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DESIGN & ACCESS STATEMENT

for

Single Storey Rear & Infilled Side Extension to Flat 1, 10 Strathray Gardens, NW3 4PA

for

Vincent Folliot and Cindy Folliot



Introduction

We have been instructed by Vincent and Cindy Folliot, the owners and occupiers of Flat 1, 10 Strathray Gardens, to prepare and submit a Planning Application to extend their property.

The property currently fulfils their needs in terms of size and location, however, with a growing family and a desire to increase the living space, and the lack of natural light to the flat it will impact on their enjoyment.

The applicants wish to remain in this house for a further ten years and in order to achieve this they feel the proposed works are necessary.

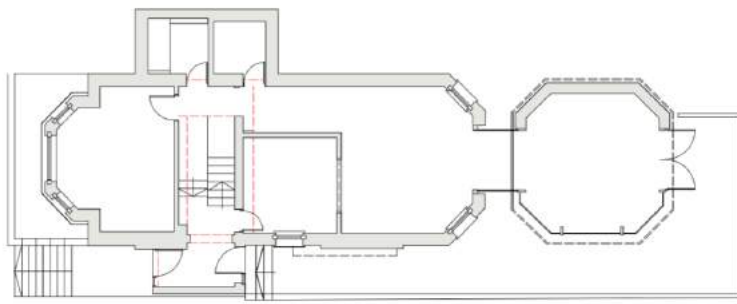
Context

The property is set within Belsize Park Conservation Area and the inset images highlight the property in question.

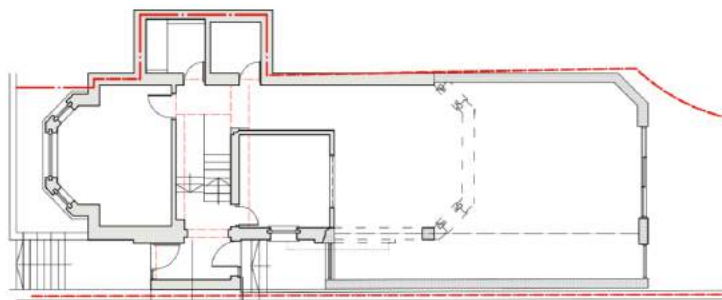
The building is on Strathray Gardens, neighbouring streets are large period mansion houses, typically converted into apartments. Research has revealed that number 10 was built in the 1880s in a mixture of red and buff brickwork, with asymmetric front and rear elevation, it is constructed over four storeys with a front drive providing off-street parking, and a reasonable rear garden subdivided between two flats, which Flat 1 has the benefit of.

Access to Flat 1 is provided by an external staircase descending to its own dedicated entrance, which we understand was added in the 1980s, and consists of two main floors with a third providing a small shower room.

The lower ground floor was extended in 2009 providing a rather unusual part glass and brick structure surmounted by a sedum roof. In preparation for submission of this application we have researched London Borough of Camden's planning archives and found up to five similar applications which provide for side infill and rear extensions, most notably 12 Strathray Gardens, where permission was granted late 2016.



Existing Ground Floor Plan



Proposed Ground Floor Plan

Consultation

We have not consulted with London Borough of Camden Planning Department but the applicants have discussed the application with their immediate neighbours.

Planning Policy

It is noted that 10 Strathray Gardens is not a Listed property but is set within Belsize Park Conservation Area. Accordingly no alterations are to be made to the front elevation but simply within the rear garden.

Policy Supported by the Application - Core Strategy

Camden Policy CS 8 seeks to ensure that the Borough retains a strong economy (paragraph B) is particularly relevant to this proposal as it is a windfall site (creating a far larger family unit) which is located to existing employment centres which will reduce the need for commuting to these employment centres thus supporting the employment centres thus safeguarding their existence.

Camden Policy CS 8.2 notes that 80% of all employees come from outside the Borough. This clearly demonstrates that apart from Camden residents not having all the skills required within the Borough that this figure is so high due to the severe shortfall of housing available to employees within Camden proportionate to the employment placements available. The proposals are in support of the objectives of this policy to bring in greater skills required to Camden by providing family friendly housing close to employment and amenities appropriate for families.

Camden Policy CS 8.4-8.7 clearly states that there will be an increase in demand for offices, although this will be in established areas around transport hubs of Kings Cross, Euston and Holborn. Swiss Cottage tube is a short walk from the site. This clarifies essential links between market demands for offices close to primary transport links. Local transport needs are well catered for and policy 8.4 - 8.7 can be interpreted to.

Planning policy encourages reuse of existing properties and their extension providing this does not encroach on the amenities of neighbouring properties and does not detract from the character of an area. Policy over recent years has focused on efficient reuse of brown filled sites to ensure that these sites are redeveloped efficiently and appropriately to reduce pressure on the green belt.

Part of our brief was to ensure the proposal did not have an adverse effect on adjoining properties and to enhance natural light, accordingly the side infill wall is equal to that of the boundary wall, with an angled roof light, thus improving the natural light without impacting on the adjoining property. The footprint of the extension does not extend beyond the original 2009 extension but makes use of an unused space to the side.

It is believed that by further intensifying the residential use planning policy will support our application due to the additional accommodation created, therefore making effective use of this Brownfield site, which is located within close proximity of public transport links as well as having extensive leisure employment retail commercial possibilities within 10 minutes walk of this property.

Use

We have already touched upon this and I confirm the applicant will maintain this as one residential property with the extension to the side and rear enhancing their lifestyle and maintaining its use as one resident.

Amount

The rear and side extension will increase the ground floor space by 24 square metres

Layout

The proposals do not effect the general layout of the apartment but improve the habitable area by making use of a redundant section of garden and converting this to a much needed family area.



Existing Rear Elevation



Existing Side Elevation



Proposed Rear Elevation



Proposed Side Elevation

Scale

The rear extension will utilise the space set over for the existing 2009 extension and the redundant side space thereby not encroaching any further into the garden, but to the side, and therefore having limited impact on the garden by utilising the garden amenity space more effectively thus increasing the volume of accommodation on this brownfield site in compliance with the aims of NPPF.

The outlook and privacy of the upper flats have been considered by limiting the depth that it encroaches into the rear garden and the introduction of sedum roof above the rear extension creates privacy to the upper floor flats allowing the organic green features to soften their outlook.

These alterations are in policy terms material improvements and will allow an increase of roughly 25 square metres to the overall floor area. The improvement to the amenity of this property not only increases the space standards for this flat; a clear goal for London Planning, but also creates a connection with the garden, which is aimed to provide the applicant with seamless living between the two areas and greatly improved natural light, a fundamental element of sustainable design.

Landscape

The garden is sub-divided between the lower ground floor flats and the applicant is in dialogue with the adjoining flat to discuss the density of the shrubs with the sole purpose in reduction in mass, they are also in dialogue with a local arboriculturist to reduce the height of the trees on the rear boundary, which will be subject to a separate application, but all trees are to be maintained.

Access

This remains unchanged.

Materials

The rear elevation is to be constructed using fair faced brickwork in a flemish bond with crittall style doors and structural glass side panel with roof light.

Conclusion

We believe the remodelling of the rear elevation is in line with Camden Policy and has limited impact on the neighbouring properties and should be supported by Camden Planning Department.