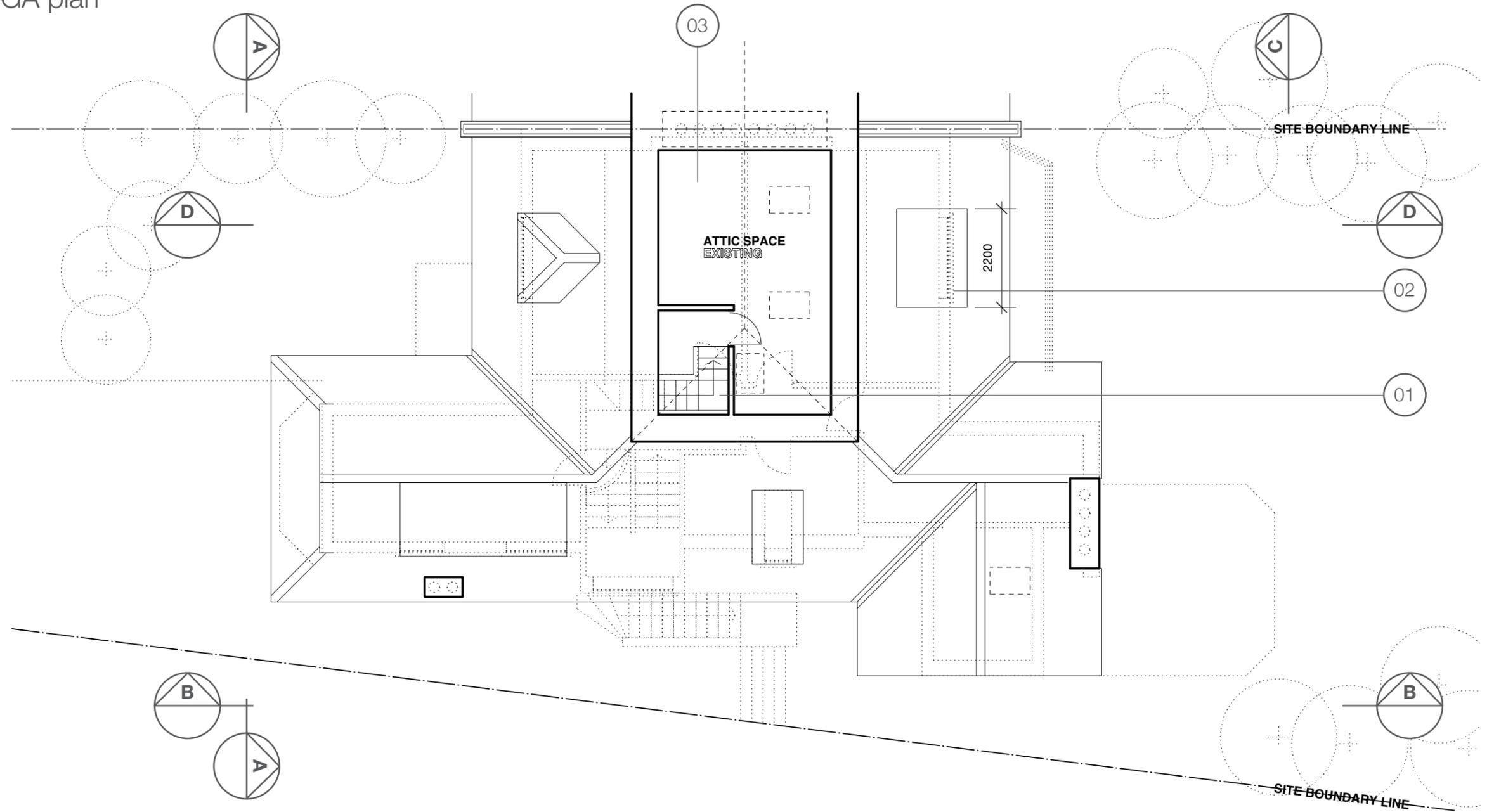


Drawing ref: 103  
Third floor / attic space GA plan  
**Existing**

- 01. Existing stairs up to the third floor attic room
- 02. Existing roof finishes
- 03. Existing third floor / attic space configuration of Flat A



**THIRD FLOOR / ATTIC SPACE - GENERAL ARRANGEMENT PLAN**  
EXISTING



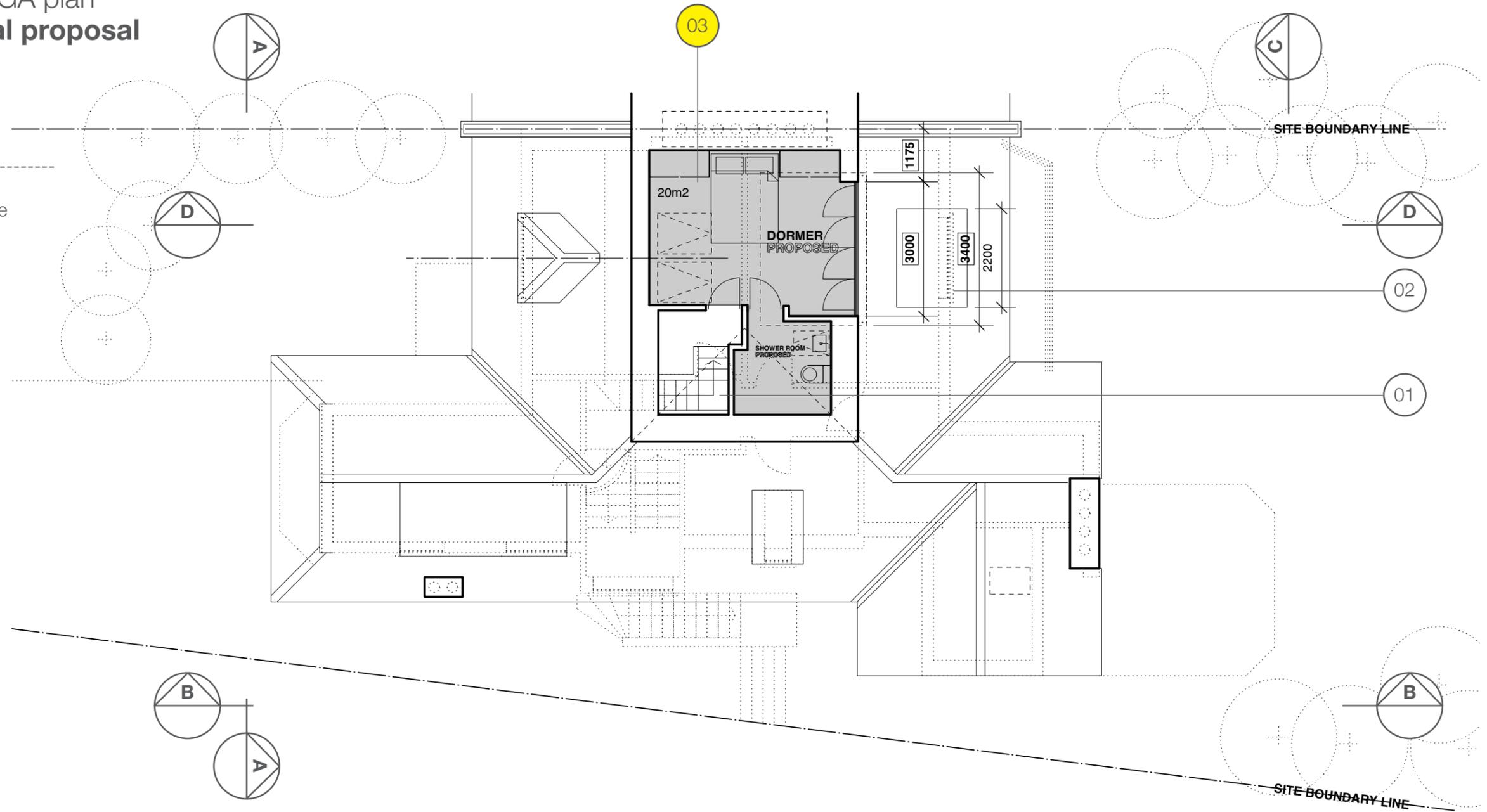
Drawing ref: 104

Third floor / roof space GA plan

**Proposed - As original proposal**

- 01. Existing stairs up to the third floor attic room
- 02. Existing roof finishes

- 03. Proposed third floor / roof space configuration of Flat A



**THIRD FLOOR / ROOF SPACE - GENERAL ARRANGEMENT PLAN**  
PROPOSED



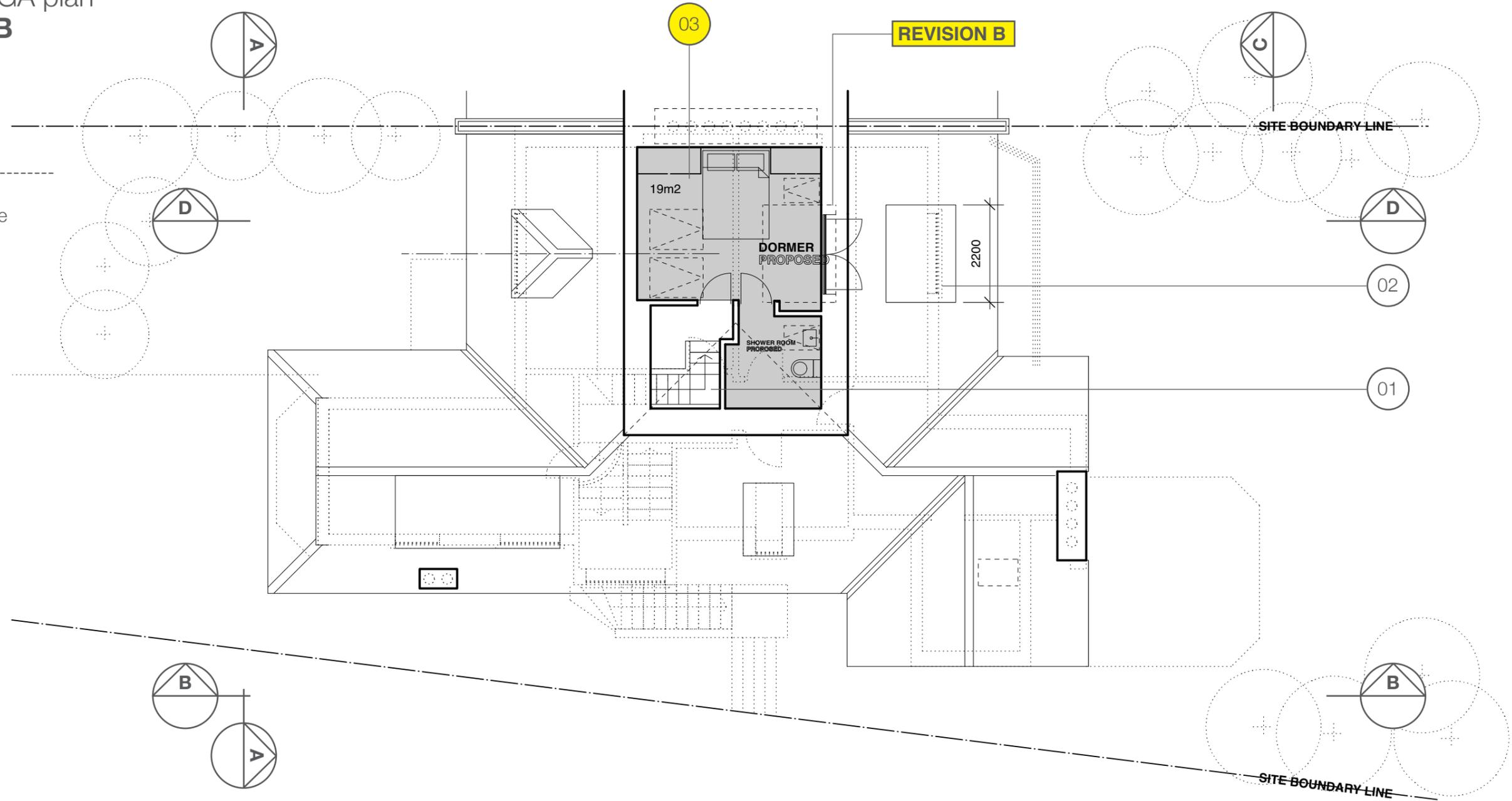
SCALE 1:100 (@A3)

Drawing ref: 104  
 Third floor / roof space GA plan  
**Proposed - Revision B**

- 01. Existing stairs up to the third floor attic room
- 02. Existing roof finishes

- 03. Proposed third floor / roof space configuration of Flat A

**REV B**  
 DORMER REDUCED IN WIDTH TO BE THE SAME AS THE DORMER BELOW.



**THIRD FLOOR / ROOF SPACE - GENERAL ARRANGEMENT PLAN**  
 PROPOSED - REVISION B



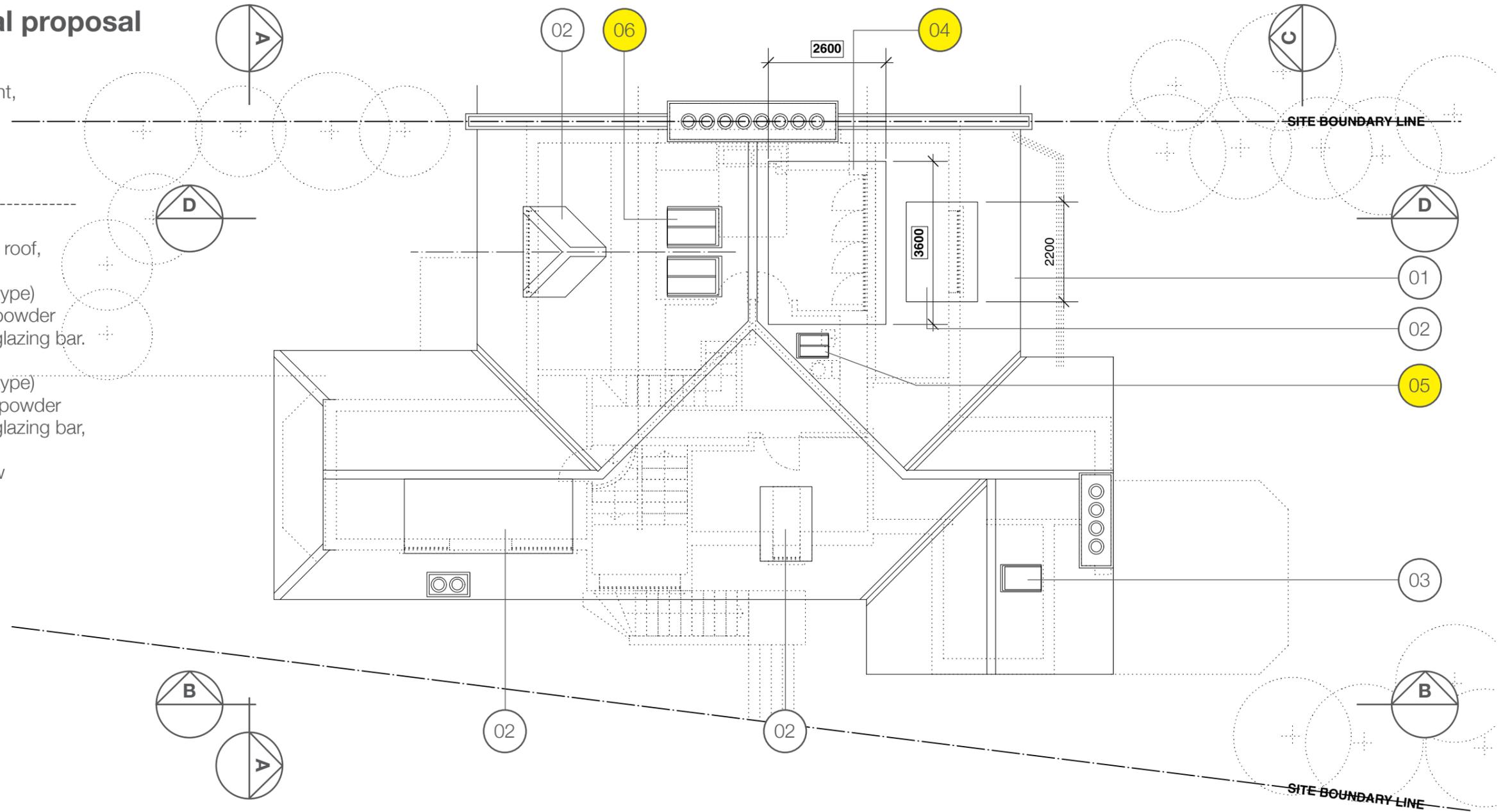


Drawing ref: 106  
Roof finishes / GA plan

**Proposed - As original proposal**

- 01. Existing clay tile roof finishes
- 02. Existing dormer windows to front, rear and side of property at second floor level
- 03. Existing roof windows

- 04. Proposed dormer extension flat roof, with zinc weather proof finish
- 05. Proposed roof windows (Velux type) to rear roof slope, in dark grey powder coated aluminium, with centre glazing bar. Window circa 600 x 900mm
- 06. Proposed roof windows (Velux type) to front roof slope, in dark grey powder coated aluminium, with centre glazing bar, centred over dormer window at second floor level. Each window circa 1200 x 900mm



**ROOF - GENERAL ARRANGEMENT PLAN**  
**PROPOSED**

1 2 3 4 5 10m  
SCALE 1:100 (@A3)

Drawing ref: 106  
 Roof finishes / GA plan  
**Proposed - Revision B**

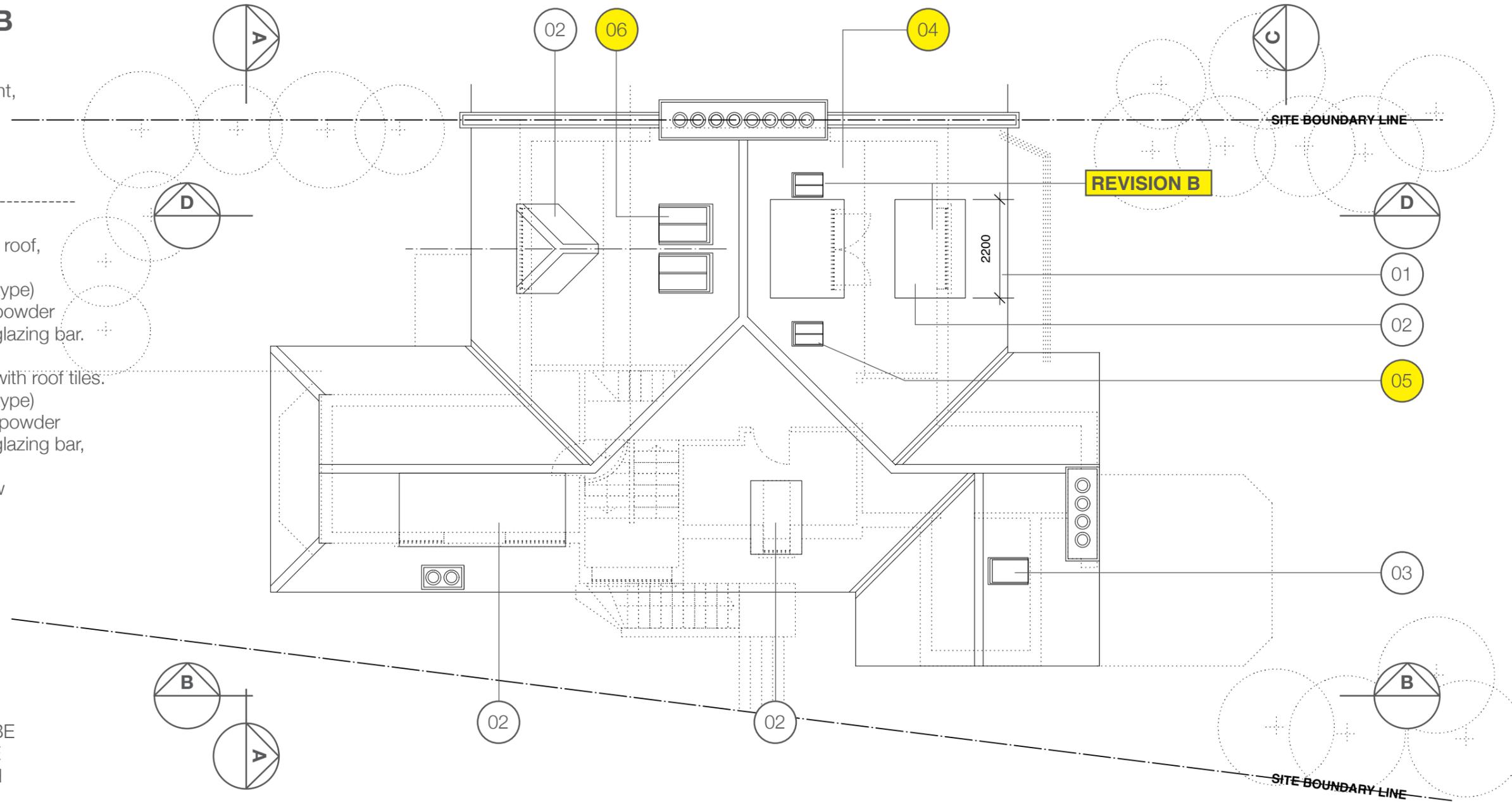
- 01. Existing clay tile roof finishes
- 02. Existing dormer windows to front, rear and side of property at second floor level
- 03. Existing roof windows

- 04. Proposed dormer extension flat roof, with zinc weather proof finish
- 05. Proposed roof windows (Velux type) to rear roof slope, in dark grey powder coated aluminium, with centre glazing bar. Window circa 600 x 900mm  
 Roof windows will be set flush with roof tiles.
- 06. Proposed roof windows (Velux type) to front roof slope, in dark grey powder coated aluminium, with centre glazing bar, centred over dormer window at second floor level. Each window circa 1200 x 900mm

**REV B**  
 DORMER REDUCED IN WIDTH TO BE THE SAME AS THE DORMER BELOW.

ADDITIONAL ROOF WINDOW INSERTED ALONGSIDE DORMER

NOTE: ALL ROOF WINDOWS TO BE 'HERITAGE' TYPE - WITH CENTRE GLAZING BARS AND FLUSH WITH ROOF TILES



**ROOF - GENERAL ARRANGEMENT PLAN**  
 PROPOSED - REVISION B

1 2 3 4 5 10m  
 SCALE 1:100 (@A3)

Drawing ref: 203  
Side elevation BB  
**Existing**

- 01. Existing clay tile roof finishes
- 02. Existing dormer windows to front, and side of property at second floor level
- 03. Existing timber windows to front / side of property
- 04. Existing bricks and tiles to front / side of property
- 05. Existing steps / access from lower ground floor to Flat A
- 06. Existing lower ground floor extension and roof terrace to the lower maisonette



**SIDE ELEVATION BB**  
EXISTING



Drawing ref: 204  
Side elevation BB

**Proposed - As original proposal**

- 01. Existing clay tile roof finishes
- 02. Existing dormer windows to front, and side of property at second floor level
- 03. Existing timber windows to front / side of property
- 04. Existing bricks and tiles to front / side of property
- 05. Existing steps / access from lower ground floor to Flat A
- 06. Existing lower ground floor extension and roof terrace to the lower maisonette

- 07. Proposed roof windows (Velux type) to front and rear roof slopes
- 08. Proposed dormer extension flat roof, with zinc weather proof finish, flanks clad with hung tiles to match roof tiles



**SIDE ELEVATION BB**  
**PROPOSED**

1 2 3 4 5 10m  
**SCALE 1:100 (@A3)**

Drawing ref: 204  
Side elevation BB

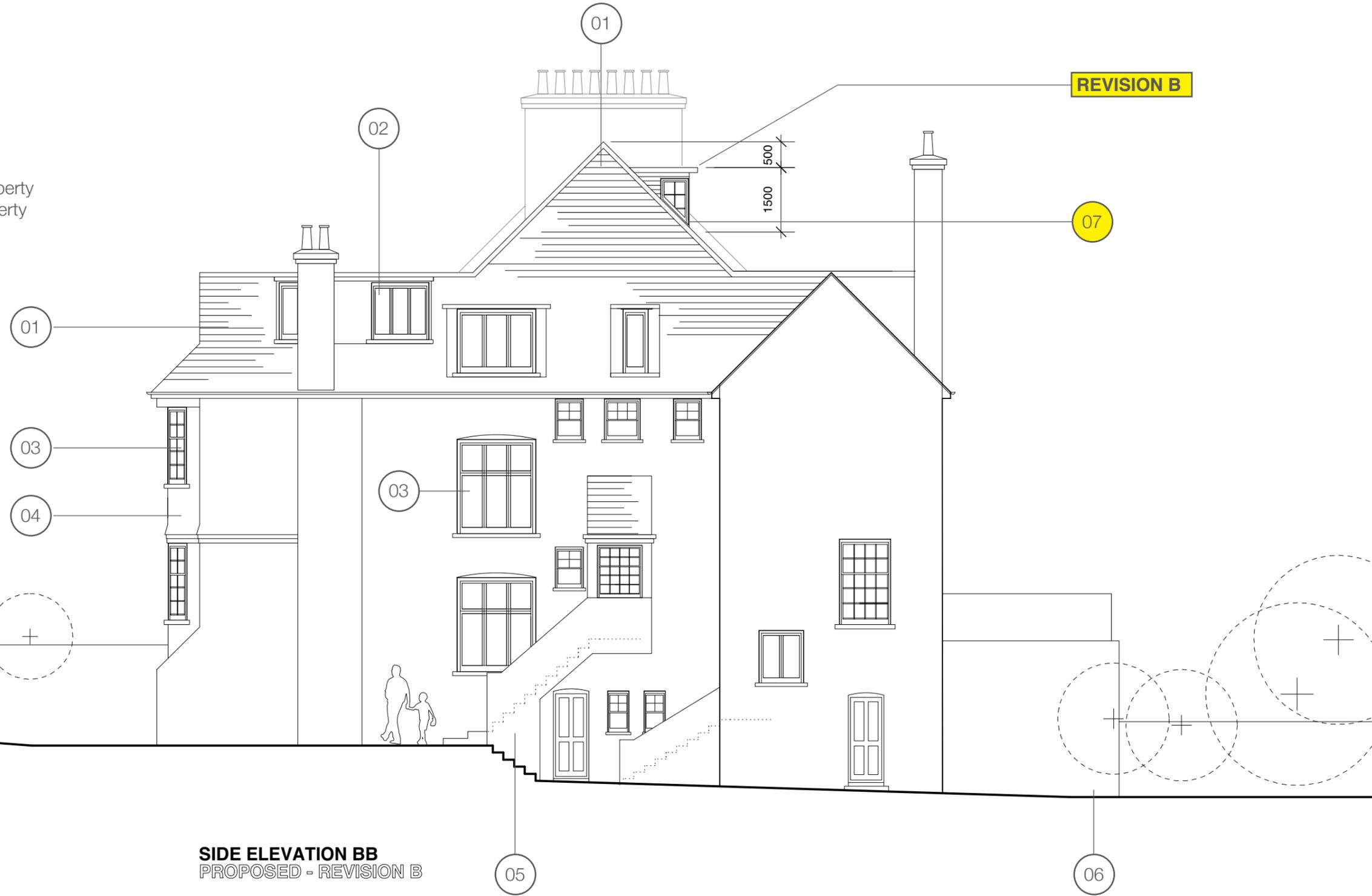
**Proposed - Revision B**

- 01. Existing clay tile roof finishes
- 02. Existing dormer windows to front, and side of property at second floor level
- 03. Existing timber windows to front / side of property
- 04. Existing bricks and tiles to front / side of property
- 05. Existing steps / access from lower ground floor to Flat A
- 06. Existing lower ground floor extension and roof terrace to the lower maisonette

- 07. Proposed dormer extension flat roof, with zinc weather proof finish, flanks clad with hung tiles to match roof tiles, and windows inserted

**REV B**  
DORMER REDUCED IN HEIGHT TO BE 500mm BELOW THE EXISTING ROOF RIDGE LINE

WINDOWS INSERTED TO THE SIDE CHEEKS OF THE DORMER



**SIDE ELEVATION BB**  
PROPOSED - REVISION B



Drawing ref: 205  
Rear elevation CC  
**Existing**

- 01. Existing clay tile roof finishes
- 02. Existing dormer window to rear of property at second floor level
- 03. Existing timber windows and doors to rear of property
- 04. Existing balcony to first floor
- 05. Existing lower ground floor extension and roof terrace to the lower maisonette
- 06. Existing roof windows to rear of property



**REAR ELEVATION CC**  
EXISTING

1 2 3 4 5 10m  
SCALE 1:100 (@A3)

43 HOLLYCROFT AVENUE

41 HOLLYCROFT AVENUE

39 HOLLYCROFT AVENUE

Drawing ref: 206

Rear elevation CC

**Proposed - As original proposal**

- 01. Existing clay tile roof finishes
  - 02. Existing dormer window to rear of property at second floor level
  - 03. Existing timber windows and doors to rear of property
  - 04. Existing balcony to first floor
  - 05. Existing lower ground floor extension and roof terrace to the lower maisonette
- 
- 06. Proposed dormer extension.  
Flat roof, with zinc weather proof finish. Flanks clad with hung tiles to match roof tiles. Timber framed doors, detailed to match doors and windows to the remainder of the property. Guard rail in steel, detailed and finished to match guard rail of the balcony below.
  - 07. Proposed roof window (Velux type) to rear roof slope.



**REAR ELEVATION CC**  
**PROPOSED**



43 HOLLYCROFT AVENUE

41 HOLLYCROFT AVENUE

39 HOLLYCROFT AVENUE

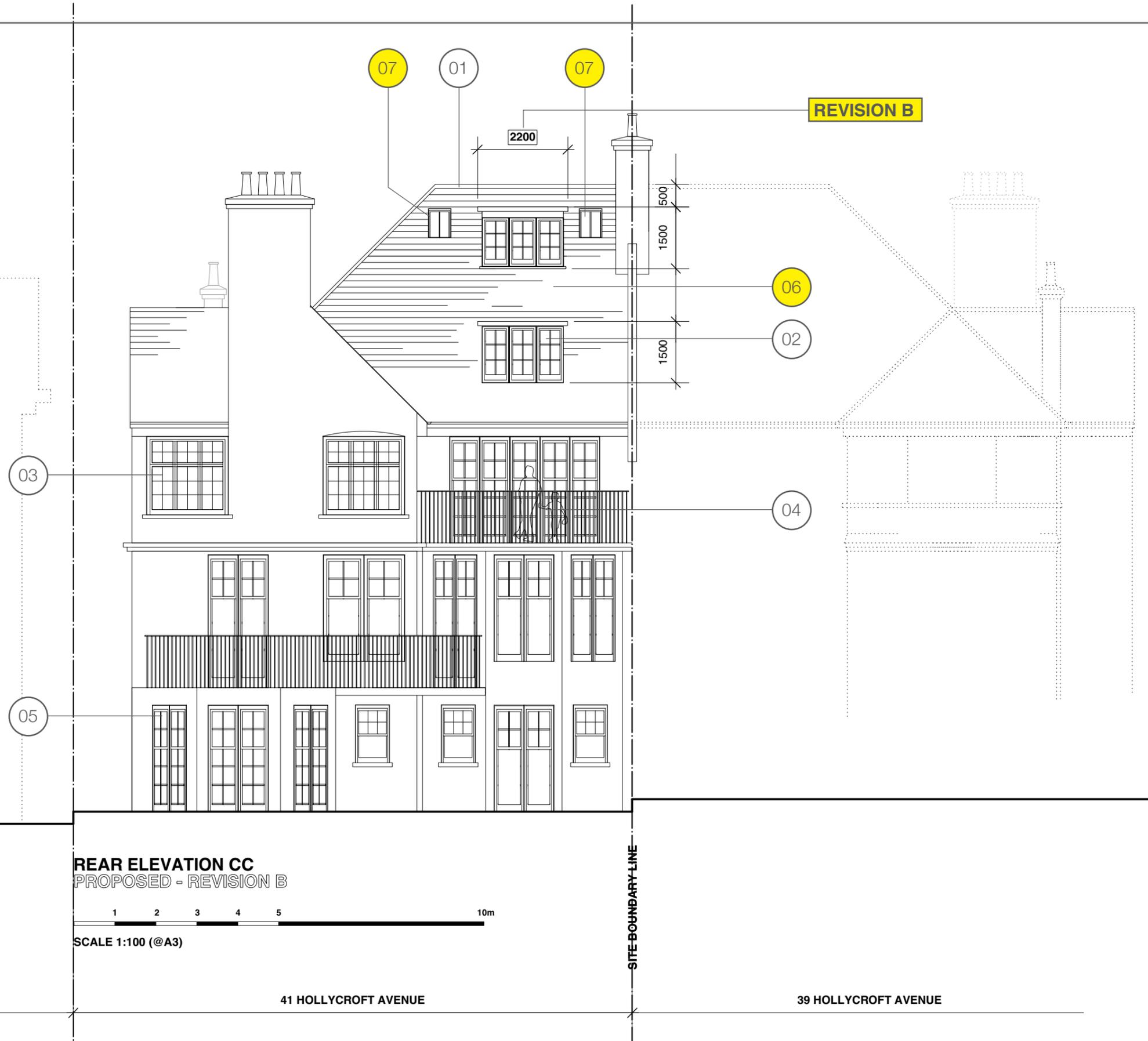
Drawing ref: 206  
 Rear elevation CC  
**Proposed - Revision B**

- 01. Existing clay tile roof finishes
- 02. Existing dormer window to rear of property at second floor level
- 03. Existing timber windows and doors to rear of property
- 04. Existing balcony to first floor
- 05. Existing lower ground floor extension and roof terrace to the lower maisonette

- 06. Proposed dormer extension.  
 Flat roof, with zinc weather proof finish.  
 Flanks clad with hung tiles to match roof tiles.  
 with timber framed windows, detailed to match doors and windows to the remainder of the property.
- 07. Proposed roof windows (Velux type) to rear roof slope.

**REV A**  
 DORMER REDUCED IN HEIGHT & WIDTH,  
 TO BE MINIMUM OF 500mm BELOW THE EXISTING  
 ROOF RIDGE LINE, AND THE SAME WIDTH AS THE  
 DORMER BELOW.

NOTE: ALL ROOF WINDOWS TO BE 'HERITAGE' TYPE -  
 WITH CENTRE GLAZING BARS AND FLUSH WITH  
 ROOF TILES



**REAR ELEVATION CC**  
 PROPOSED - REVISION B

1 2 3 4 5 10m  
 SCALE 1:100 (@A3)

43 HOLLYCROFT AVENUE

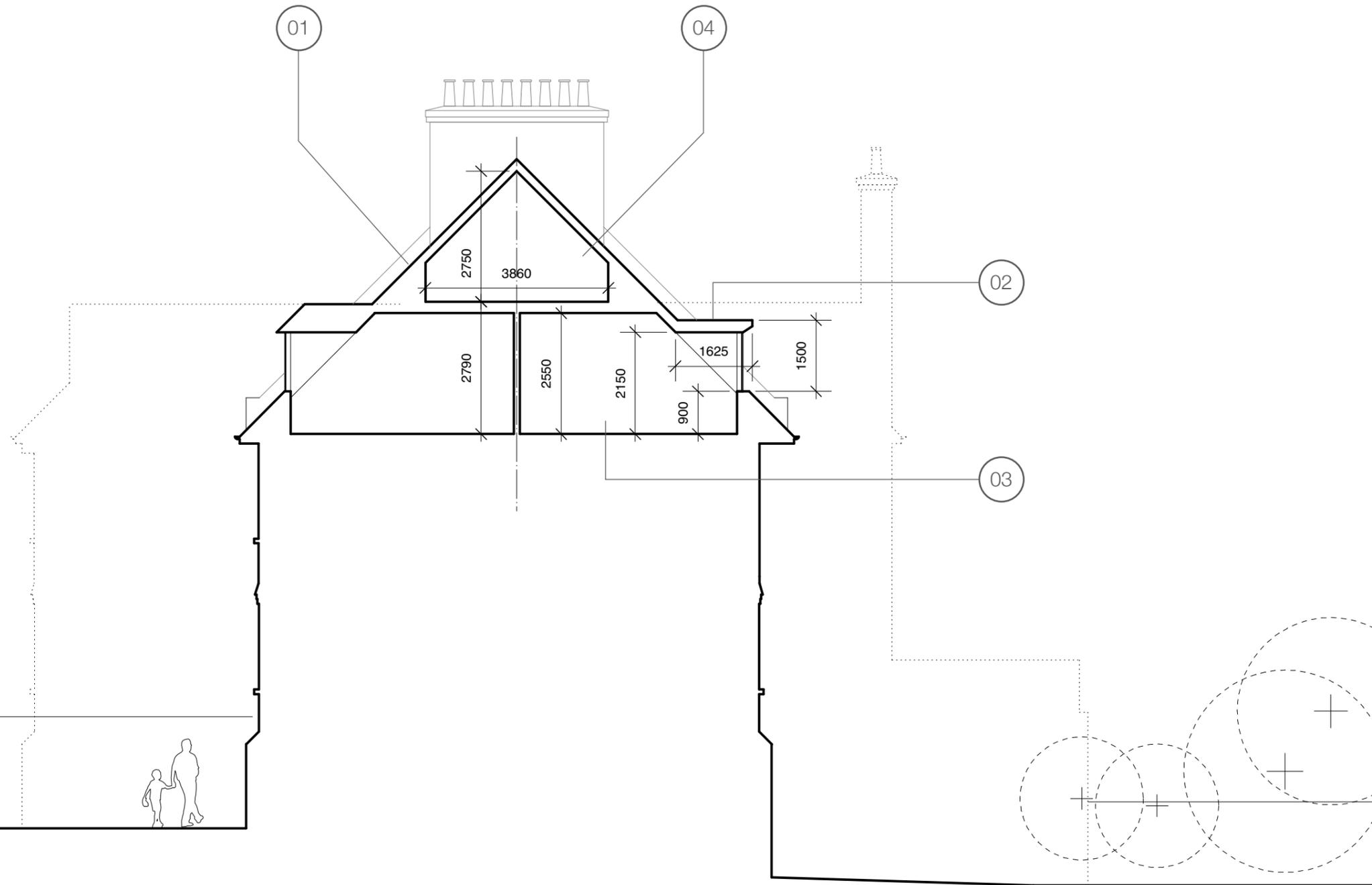
41 HOLLYCROFT AVENUE

39 HOLLYCROFT AVENUE

Drawing ref: 207  
Section DD  
**Existing**

- 01. Existing clay tile roof finishes
- 02. Existing dormer window to rear of property at second floor level
- 03. Existing bedrooms
- 04. Existing third floor / attic space configuration of Flat A, with roof windows to rear roof slope

**NEW DRAWING**  
SHOWS RELATIONSHIP OF EXISTING  
ATTIC SPACE AND DORMER WINDOW BELOW



**SECTION DD**  
EXISTING

1 2 3 4 5 10m  
SCALE 1:100 (@A3)

Drawing ref: 207

Section DD

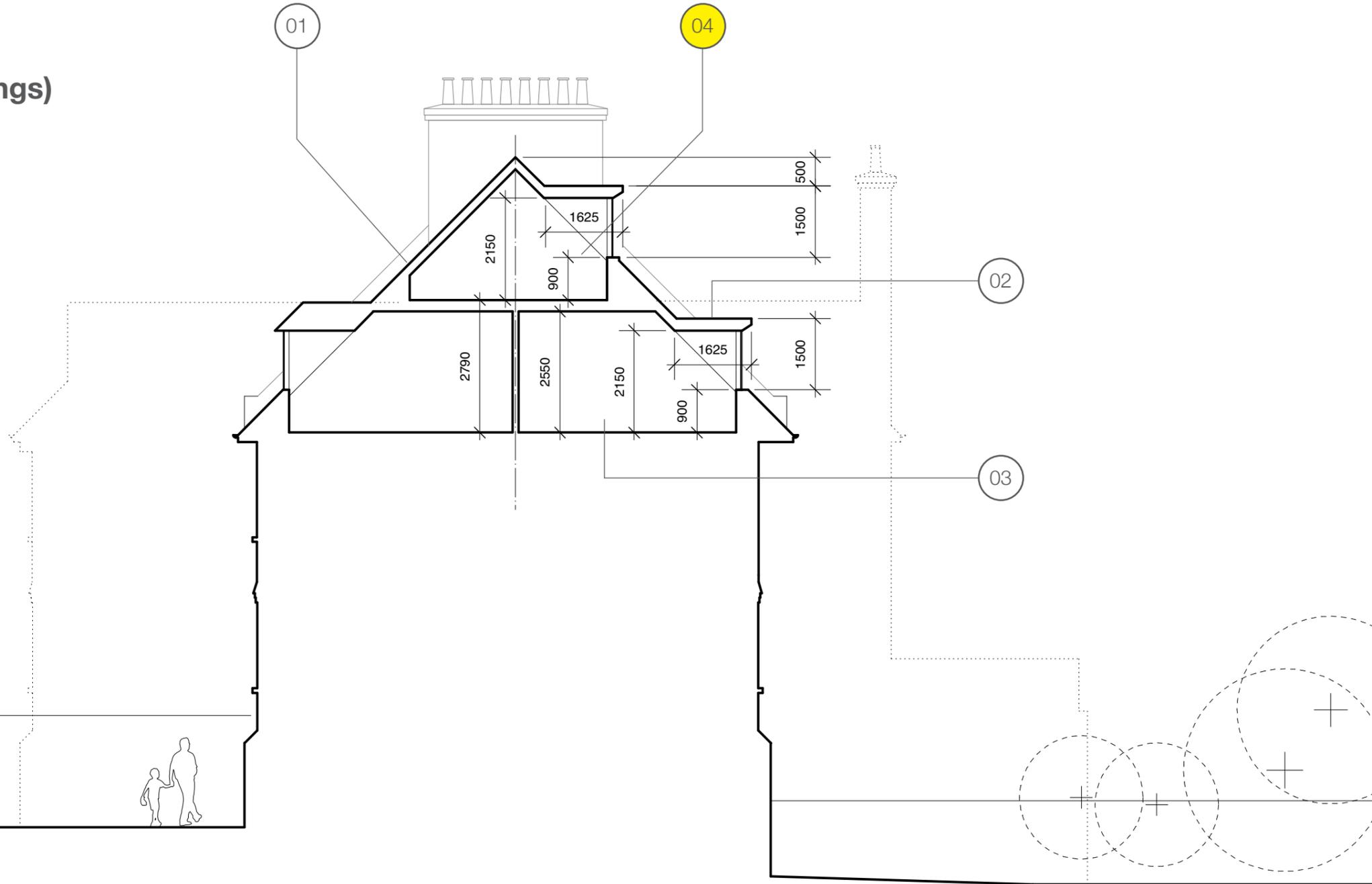
**Proposed (to support 'Revision B' drawings)**

- 01. Existing clay tile roof finishes
- 02. Existing dormer window to rear of property at second floor level
- 03. Existing bedrooms

- 04. Proposed dormer extension to the existing attic space. The dormer will be the same volume (width, height & depth), as the dormer below

Dormer will sit no closer than 500mm from the existing ridge line of the main roof.

**NEW DRAWING**  
SHOWS RELATIONSHIP OF PROPOSED DORMER TO THE ATTIC SPACE AND DORMER WINDOW BELOW



**SECTION DD**  
**PROPOSED**



SCALE 1:100 (@A3)