

Application ref: 2018/3568/P
Contact: Gideon Whittingham
Tel: 020 7974 5180
Date: 11 October 2018

Development Management
Regeneration and Planning
London Borough of Camden
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Brady Mallalieu Architects Ltd
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Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

**New Priory
Quex Road
London NW6 4PS**

Proposal: Erection of two storey and single storey extension to west elevation and alteration of entrance and fenestration throughout.

Drawing Nos: 488 PA L 001; 488 PA L 002; 488 PA L 006; 488 PA L 010; 488 PA L 016.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans [488 PA L 001; 488 PA L 002; 488 PA L 006; 488 PA L 010; 488 PA L 016.]

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:
 - i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used and showing a variation of substrate depth with peaks and troughs
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Reasons for granting permission.

The proposal would result in the erection of a 2 storey and 1 storey extension

on the west elevation, along with general refurbishment to fenestration and access points. The 2 storey extension would be brick built with timber elements to match those shown on the adjacent Primary school building, whilst the single storey element would materially match the new and refurbished fenestration throughout. Both extend over the internal courtyard and allow for the reconfiguration of the internal spaces and add 62sqm.

The scale and form of development is considered appropriate, given their subordinate relationship with the larger site buildings. The detailed design of the alterations, including fenestration, take reference from both those existing and proposed and is therefore sympathetic to the character and appearance of the building.

The extensions are located within an internal courtyard and would not be readily visible to surrounding residential buildings. The general refurbishment would replace existing windows and the renewed ramp replaces what is existing. As a result, these works would not result in a detrimental loss of light, outlook or privacy to neighbouring occupiers.

In terms of garden space and its amenity value, 36sqm of hardstanding would be built upon, retaining 104qsm which is considered appropriate for amenity value. No trees would be affected by this development and the proposed sedum roof shall be secured by way of condition.

The planning history of the site has been taken into account when coming to this decision. No comments were received during the course of this application.

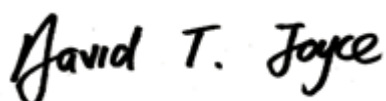
The proposed development is in general accordance with the Camden Local Plan 2017, with particular regard to policies A1 and D1. The proposed development also accords with the London Plan 2016, the National Planning Policy Framework 2018.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning