

62 Frognal- Existing Street Scene



62 Frognal
London NW3 6XG
Design & Access Statement
August 2018



SQUARE FEET ARCHITECTS

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Introduction

Square Feet Architects have been appointed by our Client to prepare a Full Planning Application for the extension of a single family home. The property is situated in the Frogmal Conservation Area.

Purpose of the report

The purpose of this report is to detail the extent of the proposals we are seeking planning permission for, and to demonstrate our understanding and fulfilment of the Council's planning policies in relation to this proposal.

Drawings

All drawings reproduced in this report are Not To Scale. For scaled drawings please see Planning Application set.

Recent Planning History

Case No: 2018/1664/P Status: Granted
Regularisation of variation to planning permission for Basement extension (ref. 2006/0918/P).

Case No: 2008/5521/P Status: Granted
Installation of a front boundary wall and two vehicle entrance gates to the dwelling (Class 3).

Case No: 2006/0918/P Status: Granted
Remodelling of dwellinghouse, incl. erection of 2 storey plus basement and attic side extension; erection of single storey rear extension, and alterations to front facade and roof; installation of front garden car deck access to basement garage and of rear garden rooflights to basement room.

Case No: PMc/CJM/W/2465 Status: Granted
Erection of a ground floor rear extension.

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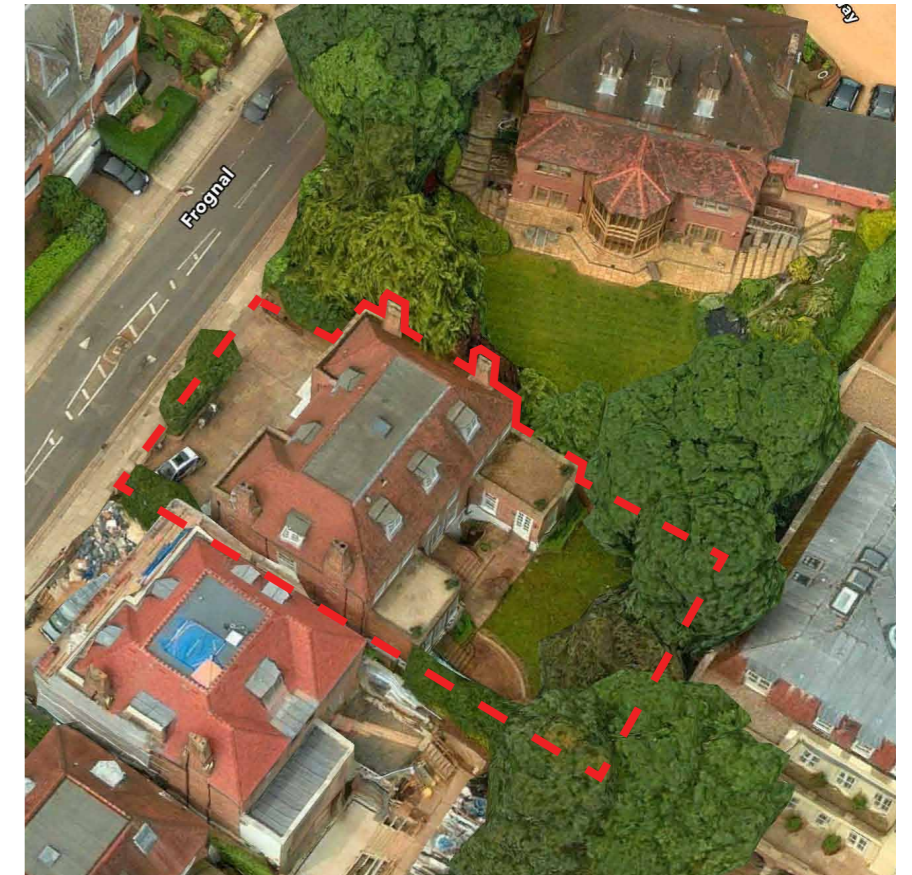
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[fig.1] Location Plan. No.60 (highlighted in red) NTS





1.0 Context

The property is a residential detached brick dwelling dating to 1930's, which retained architectural detailing reasonably well during subsequent extensions and external alterations to its fabric. It is located within Frognaal Conservation area, with its contribution deemed neutral.

The single family house consists of 3 superstructure storeys, with an additional subterranean level incorporating garage. A recently constructed, elegant brick & metal railing boundary wall encloses generous

front driveway- featuring vehicular lift platform.

At rear, the property benefits from a garden of modest proportions (in relation to the dwelling' footprint), which due to its geographical orientation receives limited direct sunlight.

Historical development saw the building's original South side extended to the east. Subsequent 'mirror image' addition incorporated North- East aspect wing, which

juts out into the garden further than its predecessor. At present, these single storey wings flank central hardstanding circulation zone (multi-level terrace). The garden's amenity is somewhat impaired by a linear rooflight's projection which fragments the landscaping along its Southern end. Dense planting lining the boundary affords privacy to - and from- surrounding properties.

[fig.2] South- Western aspect of the block
 [fig.3] Northern aspect of the block
 [fig.4] South- Eastern aspect of the block



1.2 Background to the Application

Permission was previously granted in June 2018 (ref. 2018/1664/P) for NMA in the form of adaptation of permitted garage to pool room and addition of a small basement store extension, at rear left hand corner of the structure. The variation was required to complete structurally sound underpin of the superstructure.

Following on from the successful regularization of the planning application, the site was purchased by our Client who approached us with a new scope, for a home that better suited their family's needs.

1.3 Planning Policy

Camden's various planning policies wish to promote respect for local character in the design of all buildings and ensure that they are in harmony with their settings-aiming to help improve the local area through good design. This property has scope to be improved and in turn to enhance the area.

In March 2012 the Government published the National Planning Policy Framework (NPPF). The policies contained in the NPPF are material considerations which should be taken into account in determining planning applications. The NPPF replaces a number of national planning policy documents (listed at Annex 3 of the NPPF).

The London Plan (2011)

- Policy 5.3 (Sustainable design and construction)
- Policy 7.6 (Architecture)
- Policy 7.8 (Heritage assets and archaeology)

The Council adopted its Local Plan in July 2017. The relevant policies which have been followed throughout the design process are:

- A1 (Managing the impact of and development)
- A2 (Open Space)
- A3 (Biodiveristy)
- D1 (Design)

The proposed scheme was developed as a response to interpretation of Client brief to comply with Camden Local Plan. All new external elements of the proposal were developed to respect and enhance local context and character. Creative use of material and colour palettes present within the context, will sensitively contrast with the building's fabric by clear definition of 'the new' versus 'the historic'.



2.0 Access

Vehicular access to the house will be maintained without changes.

There are no amendments to existing public path or rights of way.

3.0 Design

Amenity and Quality of Living Accommodation

Front Ground Floor

Existing main entrance door will be widened by approx.200mm to achieve grander scale- complementing proportions of the building's street facade, and more closely matching that of adjacent property. New door leaf architrave will be like-for-like replacement of the existing to maintain character of the property and coherent of public realm. Pediment and pilasters will be retained with minor amendments to doorway's opening.

Adjacent sidelights, feature paneling to their lower section. The proposal calls for introduction of maximum available daylight into the entrance hall, which is to be achieved by means of new fully-glazed sidelights (in existing location and structural opening dimensions).

Previously consented garage (ref. 2016/1664/P) is to be reinstated (replacing current pool room), with retention of existing operational car lift which had been installed in line with the permitted case 2006/0918/P.

Rear Ground Floor

It is proposed to maximise potential of available outdoor space (in line with Camden Local Plan guidance, policy G1) by replacement of underused multi-level external circulation zone between Kitchen & Lounge wings, with flexible use terrace.

This paved platform, spanning single storey rear extensions, and matching projection of that to the South, will be elevated to the level of current centrally located stair landing. This approach facilitate transformation of existing multi-level converging landings and impractical hardstanding, into coherent part of actively used, adaptable outdoor living area. Being semi-enclosed by existing wings, the terrace retains unchanged visual privacy and outlook, whilst offering improved sunlight levels to this section of the dwelling- by the virtue of its elevation.

Skylights within this zone ensure daylight penetration into the Basement level, as well as visual link with the exterior.

Along with new paved stepped access, the terrace promotes fusion between the in- and outside, by gradually transitioning from interior, through semi-enclosed to open landscape. Details of both elements will match traditional precedents present within existing curtilage.

Otherwise mostly balanced rear facade, suffers from difference in projection of the Kitchen & Lounge extensions. Proposed full-width Juliet balcony to Lounge continues formal symmetry of the composition, by its depth defined to line through with the opposite wing's eastern elevation (which itself is extended by a depth of 1 no tread, approx.350mm). Finish of the balcony's upstand will continue existing render plinth, whilst railing design and finish will match existing traditional detailing and colours. Existing foliage screen will be retained to continue affording privacy to the neighbouring property. Structural

grade skylight is to be incorporated within the balcony's paved floor, to promote light ingress into existing basement room below- ensuring it remains habitable, reduces need for artificial lighting and maximises use options of the existing footprint.

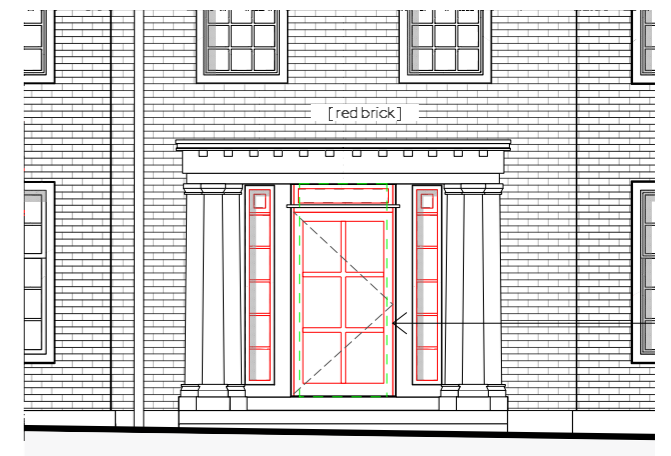
Removal of garden rooflight- in favour of flush skylight within new balcony floor- will enhance garden layout by visually opening it up, and effectively increasing available 'play' landscaped zone. Newly vacant garden area will be landscaped to match existing soft landscaping.

Various internal amendments are contained within the envelope- having no impact on existing public realm. New skylight to Kitchen harvests daylight and limited direct sunlight reaching this part of the house- to improve residential amenity. Its minimal upstand, does not protrude above existing parapet wall line. The nearest neighbouring property to this wing is significant distance away and heavily screened by foliage.

Southern side passageway at Ground Floor

To improve daylight penetration and provide alternative fire egress route, existing WC window is proposed to be enlarged (WC being removed from this location)- with style and treatment to match existing.

Boundary treatment along the passageway is currently formed by tall fence (which will be retained) ensuring no overlooking issues arise.



[fig.5] Existing main entrance door
[fig.6] Proposed main entrance door

fig.5

fig.6





- Proposed skylights
- Relocated fenestration
- Proposed stepped garden access & 'platform' terrace
- Proposed balcony
- Existing gravel area surrounding rooflight (proposed to be demolished)

[fig.7] N-E aspect of the proposal, on 21 June @ 9am
 [fig.8] Rear view of the proposal- date as before
 [fig.9] S-E aspect of the proposal- date as before



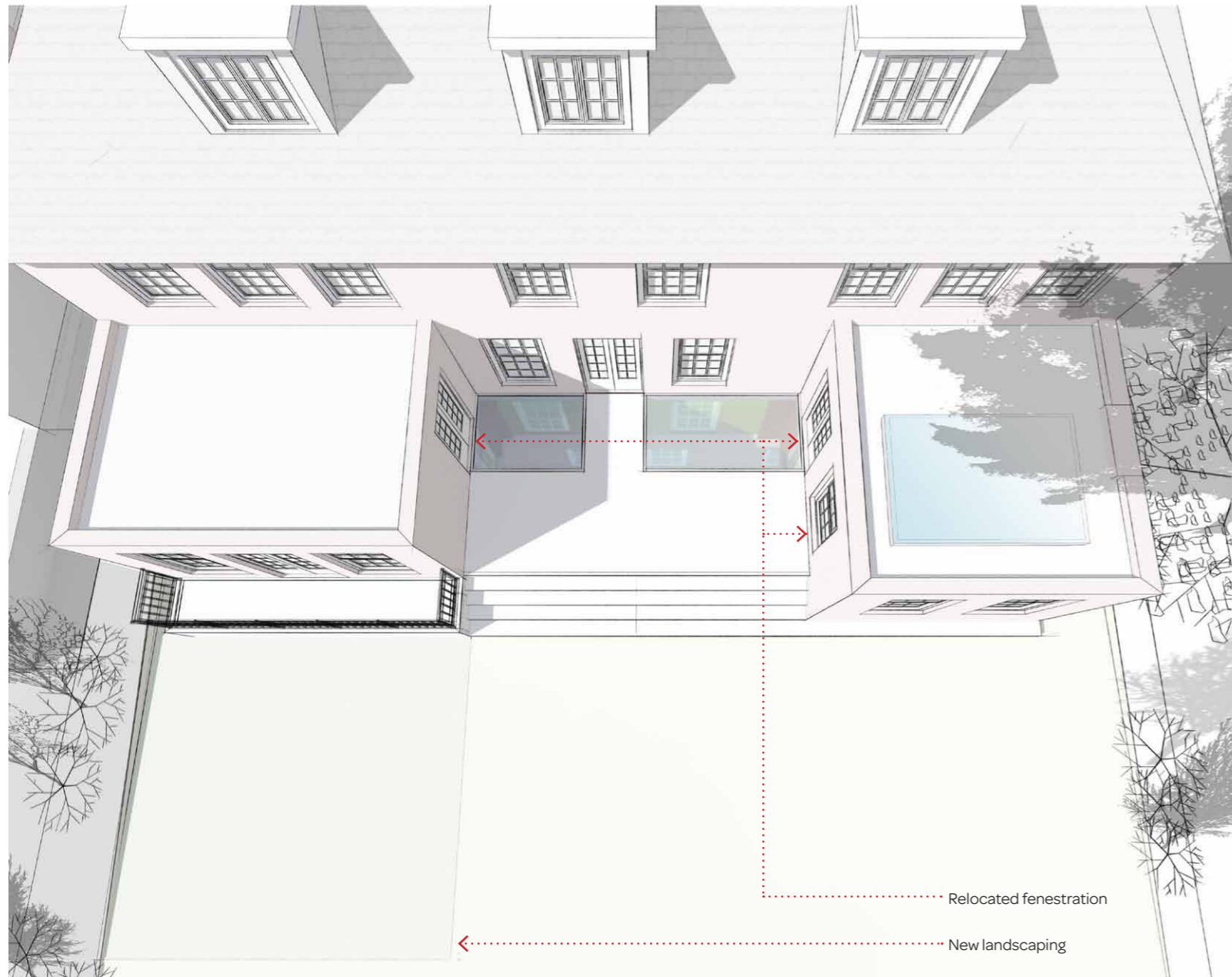


[fig.10] Proposed base riser to line through w/ rear balcony elevation.

[fig.11] Current view of the converging circulation route.

[fig.12] Current view onto central hardstanding.





[fig.13] Bird's eye view onto proposed Ground Floor Terrace, semi-enclosed by existing extension wings.

[fig.14] Current view from Kitchen out onto central exterior circulation zone.

[fig.15] View from proposed Balcony.

[fig.16 & 17] Existing light-deprived Basement lightwell.

fig.13

fig.14

fig.16

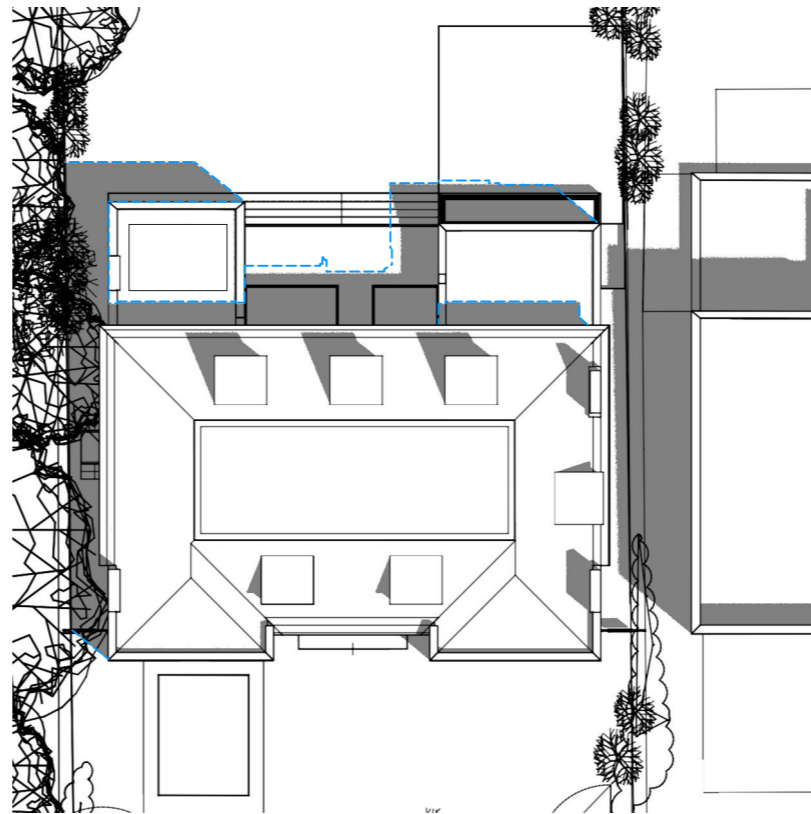
fig.15

fig.17





21st June @ 9am
Improved sunlight levels to Terrace & garden.



21st June @ 12pm
Improved sunlight levels to Terrace & garden.



21st June @ 3pm
Minor improvement on shading extent, to infilled garden area.



22nd December @ 9am
Improved sunlight levels to garden.



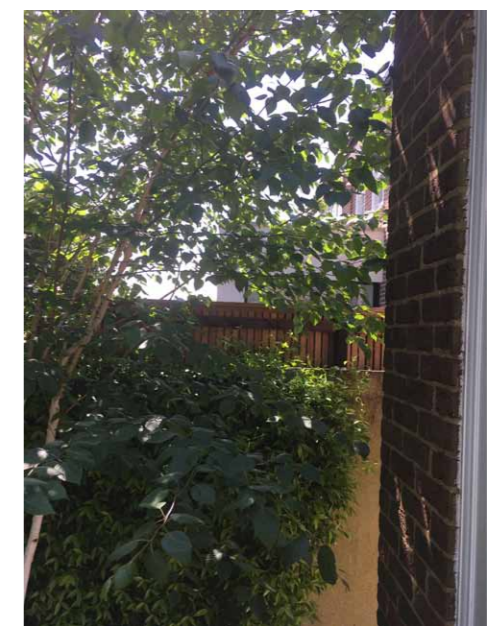
22nd December @ 12pm
No changes to shading extent.



22nd December @ 3pm
No changes to shading extent.

[fig.18] Shading study (blue outline denotes extent of existing shading).





[fig.19] Proposed rear elevation, w/ streamlined garden level.

[fig.20] Existing rear elevation & Garden. Note dense foliage screening neighbouring properties.

[fig.21 & 22] Proposed Balcony & existing difference in projection of the extensions' wings.

[fig.23] View towards balcony and existing foliage screening it

fig.19	fig.21	fig.22
fig.20	fig.23	fig.24



4.0 Conclusion

Overall, the proposal aims at delivering better usable outdoor living spaces- tailored to the specific family needs, and to improve residential amenity of the garden.

The existing building is not considered to make a positive contribution to the Conservation Area presenting scope for alterations improving residential amenity.

The proposed structure would retain a very similar footprint to the existing building- as would the distances to the nearest properties. The height of the proposed building remains unchanged (except introduction of a ground floor Juliet balcony which is only as high as existing rendered plinth) therefore not impacting on the daylight or sunlight to the nearby residential properties .

We believe that elements of the scheme fall within Class A of Permitted Development Rights. However, in order to ensure the correct permissions and streamline the statutory process, we have included all the proposed works as Full Planning application.

As there is demonstrably no material harm either to neighbours' amenity or to the appearance of the surrounding area, we trust that the application will meet with your support. Please do not hesitate to contact Daniel Leon or Barbara Kowalska of this office if you require any further information.

