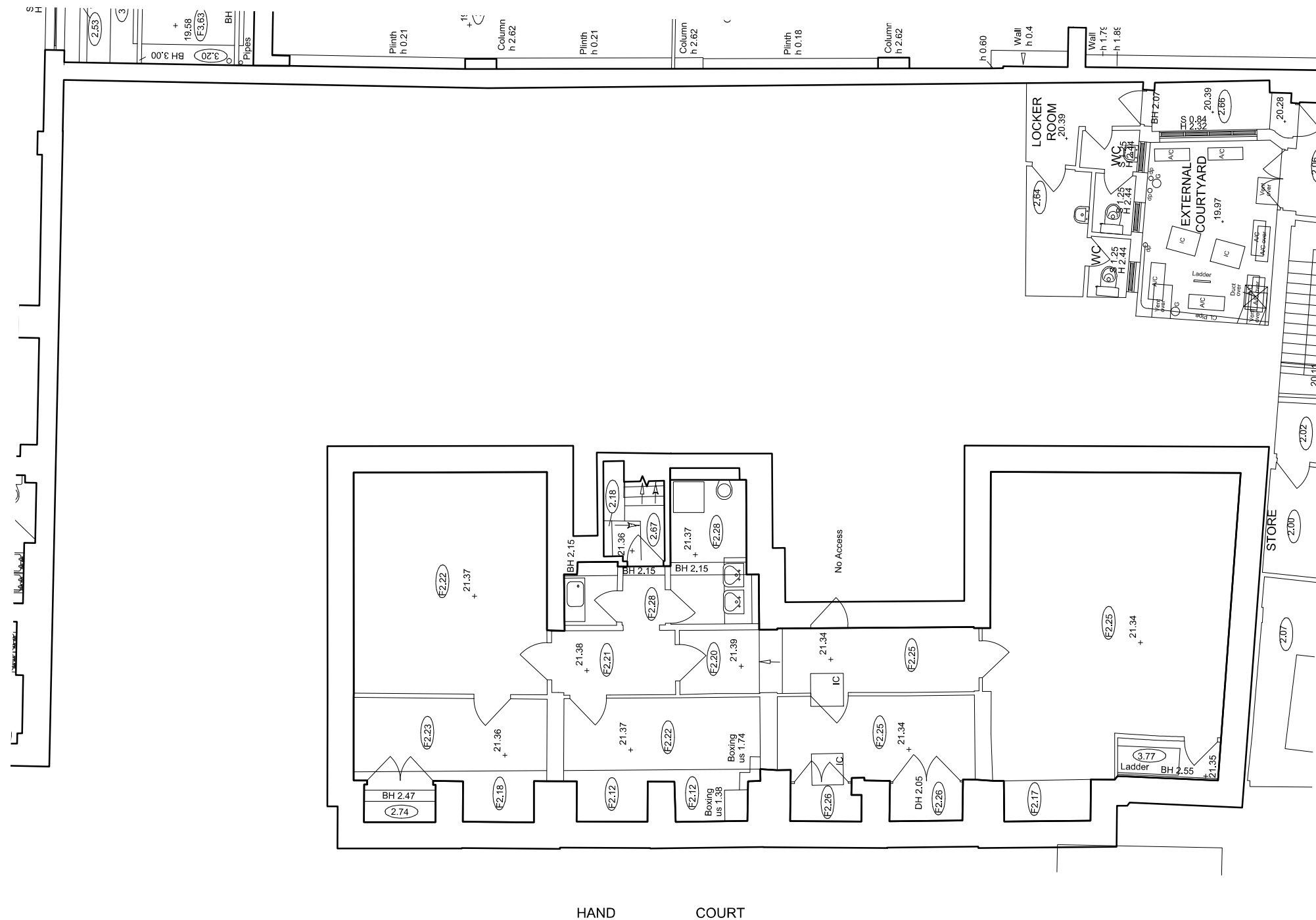
Job Name  
**High Holborn Estate**  
**18-21 Hand Court**

Drawing Title  
**Existing Below Ground**  
**Drainage**  
**Lower Ground Floor**

Purpose of Issue **Preliminary** Scale at A1 1:50

Drawing No **1508 / HC/DR400** Rev **P1**

HIGH HOLBORN HOUSE



HAND COURT

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NOTES.

REVISION	DATE
CLIENT SRG Holborn Limited	
PROJECT 18-21 Hand Court	
DRAWING Existing Basement Floor Plan	
SCALE 1:50 @ A1 (1:100 @ A3)	
DATE April 2016	DRAWN BY VC
DWG No. 975_1821HC-EX-B1	REVISION -
DRAWING STATUS Information	

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FOR CONTINUATION REFER TO DRAWING No. PH01

FOR CONTINUATION REFER TO DRAWING No. PH01

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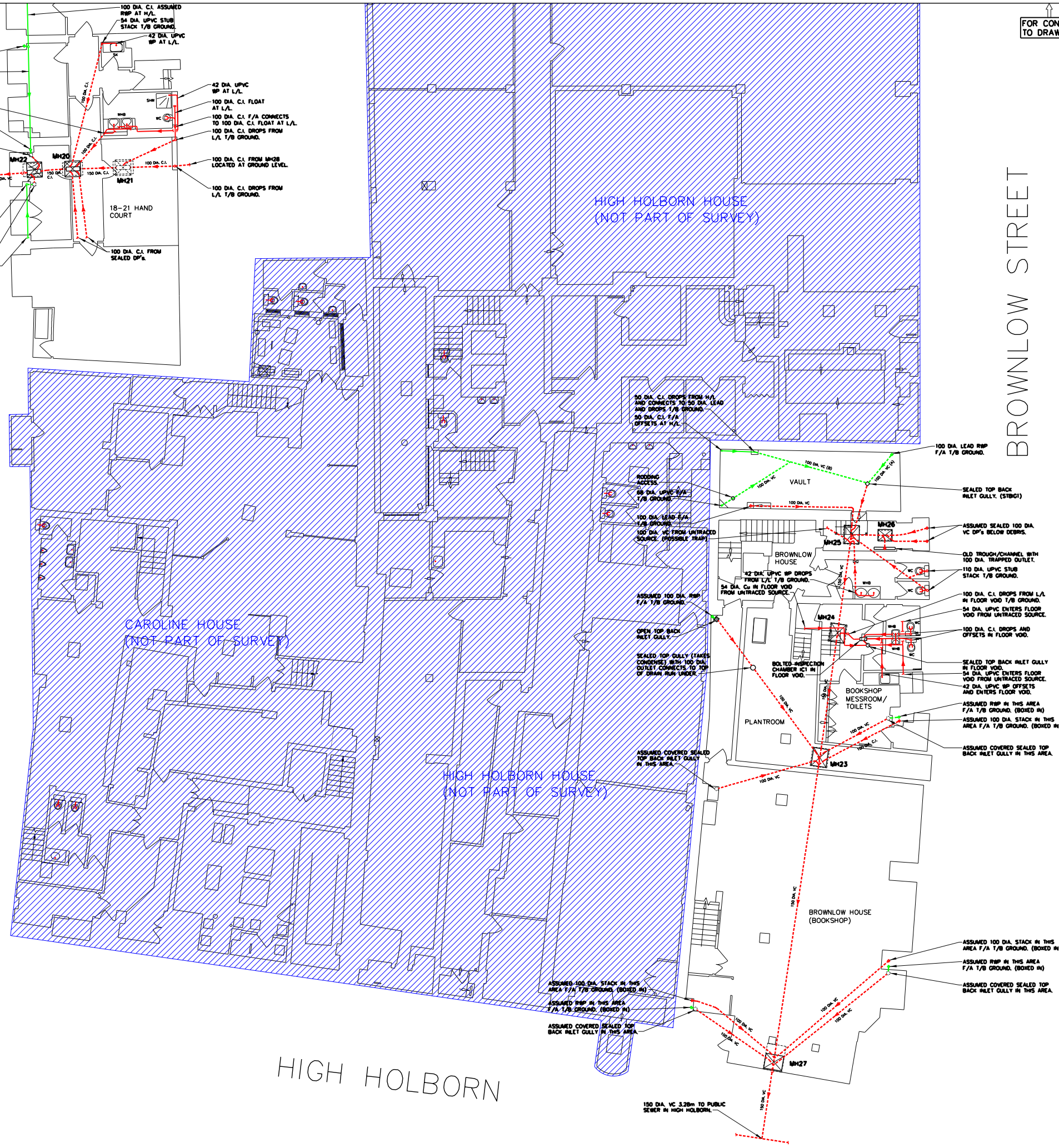
LEGEND:  
 --- BELOW GROUND (SURFACE WATER)  
 --- BELOW GROUND (FOUL WATER)  
 --- ABOVE GROUND (SURFACE WATER)  
 --- ABOVE GROUND (FOUL WATER)

FH	FIRE HYDRANT	RWP	WASTE VENT PIPE
IV	ISOLATION VALVE	WVP	RAINWATER PIPE
WMT	WATER METER	SVP	SOIL VENT PIPE
GMT	GAS METER	VP	VENT PIPE
WM	RISING WATER MAIN	G	GULLY
GM	RISING GAS MAIN	RG	ROAD GULLY
GT	GREASE TRAP	OTG	OPEN TOP GULLY
CBP	CABLE PIT	STG	SEALED TOP GULLY
CP	CATCHPIT	BIG	BACK INLET GULLY
MH	MANHOLE	C.I.	CAST IRON
WHB	WASH HAND BASIN	Cu	COPPER
SK	SINK	V.C.	VITRIFIED CLAY
WC	WATER CLOSET	UPVC	UNPLASTICISED POLYVINYL CHLORIDE
UR	URINAL	PF	PITCH FIBRE
RE	RODDING EYE	F.A.	FROM ABOVE
RED.	REDUNDANT	T.A.	TO ABOVE
H/L	HIGH LEVEL	F.B.	FROM BELOW
M/L	MID LEVEL	T.B.	TO BELOW
L/L	LOW LEVEL		

HAND COURT

BROWNLOW STREET

HIGH HOLBORN



REV.	DATE	DESCRIPTION	BY	APP.

**SPAFLOW**  
 Spaflow Limited  
 Watlington House  
 The Parade  
 Moulton  
 Kenilworth  
 Tel: 01471 815 700  
 Fax: 01471 815 800  
 Email: spaflow@aol.com  
 Website: www.spaflow.co.uk

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CLIENT:  
**HEYNE TILLETTS STEEL**  
**4 PEAR TREE COURT**  
**LONDON**  
**EC1R 0DS**

PROJECT:  
**HIGH HOLBORN ESTATE**  
**LONDON**  
 TITLE:  
**RECORD OF TRACING, MAPPING AND**  
**CCTV SURVEY OF DRAINAGE.**  
**BASEMENT LEVEL SHEET 2**

DRAWN:	DATE:	SCALE:
SWW	FEB 17	NTS
CHECKED:	APPROVED:	
DWH	DWH	
CLIENT DRG. No:	CAD O.A.:	PLOT SIZE:
MICROFILM REF:	SHEET:	DRG. No:
		PH02

FOR CONTINUATION REFER TO DRAWING No. PH03

FOR CONTINUATION REFER TO DRAWING No. PH03

HAND COURT

BROWNLOW STREET

HIGH HOLBORN



NOTES:  
1. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH DRAWING No. PH02, PH03 & PH05 AND THE SPAFLOW LTD REPORT DATED MARCH 2017.

LEGEND:  
 - - - - - BELOW GROUND (SURFACE WATER)  
 - - - - - BELOW GROUND (FOUL WATER)  
 - - - - - ABOVE GROUND (SURFACE WATER)  
 - - - - - ABOVE GROUND (FOUL WATER)

FH	FIRE HYDRANT	RWP	WASTE VENT PIPE
IV	ISOLATION VALVE	WVP	RAINWATER PIPE
WMT	WATER METER	SVP	SOIL VENT PIPE
GMT	GAS METER	VP	VENT PIPE
WM	RISING WATER MAIN	C	GULLY
GM	RISING GAS MAIN	RG	ROAD GULLY
GT	GREASE TRAP	OTG	OPEN TOP GULLY
CBP	CABLE PIT	STG	SEALED TOP GULLY
CP	CATCHPIT	BIG	BACK INLET GULLY
MH	MANHOLE	C.I.	CAST IRON
WHB	WASH HAND BASIN	Cu	COPPER
SK	SINK	V.C.	VITRIFIED CLAY
WC	WATER CLOSET	UPVC	UNPLASTICISED POLYVINYL CHLORIDE
UR	URINAL	PF	PITCH FIBRE
RE	RODDING EYE	F.A.	FROM ABOVE
RED.	REDUNDANT	T.A.	TO ABOVE
H/L	HIGH LEVEL	F.B.	FROM BELOW
M/L	MID LEVEL	T.B.	TO BELOW
L/L	LOW LEVEL		

REV.	DATE	DESCRIPTION	BY	APP.

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CLIENT:  
**HEYNE TILLET STEEL  
 4 PEAR TREE COURT  
 LONDON  
 EC1R 0DS**

PROJECT:  
**HIGH HOLBORN ESTATE  
 LONDON**  
 TITLE:  
**RECORD OF TRACING, MAPPING AND  
 CCTV SURVEY OF DRAINAGE.  
 GROUND LEVEL SHEET 2**

DRAWN: <b>SWW</b>	DATE: <b>FEB 11</b>	SCALE: <b>NTS</b>
CHECKED: <b>DWH</b>	APPROVED: <b>DWH</b>	
CLIENT DRG. No:	CAD O.A.:	PLOT SIZE:
MICROFILM REF:	SHEET:	DRG. No: <b>PH04</b>

# Appendix C

SWMP Extracts and Flood Maps

## Flood map for planning

Your reference	Location (easting/northing)	Created
1508	530856/181649	20 Jun 2018 2:03

**Your selected location is in flood zone 1, an area with a low probability of flooding.**

### This means:

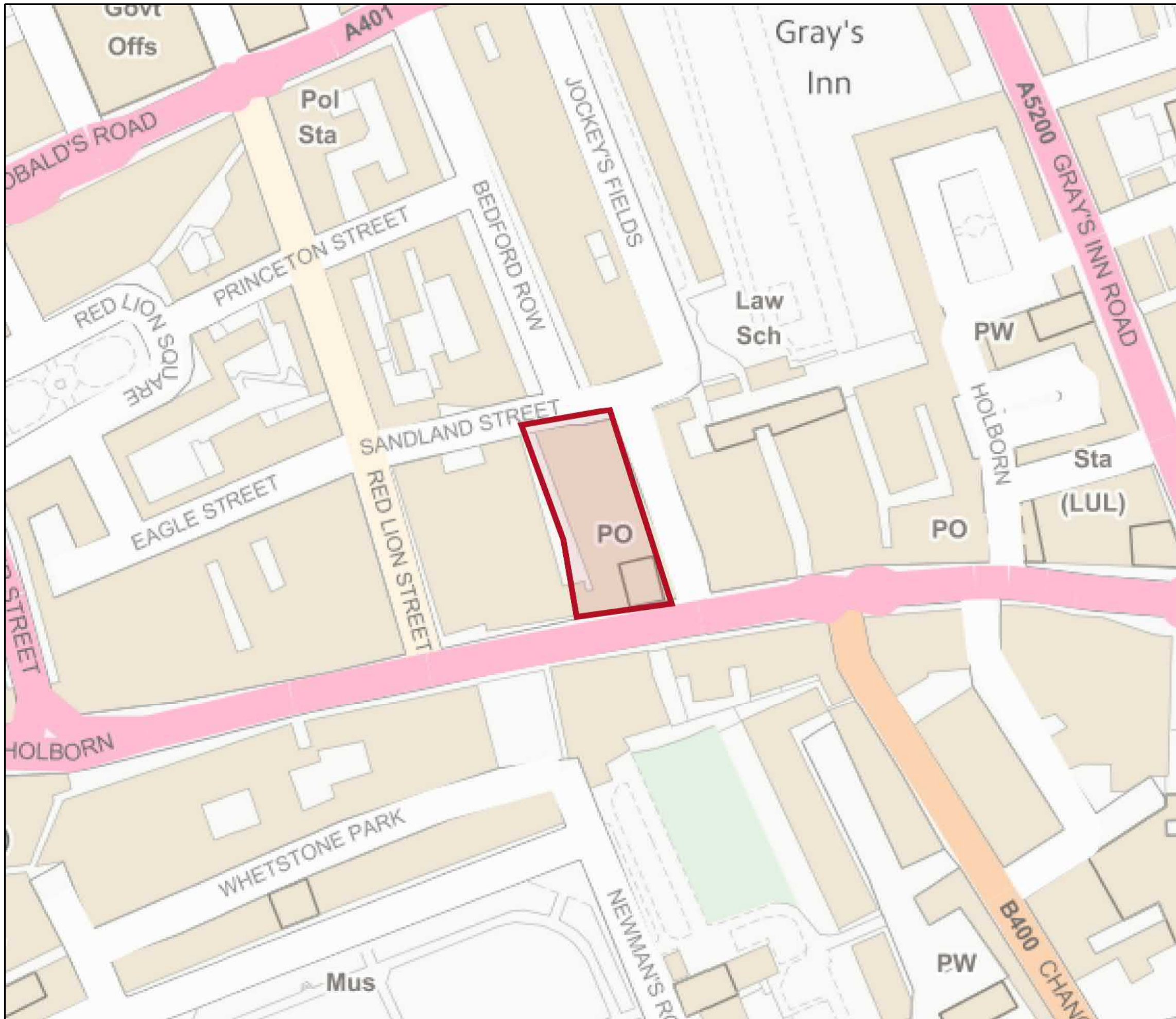
- you don't need to do a flood risk assessment if your development is smaller than 1 hectare and not affected by other sources of flooding
- you may need to do a flood risk assessment if your development is larger than 1 hectare or affected by other sources of flooding or in an area with critical drainage problems

### Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

The Open Government Licence sets out the terms and conditions for using government data.  
<https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>



**Flood map for planning**

Your reference

**1508**

Location (easting/northing)








**530856/181649**

Scale

**1:2500**

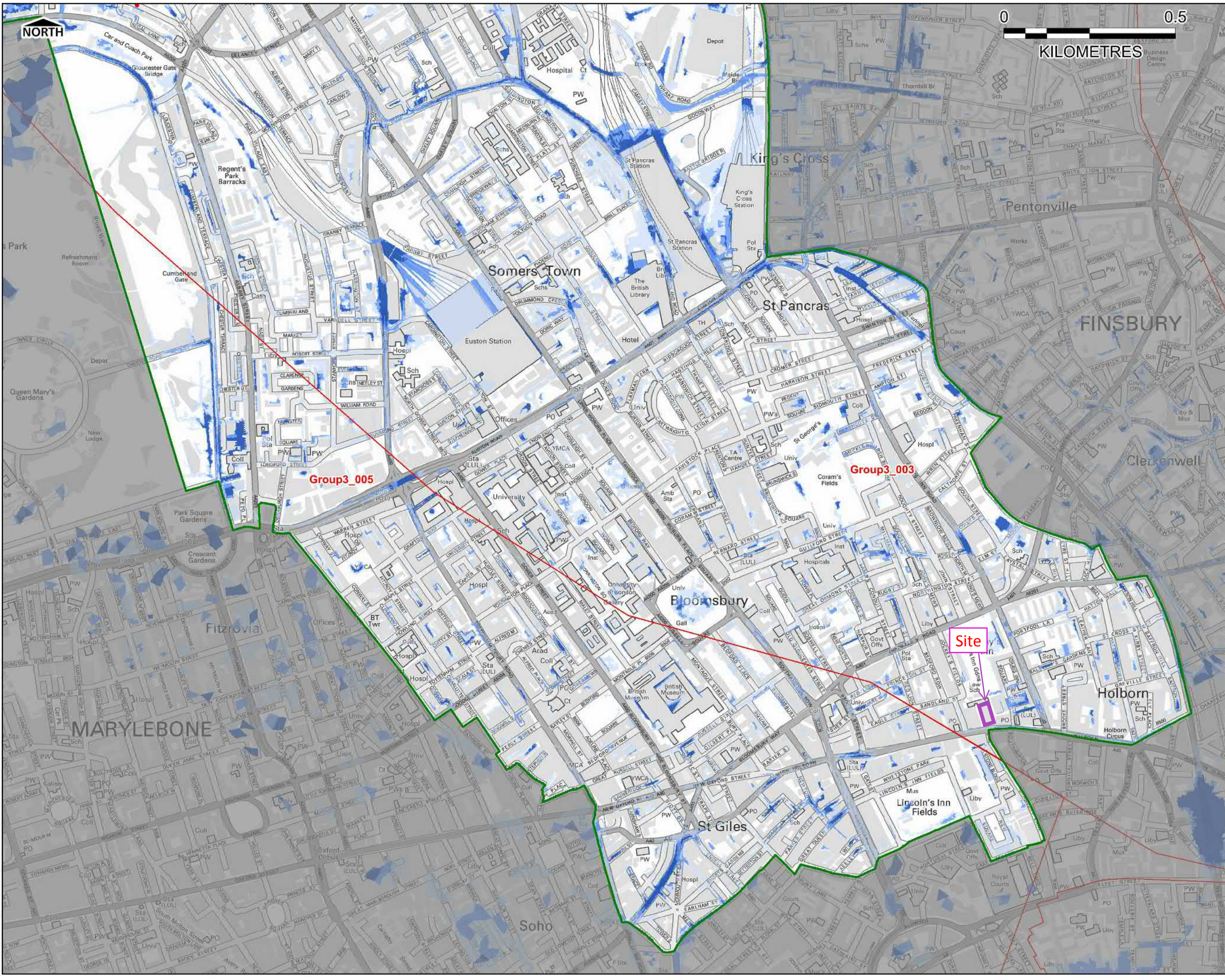
Created

**20 Jun 2018 2:03**

-  Selected area
-  Flood zone 3
-  Flood zone 3: areas benefitting from flood defences
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Flood storage area







THIS DRAWING IS TO BE USED ONLY FOR THE PURPOSE OF ISSUE THAT IT WAS ISSUED FOR AND IS SUBJECT TO AMENDMENT

**LEGEND**

- London Borough Camden Boundary
  - Critical Drainage Area
- Risk of Flooding from Surface Water**
- High (1 in 30 year)
  - Medium (1 in 100 year)
  - Low (1 in 1000 year)
  - Very Low (<1 in 1000 year)

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Revision Details	By	Check	Suffix

Purpose of Issue: **FINAL**

Client: **Camden**

Project Title: **LONDON BOROUGH OF CAMDEN STRATEGIC FLOOD RISK ASSESSMENT**

Drawing Title: **Updated Flood Maps for Surface Water Flooding (uFMSW)**

Drawn	Checked	Approved	Date
CB	JS	MT	03/07/2014

URS Internal Project No. **47070547**      Scale at A3: **1:15,000**

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Drawing Number: **FIGURE 3 i**      Rev: **Rev 1**

N:\Water\Current Projects\47070547 Camden SFRA Update (ghos)\07005 GIS\_Data\01-WIP\01\_03-Project\_Files\WORS