
Planning Statement

27 John's Mews WC1N 2NS





Contents

1.	Introduction	1
2.	Site Context	2
3.	Planning History & Pre-application Discussions	4
4.	Proposed Scheme	6
5.	Planning Policy Context	7
6.	Planning Considerations	8
7.	Conclusion	14

1. Introduction

1.1. We have been instructed by the owners of 27 John's Mews, Mr & Mrs B. O'Toole, to submit a planning application for the following development:

"Amendment to the planning permission ref: 2016/4582/P granted permission in April 2017 for the demolition of the existing mews dwellinghouse and erection of new dwellinghouse behind retained façade, comprising the addition of a basement floor".

1.2. This application seeks to extend the approved dwellinghouse in order to create additional residential floorspace and to improve the functionality of the property as a family home.

1.3. This Planning Statement should be read in conjunction with the following documents:

- Construction Drawings prepared by Ross and Partners;
- Basement Impact Assessment prepared by Ross and Partners;
- Proposed drawings prepared by Ed Yuen Architecture and Interiors;
- Previously approved drawings prepared by Scenario Architects;
- Decision notice issues by the London Borough of Camden.

1.4. The remainder of this Statement is as follows:

- **Section 2** outlines the site and its context within the surrounding area;
- **Section 3** provides an overview of the planning history and the pre-application;
- **Section 4** describes the proposal;
- **Section 5** sets out the planning policy framework;
- **Section 6** examines the main planning considerations;
- **Section 7** draws our conclusions in respect of the proposal

2. Site Context

- 2.1. The site is located on the eastern side of John's Mews at its southern end (John's Mews intersects with Northington Street creating two distinct sections; north and south).

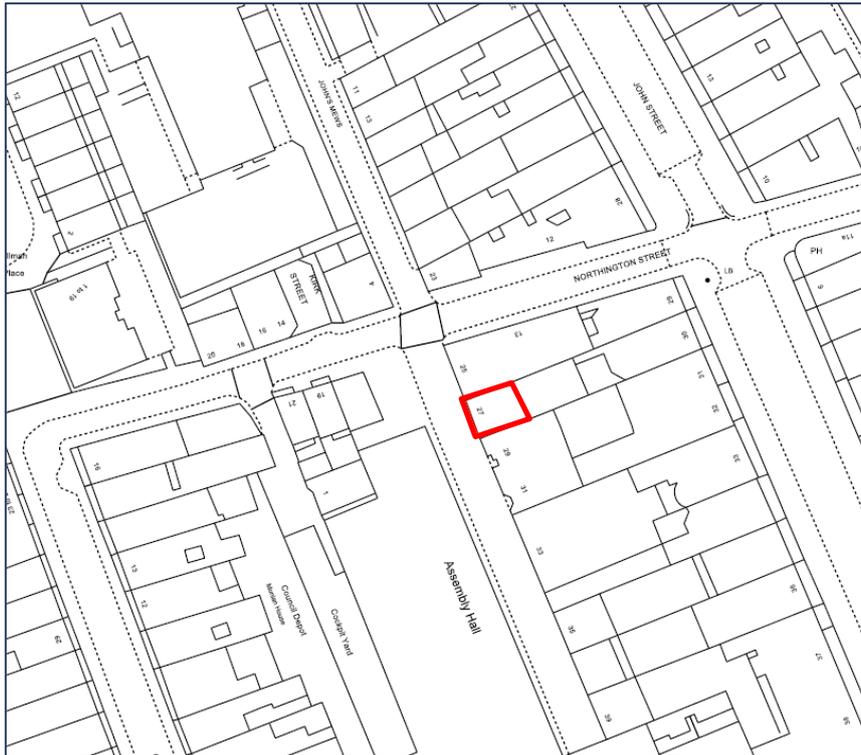


Fig. 1 – Site location outlined in red

- 2.2. Both sections of the mews are varied in character. A large modern three storey building runs along much of the western side of the mews at the southern end which steps down to two storeys at its most southerly point. This building comprises the Assembly Hall which was constructed in the 1930s.
- 2.3. The eastern side of the mews at the southern end is more varied with a run of three two storey mews style properties at the very southern end. Nos. 29-31 John's Mews, immediately adjacent to the site, comprises a three storey building with a double mansard, the flank wall of which is prominent in views of the application site.
- 2.4. The application site itself, comprises a 20th century reconstruction of an original mews property that has been heavily altered. The most significant alteration is the provision of an additional floor which is clearly visible in street views of the property. The existing building comprises a storage area and utility room on the ground floor, three bedrooms on the first floor and a living room and kitchen on the second floor. Due to the layout of the existing building, the quality of the accommodation is compromised.

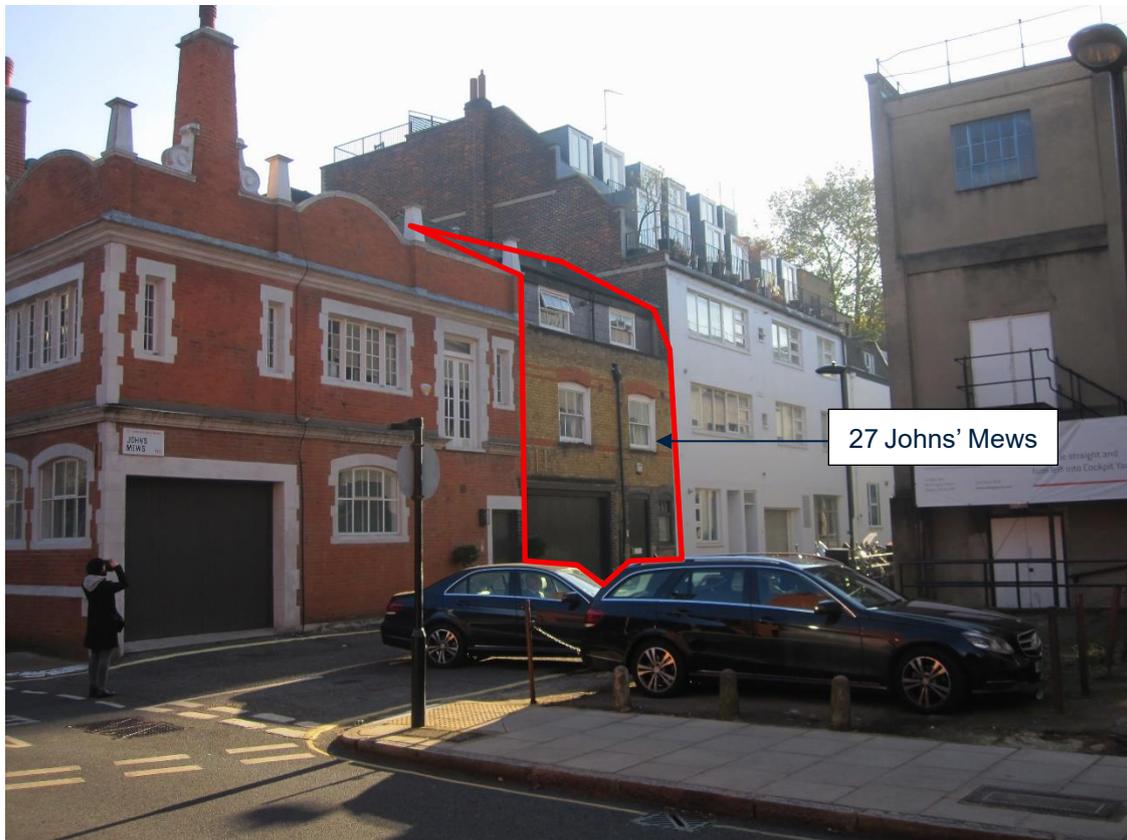


Fig. 2 – View from Northington Street south to John's Mews

- 2.5. Adjacent to the application site is a Grade II listed building, No. 13 Northington Street / 25 John's Mews; an ornate two storey building which was constructed as brewery stables in 1903.
- 2.6. In the northern section of the mews, there is a primary school which runs the whole length of the western side of the street. The eastern side of the street comprises a mix of mews style properties and more modern buildings of a larger scale. The use of the buildings within the mews also varies with a mix of residential and employment, whilst the Assembly rooms is a social enterprise and business incubator for crafts people.
- 2.7. The site is located within a designated viewing corridor from Primrose Hill to St Paul's Cathedral in the Central London Area.
- 2.8. The site is located within the Bloomsbury Conservation Area, within Sub Area 10. Within the conservation area appraisal the building is documented as making a positive contribution to the character and appearance of the conservation area along with all the properties in the southern arm of John's Mews. There are a number of listed buildings adjacent to the site, the most relevant are No. 13 Northington Street / 25 John's Mews and a row of Georgian terraces on the western side of John Street, in particular No. 30 which backs onto the site.

3. Planning History & Pre-application Discussions

3.1. Following a review of the Council's planning records the relevant planning history for the site is listed below:

Planning Reference	Description	Determination Date
9501043	Erection of a roof extension in connection with the use of the building as a single family dwelling house as shown on drawing numbers 379/10, 11, 12 and 13.	Granted October 1995
2016/4582/P	Demolition of the existing mews dwellinghouse and erection of new dwellinghouse behind retained façade	Granted April 2017

3.2. In 2016 the applicant undertook pre-application discussions with the Council regarding the total demolition of the existing building and its replacement with a new building providing a larger, better quality residential unit. The Council advised that due to the building making a positive contribution to the conservation area the existing façade should be retained. Following receipt of the pre-application response from Camden Council, a full application was submitted.

3.3. Permission was granted in April 2017 for the complete rearrangement and rebuilding of the interior and rear façade whilst the front façade would be protected and retained. Existing fenestration would be replaced by double glazing in the same design, material, colour and proportions.

Planning Statement

27 John's Mews WC1N 2NS



Fig. 3 – Approved front and rear façade (2016/4582/P)

4. Proposed Scheme

- 4.1. The proposals comprise the addition of a single storey basement floor to the approved scheme granted in April 2017.
- 4.2. The proposed basement will comprise ancillary residential floorspace such as a wine cellar, home cinema, and home gym. These rooms do not comprise habitable rooms in respect of the BRE guidance.
- 4.3. The basement will be accessed from an internal staircase and will not have a separate access from street level. The new dwelling at No. 27 Johns Mews (granted permission under ref: 2016/4582/P) comprises the entire site with no external amenity space. For this reason there will be no external manifestations of the basement due to the constraints of the site. The floors above will mostly remain as approved under the 2017 application but have been included for completeness, with some slight internal changes arising from moving the internal staircase.

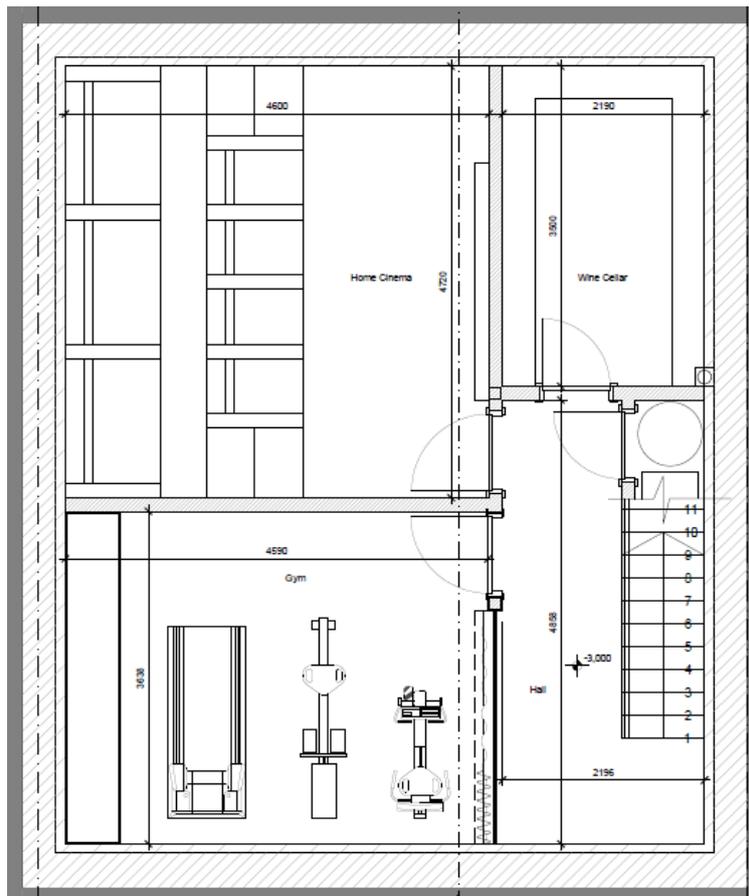


Fig. 4 – Proposed basement plan. The upper floors have been permitted under permission 2016/4582/P

5. Planning Policy Context

- 5.1. This section outlines the relevant national and local planning and listed building policies against which the proposals are considered.

National Planning Policy Framework

- 5.2. The National Planning Policy Framework sets out the Government's planning policies for England and how they should be applied. Paragraph 10 confirms that at the heart of the National Planning Policy Framework (NPPF) is a presumption in favour of sustainable development and should be pursued in a positive way by Local Authorities.
- 5.3. The revised NPPF maintains the presumption in favour of sustainable development (paragraph 11) which is defined in paragraph 8 as incorporating the same economic, social and environmental elements. The document recognises the overwhelming need to accommodate and accelerate housing development and make more effective use of land.
- 5.4. With regard to decision-taking, the NPPF advises that local planning authorities should approach decision-taking in a positive and creative way using the full range of planning tools available and should continue to look for solutions rather than problems. Decision-takers at every level should seek to approve applications for sustainable development where possible (paragraph 38).

Local and Regional Policy

- 5.5. In accordance with Section 38 (6) of the Planning and Compulsory Purchase Act 2004, applications should be determined in accordance with the policies within the Development Plan unless material considerations indicate otherwise.
- 5.6. In this case the development plan comprises:
- The London Plan (Consolidated with Alterations since 2011, adopted March 2016)
 - Camden Local Plan (2017)
- 5.7. The London Borough of Camden also have a number of supporting planning documents which have been considered as part of this application:
- Camden Planning Guidance : Basements
 - Bloomsbury Conservation Area appraisal

6. Planning Considerations

6.1. This section assesses the main planning considerations in respect of the proposed additional basement in relation to planning policy guidance, under the following headings.

- i. Principle of basement development;
- ii. Impact on Conservation Area;
- iii. Impact on residential amenity;
- iv. Flooding and Drainage

6.2. As the above ground development remains as approved and benefits from a planning permission that this extant until 24th April 2020, this statement does not consider that part of the scheme.

i. Subterranean Development

6.3. It is proposed to extend the approved 2017 scheme to accommodate a single storey basement beneath the footprint of the approved building. The proposed basement will comprise ancillary residential floorspace such as a home cinema, home gym, wine cellar and ancillary storage. The proposals contained in this planning application have been assessed against the requirements contained in Policy A5, as well as the Basements SPD (March 2018). In accordance with Camden policy a BIA has been prepared by Ross & Partners.

6.4. Policy A5 requires a basement to be designed to meet the following criteria:

a) *Not cause harm to neighbouring properties;*

6.5. A Basement Impact Assessment has been prepared to accompany this application to ensure the proposal will not impact the surrounding area and properties. All precautions have been taken to ensure that there is minimal impact to neighbouring properties regarding ground movement or flooding.

6.6. The party walls will be underpinned in a traditional hit and miss sequence to ensure they are not undermined by the construction and are founded below the depth of the proposed excavation. The basement will be constructed in a way that will ensure that stability of the ground is maintained at all times.

6.7. In order to prevent excessive noise resulting from the construction of the basement and dwelling at No. 27 the BS 5228-1:2009 – Code of practice for noise and vibration control on construction sites –part 1 will be followed. This includes such measures controlling the noise at the source by using effective acoustic screens or barriers and ensuring regular maintenance of plant.

6.8. The following measures will be implemented:

- Restricted working hours to reduce impact.

- The contractor will only use the most environmentally acceptable and quietly operating plant and equipment compatible with the safe and efficient execution of the works.
- Items of plant operating on site will be shut down in intervening periods of use.
- Compressors brought onto site will be sound reduced models.
- All pneumatic tools will be fitted with silencers or mufflers.
- Where the use of impact hammers is necessary for the ground works, their attachment to larger and heavier excavators can often reduce the level of vibration.
- Care to be taken during the erection of scaffolding to avoid impacts from banging steel.
- Deliveries will be programmed to arrive during working hours only. Care will be taken when unloading vehicles and construction vehicles will be routed on major roads where possible.
- In addition, liaison with the Environmental Health Officer at LB Camden will be maintained throughout the construction period if required.

b) Not cause harm to the structural, ground or water conditions of the area;

- 6.9. The construction methodology will employ traditional methods of underpinning and temporary works props that are designed to maintain stability at all times. A ground movement assessment has been undertaken, in accordance with industry best practice, to address potential movements arising from demolition, underpinning, excavation and the permanent new structure. Both short-term and long-term movements have been analysed. All surrounding properties within the zone of influence have been assessed and the results indicate Burland Damage limits not exceeding Category 1, very slight.
- 6.10. The BIA has identified no potential slope stability impacts as the site and its immediate and wider surrounds are relatively flat and level.
- 6.11. Due to the location of the site there is a negligible risk of ground water flooding. The highest groundwater level at the site is below the proposed basement structural floor level, therefore little or no displacement will take place as a result of the proposed basement. This includes the cumulative effects of surrounding nearby basements. As the entire site is covered by built form there will be no increase or change in surface water drainage and run off that present. There is no space for infiltration drainage. The BIA concludes that there are no impacts to the wider hydrogeological environment. The proposals therefore will not increase flood risk in accordance with Policy CC3 of the Local Plan.

c) Not cause harm to the character and amenity of the area;

- 6.12. There will be no visible manifestations of the basement from public or private views, therefore the proposed basement will not cause harm to the character or amenity of the area.

d) Not cause harm to the architectural character of the building; and

6.13. The 2017 application granted permission for the demolition of the building with façade retention in order to preserve the positive contribution of the building to the conservation area. The façade will still be retained as permitted and the BIA explains how the façade will be retained during the excavation of the basement. The building will be built out as approved in 2017, albeit with a single storey basement extension. Therefore we consider that the architectural character of the building will be preserved.

e) *The significance of heritage assets;*

6.14. There will be no external manifestations of the basement. On this basis we consider that the proposed scheme will preserve the character and appearance of the conservation area and complies with this part of policy A5.

f) *Not comprise more than one storey;*

6.15. The proposed basement will be single storey only with a floor to ceiling height that complies with regulations.

g) *Not be built under an existing basement;*

6.16. The property does not have an existing basement, therefore this part of the policy does not apply to the site.

h) *Not exceed 50% of each garden within the property;*

6.17. The property does not benefit from any external amenity space or garden area, therefore this part of policy A5 is not applicable to the application proposal.

i) *Be less than 1.5 times the footprint of the host building in area*

6.18. Within the justification for policy A5 it is considered that "*a basement development that does not extend beyond the footprint of the original building and is no deeper than one full storey below ground level is often the most appropriate way to extend a building below ground*". The proposed basement will be built under the footprint of the building and comprises a single storey. Due to the size of the site and the constraints it will not extend any further, on this basis we consider the proposals comply with this part of policy A5.

j) *Extend into the garden no further than 50% of the depth of the host building measured from the principal rear elevation;*

6.19. The property does not benefit from any external amenity space or garden area, therefore this part of policy A5 is not applicable to the application proposal.

k) *Not extend into or underneath the garden further than 50% of the depth of the garden;*

6.20. The property does not benefit from any external amenity space or garden area, therefore this part of policy A5 is not applicable to the application proposal.

l) *Be set back from neighbouring property boundaries where it extends beyond the footprint of the host building; and*

6.21. The basement does not extend beyond the footprint of the host building, and therefore this part of the policy does not apply.

m) Avoid the loss of garden space or trees of townscape or amenity value.

6.22. The existing site does not benefit from any garden space, and the basement will be constructed directly under the footprint of the building, therefore there will be no loss of garden space or trees.

ii. Impact on the Conservation Area

6.23. The property is not listed, however it is located within the Bloomsbury Conservation Area. Consideration has therefore been made to Policy D2 which requires '*development to preserve or, where possible, enhances the character or appearance of the area.*'

6.24. The proposed alterations relate primarily to the interior of the building. Due to the composition of the site there will be no external manifestations of the basement visible from public or private views. The approved 2017 scheme will retain the façade of the existing building in order to maintain the positive contribution to the conservation area. It is not proposed to alter any of the 2017 approval but rather add a basement storey to the scheme to provide additional accommodation.

6.25. It is therefore contended that the proposed design, size and siting of the proposed basement will not cause any harm to the Conservation Area and is in compliance with Policy D2.

iii. Residential Amenity

6.26. The proposed basement will not give rise to any overlooking or loss of privacy to neighbouring residents. As shown on the proposed drawings, the basement will provide additional residential space for the family dwelling to be used as a family cinema room / home gym rather than the main habitable space, which is provided in the above ground part of the building.

6.27. Policy A1 seeks to protect the quality of life of occupiers and neighbours and ensure that the existing standards of amenity are protected. The proposed basement will not contribute to any sense of enclosure to existing buildings, neighbouring gardens or amenity spaces as there will be no above ground manifestations. Nor will the enjoyment of the use of buildings, outdoor spaces and gardens be adversely impacted by this development.

6.28. Best Practicable Means as defined in section 72 of the Control of Pollution Act 1974 will be employed to minimise noise and vibration during construction. Furthermore, the guidance provided within BS 5228-1:2009 – Code of practice for noise and vibration control on construction sites –part 1 will be followed. Such measures control the noise at source by using effective acoustic screens or barriers and ensuring regular maintenance of plant. No air handling or AC units are proposed as part of this planning application and no assessment has therefore been undertaken in relation to air conditioning units.

6.29. On this basis, the proposed scheme is considered to be in full compliance with policy A1 and part q of Policy A5 and will have no adverse impacts on neighbouring residential amenity.

iv. Trees

6.30. As noted above there are no trees adjacent to the site. The proposed development will not therefore cause damage or lead to the loss of trees.

v. Flooding and Drainage

6.31. The site is in a Flood Zone 1 and therefore has a low probability of flooding. It is not located within a Critical Drainage Area therefore a specific Flood Risk Assessment is not required. Flooding, Drainage and Groundwater is however addressed within the submitted Basement Impact Assessment, prepared by Ross & Partners. Policy CC3 of the Local plan requires development to not increase flood risk.

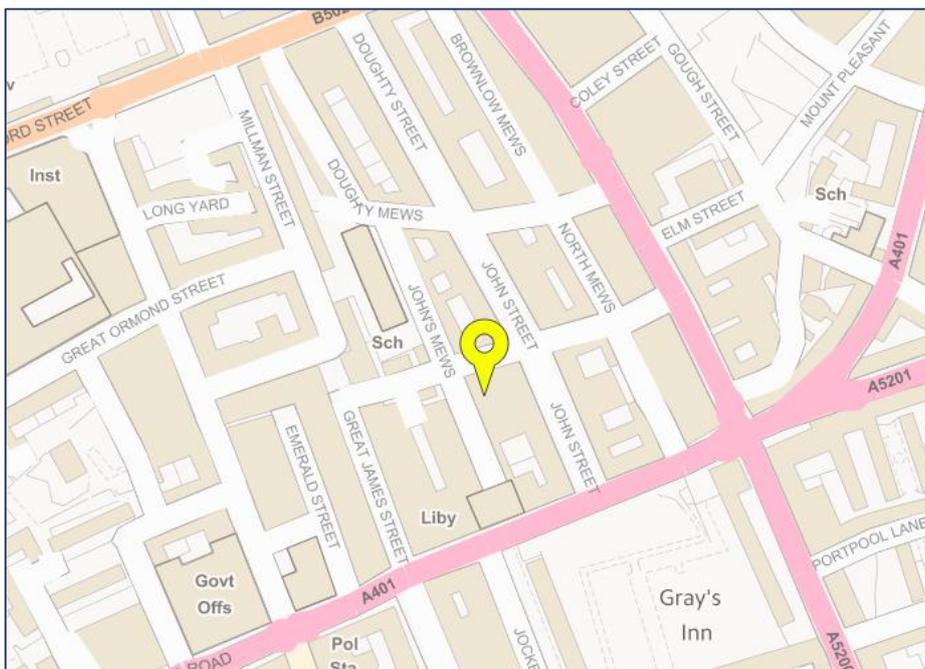


Figure 5 – Flood risk map, Environmental Protection Agency

- 6.32. The property has been identified within the BIA to be within an aquifer. The results of the ground investigation works showed that excavations for the proposed development could potentially extend into the water table such that temporary dewatering might be required during construction of the basement. The seepage however was noted to be gradual. Localised dewatering of pits may be necessary during construction. This would be in the form of localised sump pumps within each small excavation. As this is a localised activity over a short duration, there will not be a large-scale migration of fine particles and lowering of the water table. This is a common underpinning activity and it is reasoned it will not lead to damage of adjoining properties and infrastructure.
- 6.33. The BIA has concluded there is a negligible risk of ground water flooding. The highest recorded groundwater level at the site is below the proposed basement structural floor level. Little or no displacement of groundwater will take place due to this new basement and there will be little or no rise in groundwater level. The BIA also concluded that there would be negligible risk of surface water / sewer flooding or on the wider hydrological environment.

7. Conclusion

- 7.1. In conclusion, the proposed basement has been designed in accordance with the Council's adopted policy A5 and the Basements SPD.
- 7.2. There are no proposed external manifestations of the basement therefore the building will continue to preserve the character and appearance of the Conservation Area and the host property. Neighbouring residents' amenities will be preserved and the proposed development provides acceptable accommodation for existing and future occupants.
- 7.3. It has therefore been demonstrated that the proposed development meets the objectives of the development plan and the NPPF and the relevant adopted policies of the London Borough of Camden.

[Simon Wallis]
[Director]

+44 (0) 207 420 6370
+44 (0) 7824 646765
swallis@savills.com

[Liz Shannon]
[Planner]

+44 (0) 207 535 2991
+44 (0) 7989 697442
liz.shannon@savills.com