



254 Kilburn High Road

Residential Development

Planning Application for Conversion of the top floor into residential units

Design & Access Statement

AUGUST 2018
JOB REF: 3144

GH+MRP
ARCHITECTS

1 Introduction

This Design & Access Statement accompanies an application for the conversion of the top floor into residential units to the permitted scheme at 254 Kilburn High Road NW6, within the London Borough of Camden. The amendments sought are:

- creation of 6no. residential units within the permitted 6th floor level
- elevation amendments
- cycle parking

The site is 0.2027 Hectares and set to the north east of Kilburn High Road.

The permitted scheme provides a high quality commercial and residential development with a mixture of both affordable and market housing, as well as 3 commercial units at ground floor level. The proposals will take advantage of both the excellent transport infrastructure and local amenity, which support high density housing.

Planning consent was gained for the development of 60 units in December 2016, ref. 2015/2775/P.

A non-material amendment was obtained for a revised internal arrangement of the 60 flats in August 2017, ref. 2017/2768/P.

A subsequent minor material amendment application to amend the roofline of the building to add an additional floor to accommodate plant rooms was approved under ref. 2017/4669/P in September 2018.

The proposed scheme seeks permission for the conversion of the top floor into residential units.



2 Previous Consented Scheme - ref. 2017/4669/P

The most recent consented scheme ref. 2017/4669/P was for minor material alterations to the previously consented 2016 scheme.

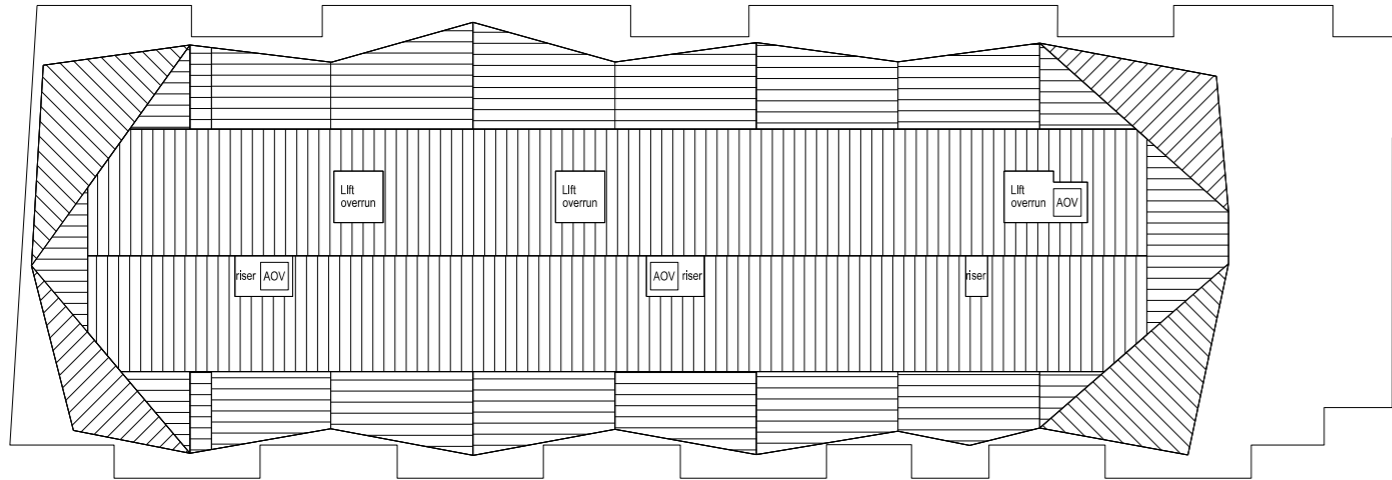
These included the following changes:

- addition of a new 6th floor plant room space within the roof line
- minor changes to elevations and windows
- increased cycle storage capability to 94 spaces + 6 visitor spaces.

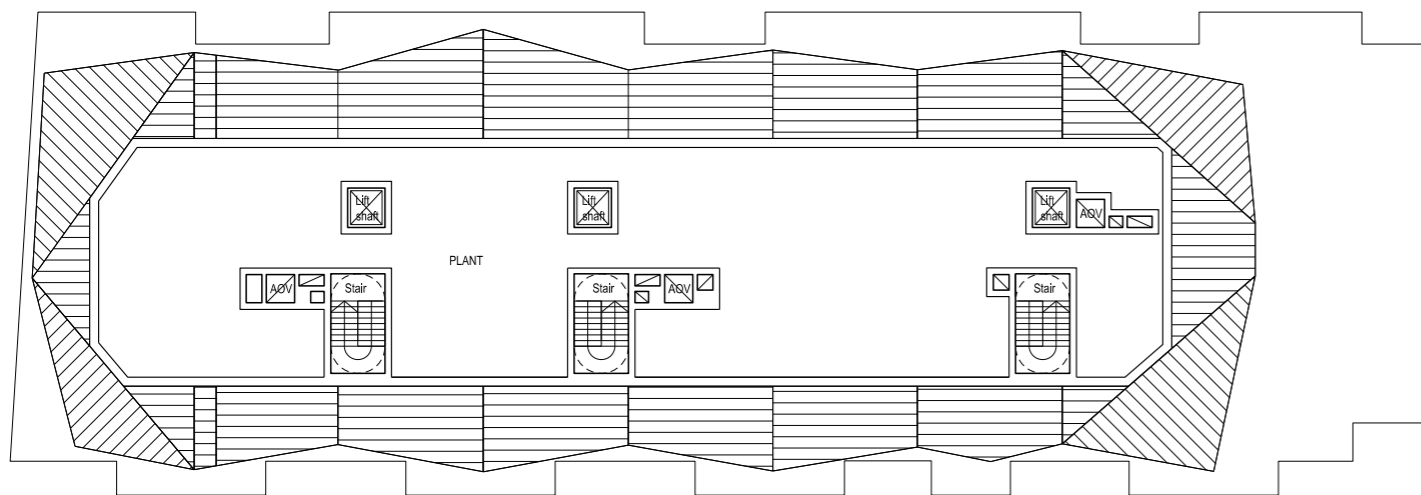
The scheme included a 6th floor plant room accommodating services, plant and lift overruns, sitting within the height and footprint in the proposed massing.

Having further assessed the space at level 06 and its suitability for accommodating the plant and services, the consultant team has observed the following:

- excessive weight of the plant on the structure i.e. over 10 ton when filled with water
- difficult access for installation of plant and maintenance in the future
- plant replacement has a high risk of damage when transporting to 6th floor rather than ground floor. If passenger lifts are to be used, these will exert more pressure on the lifts causing maintenance issues in the future.
- proposed thermal stores are 3m in height to achieve the thermal transmittance through the stores so roof may need to be raised to achieve full head room.
- gas to the plant room will need to run through or on the outside of the building from ground floor to roof. This will be a large 4 inch pipe, which will be visible if placed on the outside of the building. If it is internal, it will require fully venting to atmosphere and would put the building at a high risk ie gas in high rise buildings.
- plant room will require external ventilation so louvres will be required
- if something was to leak or catastrophically fail, then any volume of water would put the apartments below at risk of damage.



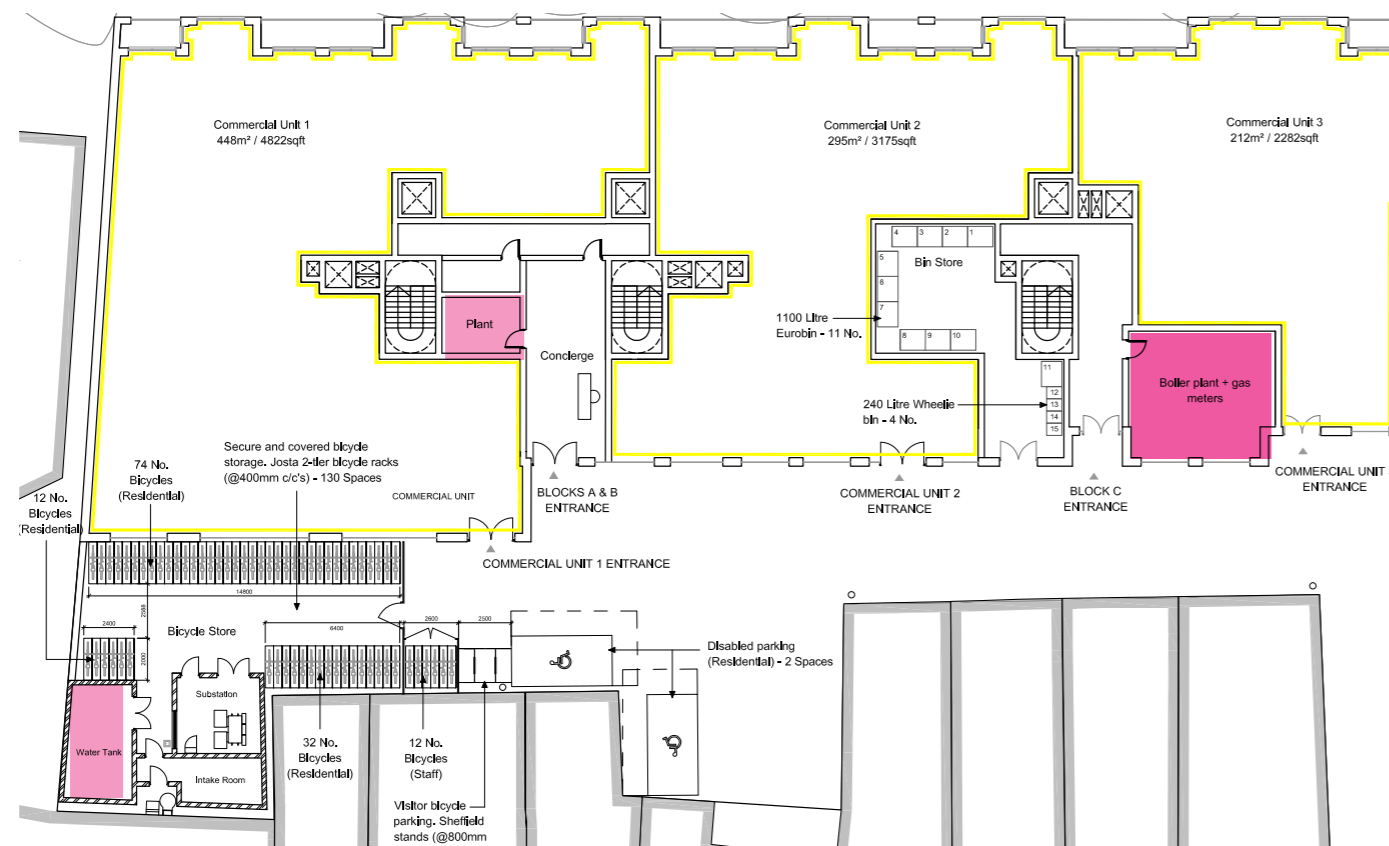
Roof Plan - 2017/4669/P



6th Floor Plant Room - 2017/4669/P



Previous consented elevations - 2017/4669/P



Revised Ground Floor plant locations

Such observations prompted the design team to re-assess the location of plant and services across the development. This exercise concluded that locating plant at ground floor level would be far more advantageous and would have the following improvements and benefits to the scheme:

- improved access for maintenance
- plant replacement can occur at grade
- all maintenance and replacements can be segregated from residents and members of the public
- reducing the interaction with residential spaces allows for better management of risk, leading to improved safety.

After careful consideration of the points arising from the above assessment, we propose to accommodate the plant and services at ground floor level in two locations - part within the footprint of the building and also in the separate freestanding building located in the courtyard space, which also houses the new substation necessary to power the development.

Please refer to Walker Mower energy strategy appended to this application.

LEGEND

- Proposed additional plant space
- Consented plant space to be retained

3 Architectural Proposals - Current Scheme

3.1 Design Proposal

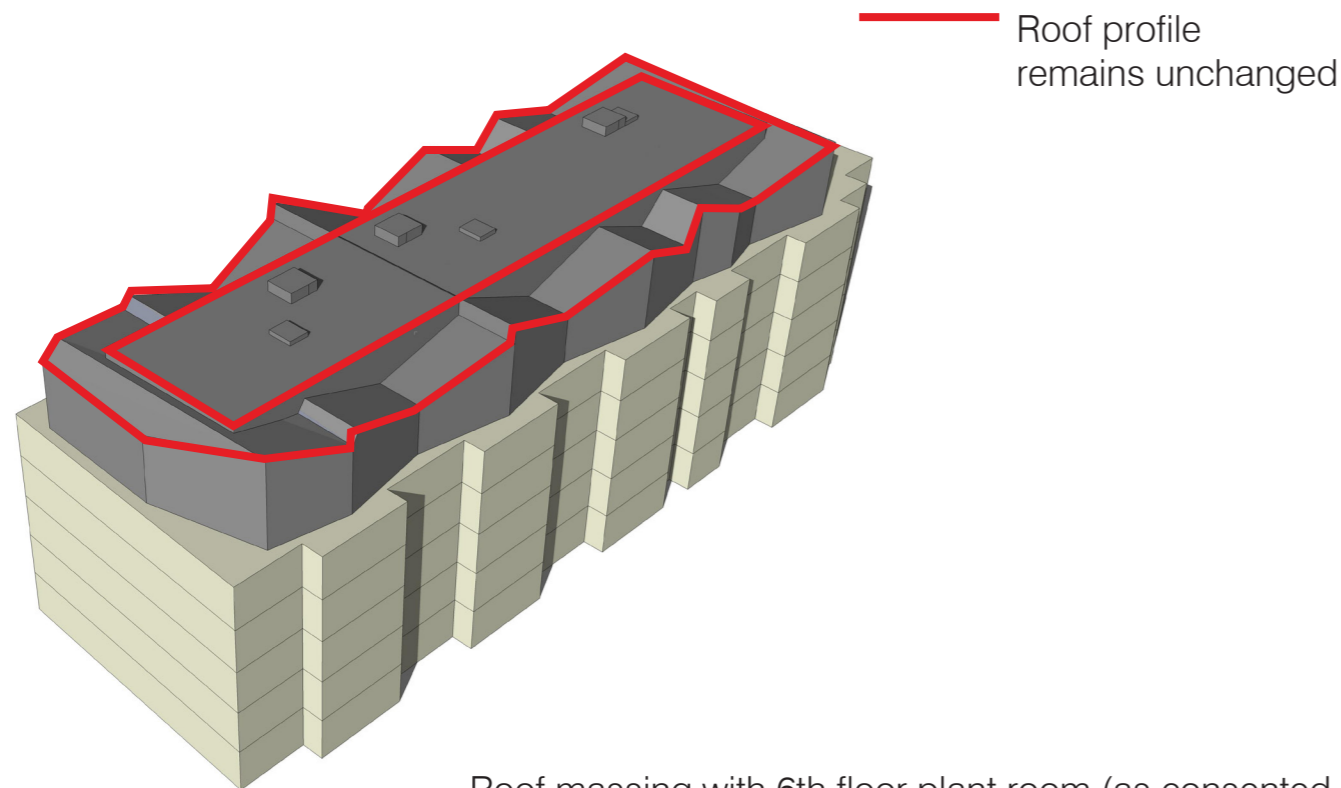
This planning application does not propose any alteration to the site layout and the building footprint is unchanged from the consented scheme. Access to the site from Kilburn High Road remains as permitted via the existing driveway/passage.

The proposed scheme includes the conversion of the 6th floor to provide residential units within the height and elevations of the latest consented scheme. This is achieved behind and within the approved elevation heights. The 6 no. new apartments take the space of the previously consented plant room without any changes to the footprint or height of the approved 6th floor addition. This roof level plant room is now redundant as described in Chapter 2 of this Design and Access Statement. The only difference being the new roof terraces which are behind the main facades and are not seen from ground level or in long views to the site.

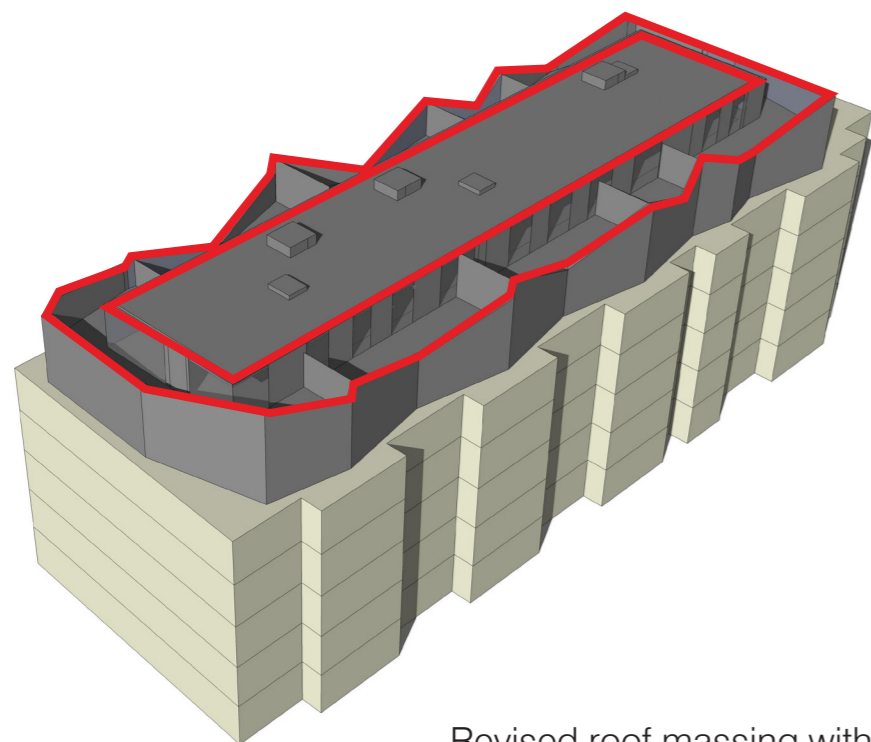
The overall appearance will be unchanged from the previous scheme ref. 2017/4669/P except for the addition of windows to the recessed 6th floor box at high level within the roof volume. The silhouette and profile of the main building on the skyline will be unchanged. The metal roof areas surrounding the previously consented plant room volume are lowered and “carved” out to become roof terraces providing generous amenity space for the 6 additional flats. Privacy screens will separate each flats terrace area.

The form of the new 6th floor accommodation therefore reads as a zinc clad ‘box’ set behind the sloping zinc facades at 5th floor level - as previously permitted.

The new layout with 6 no. apartments is accessed from all 3 lift cores with lifts extended up to 6th floor to provide access.



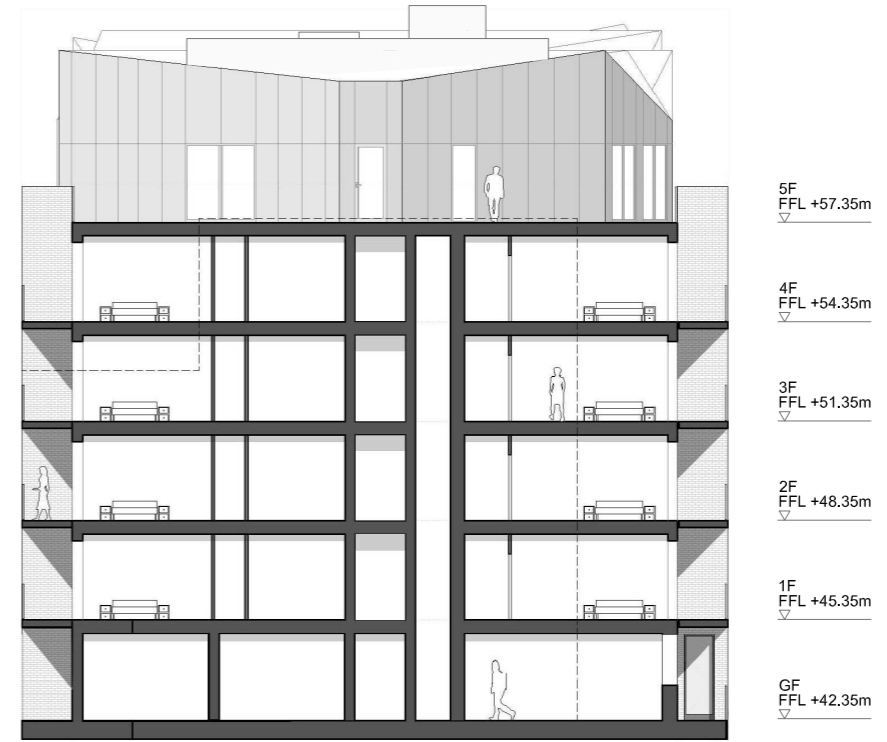
Roof massing with 6th floor plant room (as consented 2017/4669/P)



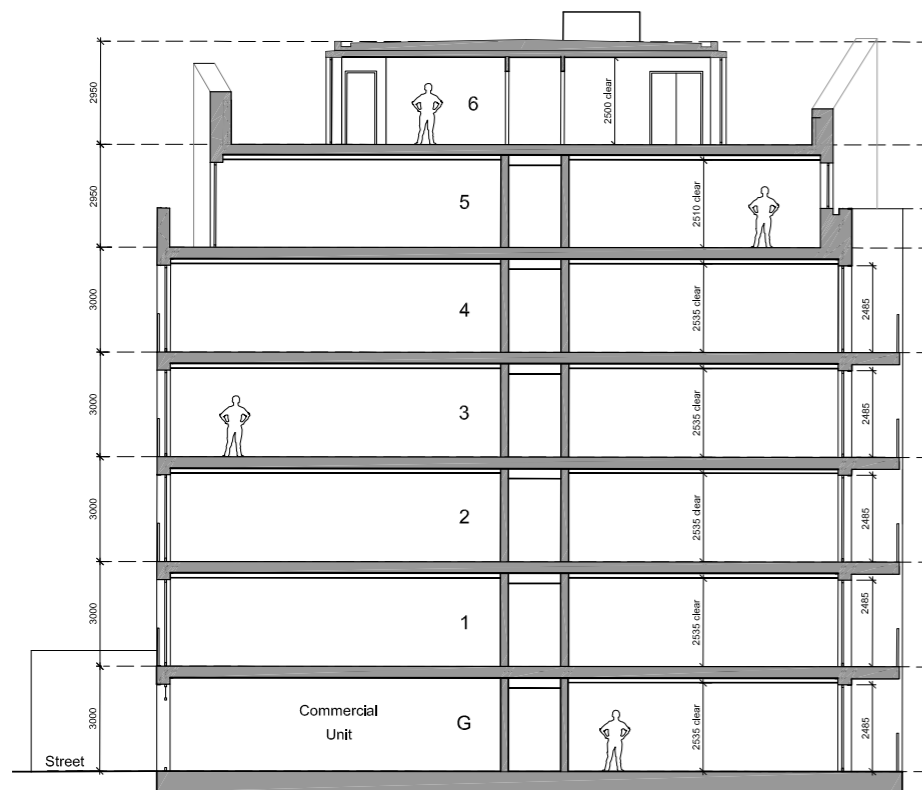
Revised roof massing with 6th floor apartments and terraces



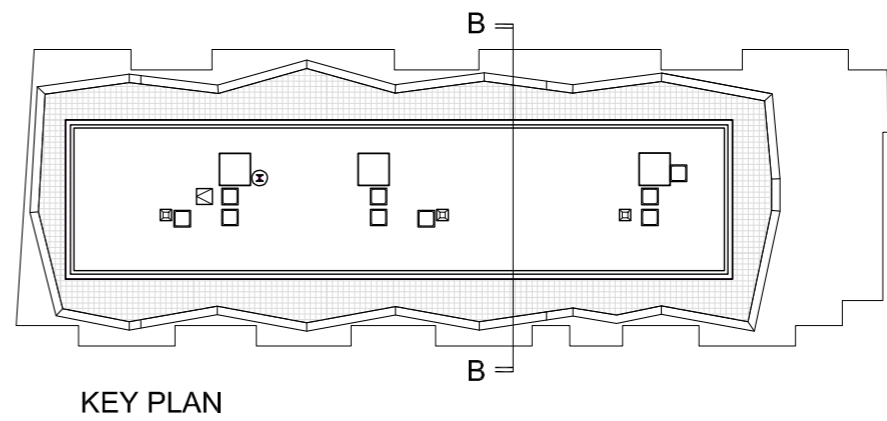
Consented scheme 2016 - ref 2015/2775/P



MMA Consented scheme - ref 2017/4669/P



Current proposed scheme



Comparative building sections

3.2 Flat Layouts and Mix

The resulting scheme includes the accommodation as the attached table and retains the approved planning mix of units on 1st - 5th floors, being 45 private flats/15 affordable flats (comprising 14 x 1 beds, 27 x 2 beds and 19 x 3 beds), plus an additional 6 flats at 6th floor level - 4x1 beds, 1x2 bed and 1x3 bed.

The new mix provides a total of 66 flats comprising 18 x 1 beds, 28 x 2 beds and 20 x 3 beds.

Non Material Amendment to Planning Consent Scheme - ref. 2017/2768/P

	Market				Affordable				
	1B	2B	3B	TOTAL	1B	2B	3B	TOTAL	
First	2	3	3	8	-	2	2	4	12
Second	3	4	2	9	-	2	2	4	13
Third	3	5	2	10	2	2	-	4	14
Fourth	1	5	3	9	2	1	-	3	12
Fifth	1	3	5	9	-	-	-	-	9
	10	20	15	45	4	7	4	15	60

Commercial space: Unit 1 - 478 m2
Unit 2 - 305 m2
Unit 3 - 172 m2
955 m2

Planning Consent Scheme - ref. 2015/2775/P

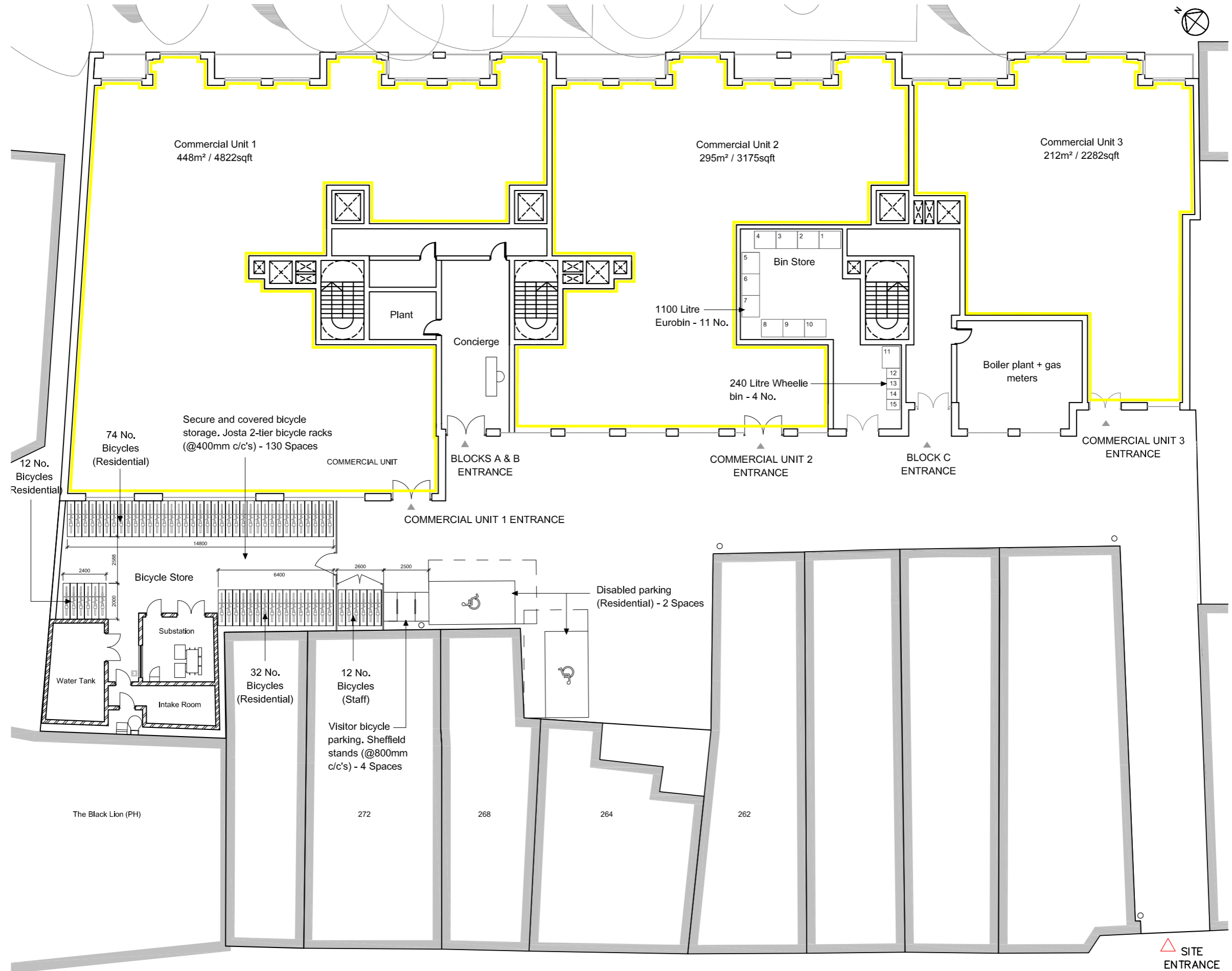
	Market				Affordable				
	1B	2B	3B	TOTAL	1B	2B	3B	TOTAL	
First	1	2	4	7	-	2	2	4	11
Second	2	3	3	8	-	2	2	4	12
Third	2	3	4	9	2	2	-	4	13
Fourth	2	4	4	10	2	1	-	3	13
Fifth	3	8	-	11	-	-	-	-	11
	10	20	15	45	4	7	4	15	60

Commercial space: Unit 1 - 479 m2
Unit 2 - 306 m2
Unit 3 - 173 m2
958 m2

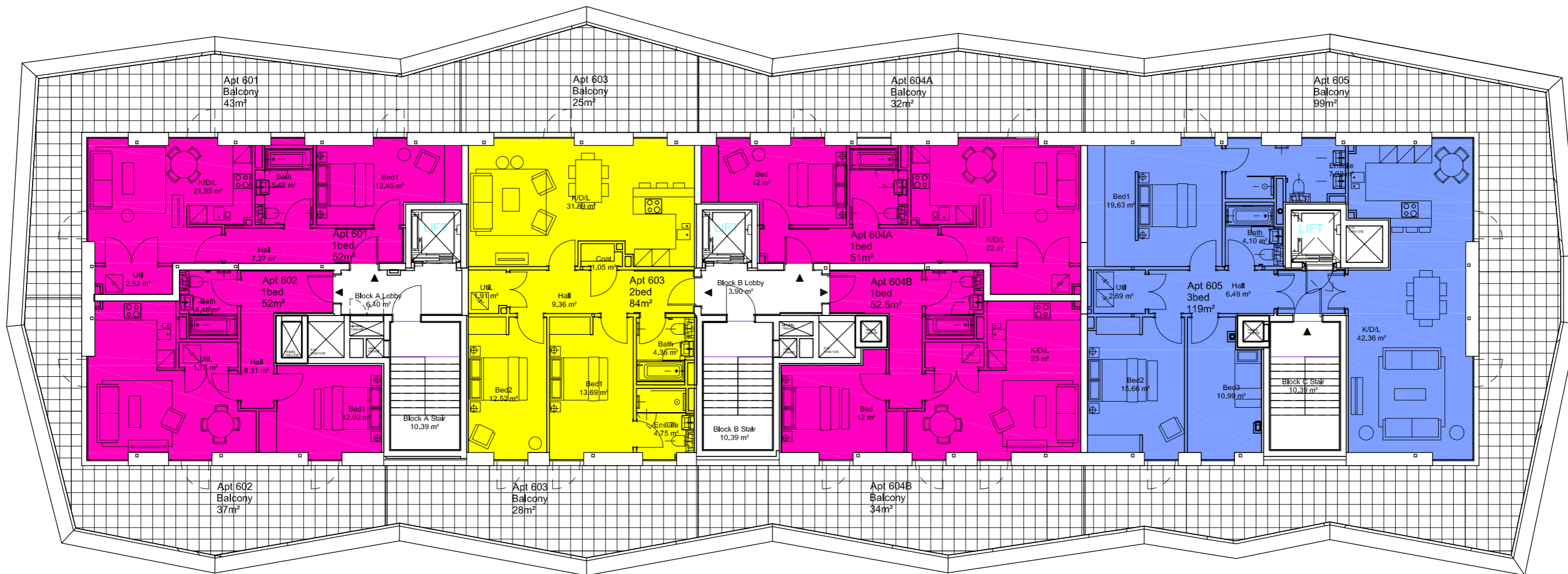
Proposed Scheme with 6th Floor

	Market					Affordable				
	Studio	1B	2B	3B	TOTAL	1B	2B	3B	TOTAL	
First	-	2	3	3	8	-	2	2	4	12
Second	-	3	4	2	9	-	2	2	4	13
Third	-	3	5	2	10	2	2	-	4	14
Fourth	-	1	5	3	9	2	1	-	3	12
Fifth	-	1	3	5	9	-	-	-	-	9
Sixth	-	4	1	1	6	-	-	-	-	6
	-	14	21	16	51	4	7	4	15	66

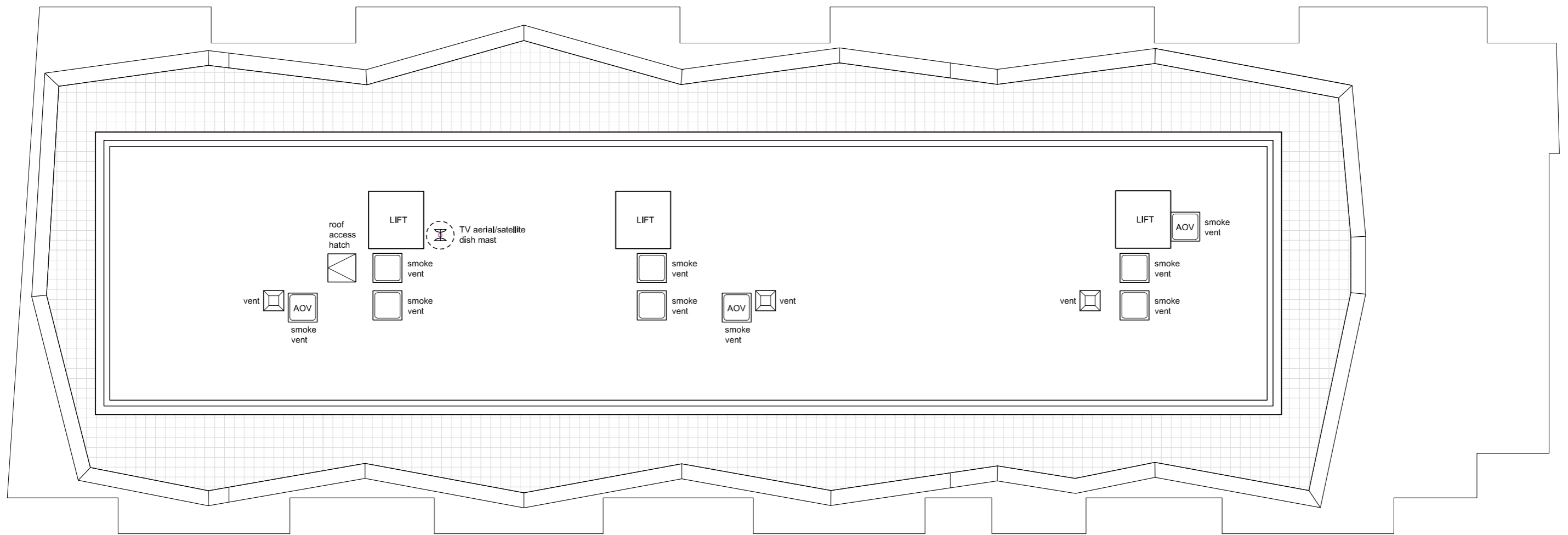
Commercial space: Unit 1 - 448 m2
Unit 2 - 295 m2
Unit 3 - 212 m2
955 m2



Revised Ground Floor Plan



Revised 6th Floor Plan



Revised Roof Plan