

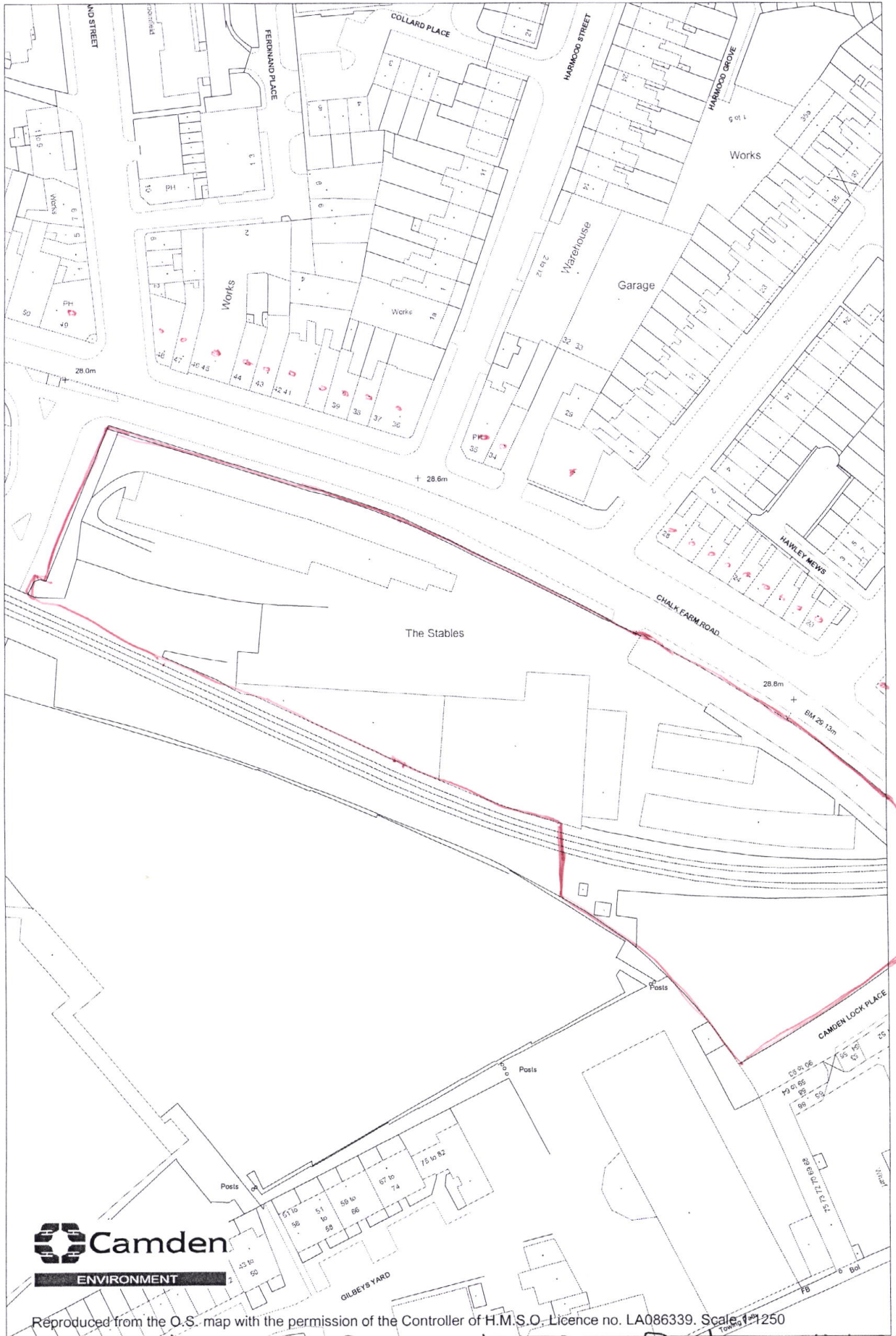


Case Ref: AEX 0100429

**Premises :** Stables Market  
Chalk Farm Road  
NW1

**Old Case File Ref :**

[illegible]



Reproduced from the O.S. map with the permission of the Controller of H.M.S.O. Licence no. LA086339. Scale 1:1250

Stables Market Stanley Sidings Chalk Farm Road AE1010429

**Development Control  
Planning Services**

London Borough of Camden  
Town Hall  
Argyle Street  
London WC1H 8ND

Tel 020 7278 4444  
Fax 020 7974 1975

**APPLICATION PROGRESS SHEET**

Application number: AEX0100429/

Officer: ~~John Sanchez~~ **DAVJ**

Address: Stables Market, Stanley Sidings, Chalk Farm Road, NW1

Proposal: Erection of six signs measuring 1.2 mtrs (h) x 1.8 mtrs (l)  
mounted on poles measuring 5.98 mtrs in height. Signs to  
overhang existing wall fronting Chalk Farm Road,  
(Plans submitted).

Site visit date :

Initial thoughts:

-----  
Site visit/meeting Notes:

-----  
Date

Notes



INVESTOR IN PEOPLE

Director Mark Gilks BA(Hons),M.Soc.Sc.,MRTPI

**Development Control  
Planning Services**

London Borough of Camden

Town Hall

Argyle Street

London WC1H 8ND

Tel 020 7278 4444

Fax 020 7974 1975

Date of:  
Meeting(s)  
and calls



INVESTOR IN PEOPLE

CODING SHEET

Area Team: S NE NW

Reg.No. : AEX0100429

Address: Stables Market Stanley Sidings Chalk Farm Road NW1 7/6

PRE REG: Y / N

Date of App: 11/6

Date Rec: 11/6

Copy

Application Type: ADVT

INCOMPLETE Y/N Reason(s)

Correct Jomo CA & LB needed  
& 3 more sets of plans

COMPLETE (Formal Registration):

Date Reg:

11/6

Level of Decision:

D / P

Case Officer:

SANS

Site Notice: Y N

Press Advt: Y N

Departure: Y N

Weekly List Date: (as date inputted)

FEE SCREEN:

Payment Type: CHEQ / CASH

Payee: AGNT / APPL / OTHR

No fee  
received  
with 1 yr  
11/6

Total Amount Req.:

Date Received:

Total Amount Rec.:

Receipt No.:

AGENT: See application form for details

APPLICANT: Type:

PR

See application form for details

LOCATION:

See application form for details

Just need to check

Case File

CA 5708

CA Area:

RCA

Ward:

CHA

PROPOSED DEVELOPMENT: See application form for details

Proposal (if not as on application form see below or over)

Erection of six signs measuring 1.2mtrs (h) x 1.8mtrs (l) mounted on poles measuring 5.98mtrs overhanging existing wall along Chalk Farm Road.

Alter/extend: Y / N

New Building involved: Y / N

Public Right of Way Y / N

Demo.ind: Y / N

Site Area =

Sq.m

Newspaper:

DOE Code:

ADVT

ADVERT DETAILS: Newspaper Date: (as date inputted)

Related Appl No.

CEV00030

App.Signed Y / N

No of Plans Req:

3

No.of Plans Rec:

3

LISTED BUILDING CODES:

I

II

II\*

NEIGHBOURS LETTERS:

Y / N

STANDARD CONSULTEES:

Y / N

COMMENTS:

# NEIGHBOURHOOD CONSULTATIONS

## ADDRESSES

G15 = 30

E/R

K

Chalk farm Road

22<sup>A</sup> Date 1; 2

36/37 Flat second j

39 2/3

~~455~~

~~455~~

Total sent: 34 Date sent: 3/7/01 Replies due by: 24/7/01

## STANDARD CONSULTATIONS

### EXTERNAL:

Tick

Date sent

### INTERNAL:

Tick

Date sent

[ ]

/ /

[ ] Env.Health

/ /

[ ]

/ /

[ ] Traffic (ITRA)

/ /

[ ]

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[ ] Forward Plan (IFPP)

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[x] C & D (IC&D)

3 17/01

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Date ALL consultations complete by : 3/8/2001

Application Expiry Date (8 week date) : 6/8/2001

Target Report Date (to meet 8 week date) : 31/7/2001

# Camden Civic Society

Charity Registration No. 276262

The Director,  
Environment Department,  
Development Control Planning Services,  
London Borough of Camden,  
Town Hall Argyle Street,  
London WC1H 8ND

23 July 2001

Dear Sir,

App. No Lex 0100430: Stables Market

I write to register this Society's objection to the proposal to erect six illuminated signs above the Chalk Farm Road wall bounding the Stables Market, Stanley Sidings.

To permit this development will only contribute further to the general cheapening of the streetscape which has been allowed to take place along the northern stretch of Camden High Street and into Chalk Farm Road. The wall itself is of some historic interest and its integrity should be respected.

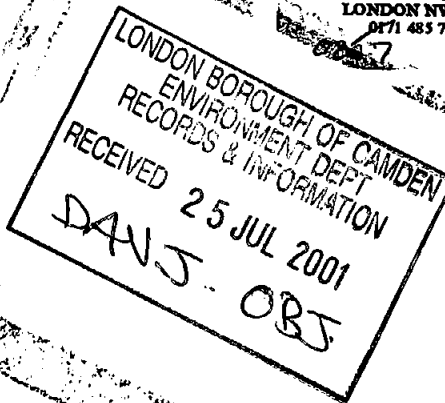
We acknowledge that the present signage is tatty and should be removed. However it should not be replaced by such a number of over-large and prominent (day and night) advertising features. The Stables Market is quite adequately signposted without these unnecessary additions overhanging the pavement., which we submit will not add anything to the success or failure of the proposed development of the Market area.

Yours sincerely,



Malcolm Campbell  
Chairman

M.J. CAMPBELL MBE MA ALA  
98 AGAR GROVE  
CAMDEN SQUARE  
LONDON NW1 9TL  
0171 485 7023



Please tear this slip off and return to <sup>John Davies</sup>~~John Sanchez, Development~~  
~~Control Team.~~

The traffic officer dealing with this matter is: *Beverley Bewaji*

on Ext: *2599*

Ref: LEX0100430/

Signed: *BB*

Dated: *24/07/01*



INVESTOR IN PEOPLE

Director Mark Gilks BA(Hons), M.Soc.Sc., MRTPI

**London Borough of Camden**

**Forward Planning & Projects Team**

**Transport Planning**

<b>From: BEVERLEY BEWAJI</b>	<b>To: JOHN DAVIES</b>
<b>Our ref:</b>	<b>Your Ref: LEX0100430</b>
	<b>Case File Ref:</b>
<b>Ext: 2599</b>	<b>Date: 24<sup>TH</sup> JULY 2001</b>

**Re: STABLES MARKET, STANLEY SIDINGS, CHALK FARM RD NW1**

Erection of six signs measuring 1.2m (h) x 1.8m (l) mounted on poles measuring 5.98m (h) signs to overhangs on existing wall fronting Chalk Farm Road.

**NOTE:**

**TRANSPORT OBSERVATION**

Application is for the erection of six signs mounted on a poles, transport do not raised objections to the display of signs. An informative should be added to any permission advising the applicant to contact the Highway Management team regarding a licence for the illumination of signs. It is an offence to have a canopy or structure overhanging the public highway (Highway Act 1980 )

### **Abbreviation explanation**

<b>TIAP</b>	= Transport Impact Statement provided
<b>CPZ</b>	= Application site within Controlled Parking Zone
<b>Cons</b>	= Application site within Conservation Area
<b>CZR</b>	= Application site within Clear Zone Region
<b>HP</b>	= Heavily parked street
<b>CFA</b>	= Car free agreement to be sought
<b>GTP</b>	= Green Travel Plan to be sought
<b>FIR</b>	= Further information required
<b>N/O</b>	= No objections
<b>Neg</b>	= Negotiate further
<b>O/L</b>	= Objections lodged

Website Address: [planning.camden.gov.uk](http://planning.camden.gov.uk)  
Email Address : [env.devcon@camden.gov.uk](mailto:env.devcon@camden.gov.uk)



ENVIRONMENT

**Development Control**

**Planning Services**

London Borough of Camden

Town Hall

Argyle Street

London WC1H 8ND

Tel 020 7278 4444

Fax 020 7974 1975

pacis/Trafficobs/ITRA



INVESTOR IN PEOPLE

Director Mark Gilks BA(Hons),M.Soc.Sc.,MRTPI

AEX0100429

LEX0100430

Stables Market

To be withdrawn

Rob 6/7/04.

Heritage Architecture Ltd,  
363 West End Lane,  
West Hampstead,  
London,  
NW6 1LP.

Date: 6<sup>th</sup> July 2004  
Your ref: Erin Davidson  
Our ref: AEX0100429  
Contact: Rob Brew  
Tel: 020 7974 5623

Dear Sirs,

Town and Country Planning Act 1990  
Stables Market, Chalk Farm Road, NW3

I write regarding an application for advertisement consent (ref: AEX0100429) and an associated application for listed building consent (ref: LEX0100430) for the display of illuminated freestanding signs on the boundary wall adjacent to the horse ramp that forms part of the horse hospital building at the Stables Market site in Camden Town.

The applications were submitted 7<sup>th</sup> July 2001, and now appear to be redundant as market stalls now occupy the location of the proposed signs. In the circumstances I shall arrange for the applications to be withdrawn.

If your client does wish to progress the applications, then they can be resubmitted within 12 months of this letter without the need to pay an application fee.

Yours faithfully,



Rob Brew,  
Interim South Area Team Manager,  
Development Control Team.

LEAD 00430

**Stables Market- Drawing List**  
**March 2001**

Dwg. #	Description	Submitted to whom	Date
ST001-B	Elevation of Sign Design	Stables Market Belinda Magee Joanna Parker Doreen Strutt	APRIL, 2001 May 1, 2001 May 30, 2001 June 7, 2001
ST002-B	Sectional, Construction Info.		
ST003-B	Lighting Options A&B		
ST004-B	Detail of Logo Box		
ST005-B	Sign Information, Elevational		
ST006-B	Site Dwg of Sign Locations		
ST007-B	Plan of Pole A; including electrical info Detail Ref: EL001		
ST008-A	Plan of Pole D-E, including electrical info Detail Ref: EL002, EL003		
ST009-A			
ST010-A			
ST011			
ST012			
ST013	Elevation		
ST014	Elevation Detail, Pole A-B		
ST015	Elevation Detail, Pole B-C		
ST016	Elevation Detail, Pole C-D		
ST017	Elevation Detail, Pole D-E		
ST018	Elevation Detail, Pole E-F		
ST019	Sign Location Drawing Rear Elevation		
ST020	Typical Section of Wall & Sign Pole A		
ST021	Typical Section of Wall & Sign Pole F		

3

Ward:Chalk Farm

Officer: Rob Brew

Regent's Canal Conservation Area

Grade II Listed Building

Address : Stables Market, Stanley Sidings, Chalk Farm Road, NW1

Date of Application : 22/05/2000

Application Number: AE9800634//R3      Case File:CA/5748/

Proposal :

The display of various externally illuminated signs.

As shown on:-

Document dated October 1999 and titled "Signage proposals for the Stales Market", and amendments dated May 2000.

RECOMMENDATION SUMMARY :      Grant Advertisement Consent  
(Conditions)

-----  
Date of Application : 22/05/2000

Application Number: LE9800645//R3      Case File:H10/9/Q

4

Proposal :

The addition of various signs to the listed buildings on the site.

As shown on drawing numbers:-

Document dated October 1999 and titled "Signage proposals for the Stales Market", and amendments dated May 2000.

RECOMMENDATION SUMMARY :      Grant L B Consent with conditions

Applicant

Stables Market (Camden) Ltd,  
Stanley Sidings,  
Chalk Farm Road,  
Camden,  
London,  
NW1 8AH

Agent

Heritage Architecture Ltd.,  
Attn. Stephen Levrant,  
296 West End Lane,  
London,  
NW6 1LN

Ward: Chalk Farm

Officer: Rob Brew

Regent's Canal Conservation Area

Grade II Listed Building

Address : Stables Market, Stanley Sidings, Chalk Farm Road, NW1

Date of Application : 10/12/1999

Application Number: PE9800576/R2      Case File: H10/9/Q

Proposal : The refurbishment of the existing buildings on the site and the construction of two new buildings to accommodate a mixture of uses within the A1 (retail), A3 (food and drink), B1 (business), D1 (exhibition space), a dual B1/D1 use, and D2 (leisure) Use Classes, together with ancillary storage and other accommodation and associated environmental improvement works. As shown on drawing numbers:- SM/006/302E, 303D, 304E, 305E, 306E, 307E, 308E, 309E, 310E, 311E, 312E, 313E, 314E, 400E, 401E, 402E, 403E, 404E, 405E, 406E, 407E, 408E, 409E, and 97071/02F.

RECOMMENDATION SUMMARY : Grant Permission subject to Section 106

Grade II Listed Building

Date of Application : 10/12/1998

Application Number: LE9800577/R2      Case File: H10/9/Q

Proposal : Works of repair and refurbishment to the existing listed buildings on the site, the refurbishment of other buildings on the site and the construction of two new buildings to accommodate a mixture of uses within the A1 (retail), A3 (food and drink), B1 (business), D1 (exhibition space), a dual B1/D1 use, and D2 (leisure) Use Classes, together with ancillary storage and other accommodation and associated environmental improvement works.

As shown on drawing numbers:-

SM/006/302E, 303D, 304E, 305E, 306E, 307E, 308E, 309E, 310E, 311E, 312E, 313E, 314E, 400E, 401E, 402E, 403E, 404E, 405E, 406E, 407E, 408E, 409E, and documents dated June 1998 and titled "Outline schedules of work", "General specification of work and materials", and "Drawings and maps".

RECOMMENDATION SUMMARY : Grant LB Consent subject to Section 106

Applicant

Stables Market (Camden) Ltd,  
Stanley Sidings,  
Chalk Farm Road,  
Camden,  
London,  
NW1 8AH

Agent

EDAW Ltd.,  
Attn. Shaun Andrews,  
1 Lindsey Street,  
London,  
EC1A 9HP

25 Oval Road, NW1

Demolition & rebuild of single storey & two storey rear extension. Same footprint. The principle is acceptable. However, there is scope for improving the existing situation. The ground floor <sup>part</sup> could be better with a shallower pitched roof (as existing) which would be more fitting than current proposal. Another improvement could be the use of either timber box sash windows or casement windows (no top opening) which could be more sympathetic <sup>(for brick chimneys)</sup>. Check to see if a STD - ie wtr, does ground floor front uPVC windows have planning permission. Roofing: slate rather than tile. Why is there a main roof structure drawing shown here?

John D 20/11/01

Stables Market

Signage: design debatable. Robb not keen, but need to find out planning history (Robb requires further research).

45 Parkhill Rd

Re-application. Previously refused (Sadhbh) - Hearing dismissed. 4 flats. 2 storey side extn. - addl unit. Elevation changes need to be considered. Rear set back should be insisted upon (600mm).

12 November 2001

Our Ref:

cjs@shawcorporation.com  
CJS/lc/S1991/11-01

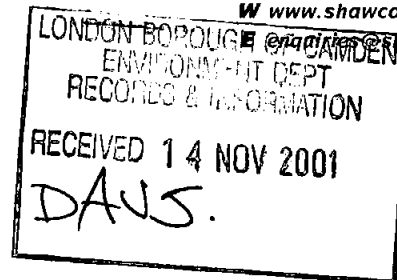


94 NEW BOND STREET  
LONDON W1S 1LA  
T +44 (0)20 7409 0909  
F +44 (0)20 7499 4499

W www.shawcorporation.com  
E enquiries@shawcorporation.com

J Davies Esq

Planning and Environment Department  
London Borough of Camden  
Camden Town Hall  
Euston Road  
London WC1H 8ND



Dear Mr Davies

**Stables Market, Chalk Farm Road, London NW1**  
**Amendments to Signage Approved - PE 9800576/R2 - LEX0100430 - AE9800634**  
**LE980065/1R3**

I refer to our recent discussions and to our meeting on site with Catherine Bond at which time we discussed the correspondence from Stephen Levrant of Heritage Architecture dated 7 June 2001. I attached a copy of the application for these revisions with my letter of 27 September 2001 (further copy attached).

It was envisaged that the new signage to Stables Market approved in detail by Committee in August 2000, would be installed with the removal of the poster hoardings to the Chalk Farm Road wall. The removal of the poster hoardings is scheduled to take place prior to the end of this month and therefore delegated approval to the signage revisions is now a priority. In order to assist you, in your consideration of these revisions I attach for your information, 2 no. monochrome copies of the approved signage drawings.

I now look forward to hearing from you.

Yours sincerely

  
**Christopher J Shaw FRICS**

enc

cc: B Covo - Stables Market (Camden) Limited  
S Hemo - Stables Market (Camden) Limited  
S Levant - Heritage Architecture  
Mrs A Moussaieff



Camden

ENVIRONMENT

Development Control Team

Camden Town Hall  
Argyle Street  
Entrance  
Euston Road  
London WC1H 8NDLONDON BOROUGH OF CAMDEN  
RECORDS  
APPLICATION FOR  
LISTED BUILDING CONSENTRECEIVED 14  
Planning (Listed Buildings and  
Conservation Areas) Act 1990

Please read accompanying notes before answering any questions. Please complete all sections in BLOCK CAPITALS. Please answer every question. Five copies of the completed form and six sets of drawings (as specified in Note 6) are required.

I apply for listed building consent and declare that to the best of my knowledge all the information contained in this form is correct.

Signed [Signature]

Applicant/Agent (please delete)

Date June 7, 2001

## FOR OFFICE USE:

Case File C/A

Reg. No. CA/

Date Record

LEX0100430

## 1 Applicant

Name STABLES MARKET  
Address STANLEY SIDINGS  
CHALK FARM ROAD  
LONDON  
Post Code NN1 8AH  
Tel. No. \_\_\_\_\_

## Agent (if any) to whom correspondence will be sent.

Name HERITAGE ARCHITECTURE LTD.  
Address 363 WEST END LANE  
WEST HAMSTEAD  
LONDON  
Post Code NN6 1LP  
Tel. No. 0207 435 7502

## 2 Address of Application Site.

STANLEY SIDINGS, CHALK FARM ROAD

Tick appropriate box ➤

Grade of Building		
I	II	III
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## 3 Description of Proposed Works

a. Does the proposal involve total or substantial demolition of listed building(s)?

Yes Complete ☐No ☒

b. will there be partial demolition  
(if yes, give a brief description of the proposed demolition.)

Yes ☐No ☒

c. Does the proposal relate to a variation or discharge of conditions on a listed building consent?

Yes ☒No ☐

If "Yes", Specify:

Date of decision 3rd August 2000 Registration No. A E9800634 / L E980065 / 123Details of the relevant condition: method of fixing

## 4 Alterations or Extension (to be answered only if works involve alterations or extensions)

Materials - specify type &amp; colour of materials &amp; applied finishes where applicable to:

Walls and Roof \_\_\_\_\_ Windows and Doors \_\_\_\_\_

Internal surfaces \_\_\_\_\_

## 5 Submission of Application for Planning Permission or Advertisement Consent

Has an application for planning permission been submitted in respect of the proposed works?

Yes ☒No ☐

If no, please state reason: \_\_\_\_\_

Has an application for advertisement consent been submitted in respect of the proposed works?

Yes ☒No ☐

# PLANNING APPLICATION FORM

Town & Country Planning Act 1990

## Development Control Team

Please read accompanying notes before answering any questions.  
Please complete all sections in BLOCK CAPITALS. Please answer every question.  
Four copies of the completed form and five sets of drawings specified in Note 5 are required.

I am applying for planning permission and declare that to the best of my knowledge all the information in this application form and on submitted plans is correct.

Signed

Applicant/Agent (please delete)

Date May 29, 2001

FEE (Please delete/insert as appropriate)

- I enclose the application fee of £

by cheque/P.O No:

- No fee is payable for the following reason: 1(c)

### FOR FINANCE SECTION USE:

Receipt No. \_\_\_\_\_

Date \_\_\_\_\_

Payee \_\_\_\_\_

Area: S NW NE

Cheque/PO £ \_\_\_\_\_

### FOR OFFICE USE:

Case file \_\_\_\_\_

Reg. No. PL / \_\_\_\_\_

Date Record \_\_\_\_\_

**1**

### Applicant

Name STABLES MARKET

Address STANLEY SIDINGS

CHALK FARM ROAD

LONDON

Post Code NW1 8AH

Tel. No. \_\_\_\_\_

Agent (if any) to whom correspondence will be sent.

Name HERITAGE ARCHITECTURE LTD

Address 363 WEST END LANE

WEST HAMPSSTEAD

LONDON

Post Code NW6 1LP

Tel. No. 0207 435 7502

Contact Name/Ref: ERIN DAVIDSON

**2**

### Address of Application Site.

STANLEY SIDINGS

CHALK FARM ROAD

Post Code NW1 8AH

Does this site include any listed buildings/structures?

Yes ☒ No ☐

**3a**

### Description of Development for which application is made.

PERMISSION OF FINAL AMENDMENTS TO MEET THE  
CONDITIONS OF A PREVIOUS CONSENT. GRANTED

**3b**

### Present use(s) of land or property.

CURRENTLY USED FOR SIGNAGE

**4**

### Type of Application (tick as appropriate).

- A ☐ A full application for new building works and/or change of use.  
B ☐ An outline application - Please tick those matters (if any is appropriate) for which approval is sought at this stage.  
Siting ☐ Access ☐ Design ☐ External Appearance ☐ Landscaping ☐  
C ☒ An application for removal/alteration of a condition of a previous planning permission.  
D ☐ An application for renewal of permission.  
E ☐ An application for buildings or works already carried out or use of land already started.  
- If you have ticked C or D please give date of previous permission (03/08/00)  
and the reference (PU/AE98006341123)

Proposed extensions and alterations to the building are limited to the erection of a rear extension, which infills a gap with the adjoining terrace. This is considered an enhancement of the streetscene.

## **7.2 LEGAL COMMENTS**

7.3 Members are referred to the note from the Legal Division at the start of the Agenda.

## **8. RECOMMENDATION: Grant Planning permission (FPC)**

### **Conditions**

- 1 The details of the elevations and facing materials to be used on the extension shall not be otherwise than as shall have been submitted to and approved by the Council before any work on the site is commenced. The works shall not be carried out otherwise than in complete accordance with the approved details.
- 2 No windows or other openings shall be made on the rear elevation of the extension hereby approved.

### **Reasons**

1. To ensure that the external appearance of the building will be satisfactory in accordance with the requirements of policies EN1 and EN13 of the London Borough of Camden Unitary Development Plan 2000.
2. In order to safeguard the privacy of adjoining occupiers in accordance with Camden Unitary Development Policy EN19.

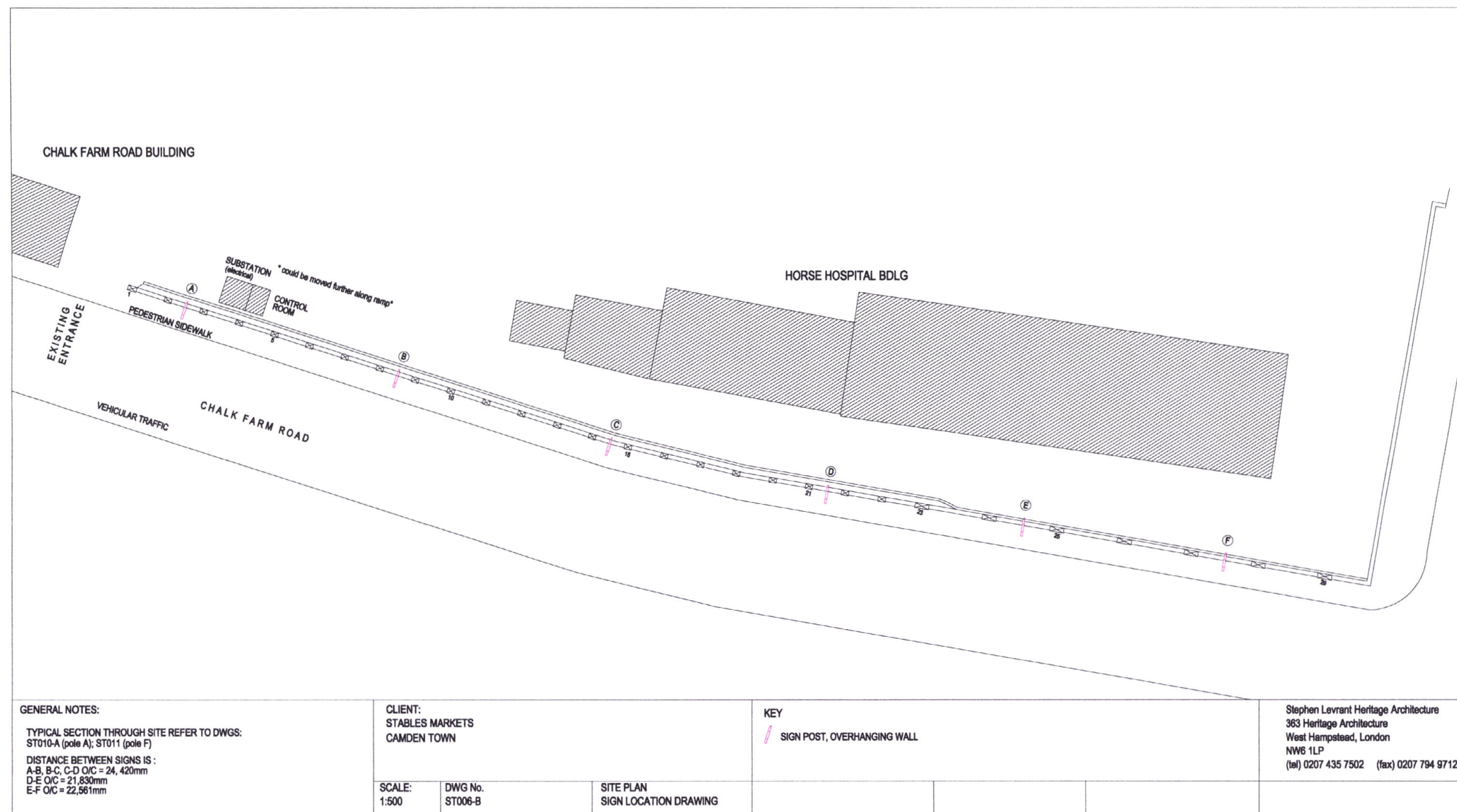
### **Informative**

- ①. Pre-app discussions
- ②. Material for faces of sign + details of internal illumination.
- ③. Content of adverts.
- ④. objection from officers.

Advert. &

Prev. LBC. -  
pps.

18 months - 2 years.



**Development Control  
Planning Services**

London Borough of Camden  
Town Hall

Argyle Street  
London WC1H 8ND

Tel 020 7278 4444

Fax 020 7974 1975

OBS FROM CONSERVATION AND DESIGN/FLEXIBLE AUTHORIZATION

To: HARR/PARG/JACN/MACK/LEOS

BRAC/VOLM/SHEB/PETR/BONC

From: ~~John Sanchez~~ Ref: LEX0100430/

**DAVJ .**

AEX0100429

Case File :H10/9/Q

Date: 3rd July 2001

Stables Market, Stanley Sidings, Chalk Farm Road, NW1

Erection of six signs measuring 1.2 mtrs (h) x 1.8 mtrs (l)  
mounted on poles measuring 5.98 mtrs in height. Signs to  
overhang existing wall fronting Chalk Farm Road,  
(Plans submitted).

RCA Regent's Canal Conservation Area  
Listed Building

II Grade II

I attach a copy of application form and plan/s (if available) and  
will be contacting you shortly to discuss the application.  
Comments to be returned within 14 days from the date of this  
request.

Observations:

*Comments as advert application .*

C and D Summary: Recommendation

Relevant policies:

*Att 3/4/01*

Relevant SPG paras:

Signed:

Dated:

pacis/cdobs/IC&D



INVESTOR IN PEOPLE

Director Mark Gilks BA(Hons),M.Soc.Sc.,MRTPI

**Development Control  
Planning Services**

London Borough of Camden  
Town Hall

Argyle Street  
London WC1H 8ND

Tel 020 7278 4444

Fax 020 7974 1975

OBS FROM CONSERVATION AND DESIGN/FLEXIBLE AUTHORIZATION

To: HARR/PART/JACN/MACK/LEOS  
BRAC/VOLM/SHER/PETR/BONC

From: ~~John Sanchez~~ Ref: AEX0100429/

LEX0100430

Case File :CA5708//

Date: 3rd July 2001

Stables Market, Stanley Sidings, Chalk Farm Road, NW1

Erection of six signs measuring 1.2 mtrs (h) x 1.8 mtrs (l)  
mounted on poles measuring 5.98 mtrs in height. Signs to  
overhang existing wall fronting Chalk Farm Road,  
(Plans submitted).

RCA Regent's Canal Conservation Area  
Listed Building

II Grade II

I attach a copy of application form and plan/s (if available) and  
will be contacting you shortly to discuss the application.  
Comments to be returned within 14 days from the date of this  
request.

Observations:

*Refine height size visual prominence  
adverse impact on LB's & character &  
appearance of the conservation area*

C and D Summary: Recommendation

*Refuse.*

Relevant policies:

Relevant SPG paras:

Signed:

Dated:

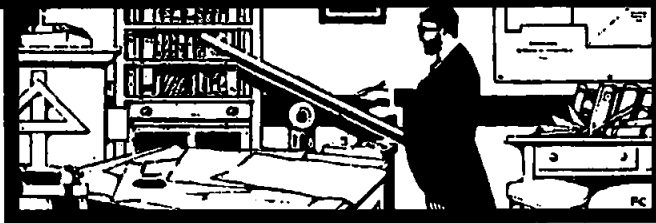
pacis/cdobs/IC&D

*3/7/01*



INVESTOR IN PEOPLE

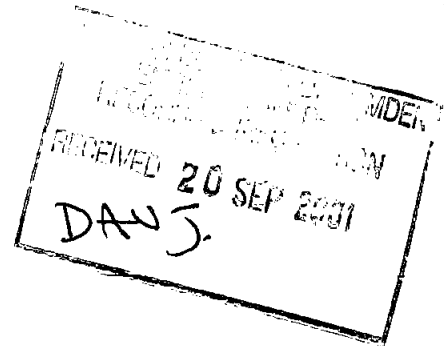
Director Mark Gilks BA(Hons),M.Soc.Sc.,MRTPI



**STEPHEN LEVRANT**  
**HERITAGE ARCHITECTURE LTD**  
*Architects & Historic Building Consultants*

18<sup>th</sup> September, 2001

J. Davies, Esq  
Camden Council Planning Department  
Town Hall  
Argyle Street  
London  
WC1H 8EQ



Dear Mr. Davies,

***Re: Planning Application No. AEX0100429 - Signage, Stables Market, Camden***

It is now some considerable time since our submission for the discharge of conditions on the above application.

As explained to you in our last telephone conversation, negotiations for this application were very lengthy and detailed and since being granted we have met and discussed detail further with Joanna Parker. All comments have been incorporated in the submission now before you.

I understand that there is a meeting on site on Friday the 21<sup>st</sup> of September and I trust that you will have some positive feedback for us at that time. If there is any further information required, please contact Erin Davidson at this office immediately and we will ensure such reasonable data is provided for the meeting.

Yours sincerely,

**Stephen Levrant**  
**for Heritage Architecture Limited**

cc.	<i>Sim</i>	<i>Stables Market</i>
	<i>C. Shaw, Esq</i>	<i>Shaw Corporation</i>
	<i>Ms. B. Magee</i>	<i>Magee Associates</i>

**Development Control  
Planning Services**  
London Borough of Camden  
Town Hall  
Argyle Street  
London WC1H 8ND

Tel 020 7278 4444  
Fax 020 7974 1975

Heritage Architects Ltd.  
ATTN. Erin Davidson  
363 West End Lane  
London  
NW6 1LP

Application No: AEX0100429  
Case File: CA5708//

3rd July 2001

This matter is being dealt with by John Sanchez on 020 7974 2682.

Dear Sir/Madam,

**Acknowledging Receipt of an Application**

We have received your application for advertisement consent dated 7th June 2001, together with the required fee of £0.00 for the property listed below.

Address: Stables Market, Stanley Sidings, Chalk Farm Road, NW1

**The Proposed Work:**

Erection of six signs measuring 1.2 mtrs (h) x 1.8 mtrs (l) mounted on poles measuring 5.98 mtrs in height. Signs to overhang existing wall fronting Chalk Farm Road, (Plans submitted).

We checked and registered the application on 11/06/2001. The application number is set out at the top of this letter.

We make every effort to reach a decision as soon as possible and have set ourselves the target this year of deciding at least 65% of all the applications we receive within 8 weeks. You should therefore receive a decision on your application by 6th August 2001. However, we are legally required to consult on your application, and we may also need to clarify or discuss certain aspects of it, or negotiate revisions with you before we are able to make a recommendation on your proposal. Your application may therefore take longer than the statutory 8 week period to deal with.

If you want to check the progress of your application please contact the officer named above on the telephone number given at the top of the letter. If the officer is unavailable you should be able to leave a message on the Voicemail service or to speak to another officer within the team.





Camden

ENVIRONMENT

Development Control Team

Camden Town Hall  
Argyle Street  
Entrance  
Euston Road  
London WC1H 8ND**APPLICATION FOR CONSENT TO  
DISPLAY ADVERTISEMENTS**Town & Country Planning (Control of Advertisements)  
Regulations 1992

Please read notes overleaf before filling in this form, Complete all sections in BLOCK CAPITALS, and answer every question. (Completed forms (four copies, one of which must be originally signed), plus fee and drawings should be sent to the address overleaf).

I apply for consent to display an advertisement and declare that to the best of my knowledge all the information contained in this form is correct.

Signed

Applicant/Agent (please delete)

Date

FEE (Please delete/insert as appropriate)

- I enclose the application fee of £

by cheque/P.O No:

**FOR FINANCE SECTION USE:**

Receipt No. \_\_\_\_\_

Date \_\_\_\_\_

Payee \_\_\_\_\_

Area: S NW NE

Cheque/PO £ \_\_\_\_\_

**FOR OFFICE USE:**

Case File C/A

Reg. No. CA/

Date Record \_\_\_\_\_

**1****Applicant**Name STABLES MARKETAddress STANLEY SIDINGSCHALK FARM ROADLONDONPost Code NW1 8AH

Tel. No. \_\_\_\_\_

**Agent** (if any) to whom correspondence will be sent.Name HERITAGE ARCHITECTURE LTD.Address 303 WEST END LANEWEST HAMPTSTEADLONDONPost Code NW6 1LPTel. No. 0207 435 7502Contact Name/Ref: ERIN DAVIDSON**2****Address of Application Site.**STABLES MARKET, CHALK FARM ROAD.Post Code NW1 8AH**3****Description of Proposed Advertisement(s)** Tick one or more boxes☐ FASCIA SIGN(S)☒ PROJECTING SIGN(S)☐ HOARDING(S)☐ OTHER SIGN(S)If other please specify: ILLUMINATED; FREESTANDING for which consent is sought: \_\_\_\_\_**4****Type of Application (tick as appropriate).**

a. Will the advertisement(s) be illuminated?

Yes ☒ No ☐

b. If yes, please state the type and location of illumination and degree of luminance (e.g. internally, externally, floodlighting etc.):

INTERNALLY WITHIN METAL FRAMING

c. Will the illumination be static?

If no, please give details of intermittent illuminations:

Yes ☒ No ☐

d. What are the dimensions of the advertisement(s) (including height above ground, extent of projection etc.):

14280mm ABOVE GROUND - DWG SP22  
1800mm x 1420mm - SIGN DIMENSIONS

e. In the case of a building, state the position to be occupied by the advertisement(s):

f. Specify materials and colours of proposed sign(s):

METAL - NATURAL

g. List all plans and drawings submitted:

Enclose photographs of the existing building if possible.

ST001-ST008 / ST013-ST021 + PHOTO6.LONDON BOROUGH OF CAMDEN  
ENVIRONMENT  
11 JUN 2001  
RECEIVED

5

**Site Ownership and Use**

a. Does the applicant own the land or buildings concerned?

Yes ☒ No ☐

b. If no, has the permission of the owner or any other person entitled to give permission for the display of the advertisement been obtained?

Yes ☐ No ☐

c. What is the purpose for which the land or buildings is now used? \_\_\_\_\_

6

Is the applicant/agent related to either a member of the Council or any Council employee

Yes ☐ No ☒

London Borough of Camden  
Planning Service  
Environment Department

**A Guide to applicants who wish to obtain consent to display an Advertisement**

Many forms of advertising and display are subject to control under the Town & Country Planning (Control of Advertisements) Regulations 1989 (as amended) and specific consent may need to be obtained from the Council. Most illuminated advertisements require the consent of the Council. Furthermore, if an application for consent to display an advertisement relates to a listed building, it is likely that a further application will be required for listed building consent. Forms for this consent are available from the address given at the bottom of this form. Most applications for consent to display an advertisement require a fee. The correct fee must be submitted before your application will be dealt with. Please see the enclosed fee form for details.

**Notes:**

1

**Name and Address of Applicant/Agent**

If the form is completed by an agent all correspondence from the Council will be sent to him/her. Please give a contact name or reference.

2

**Address of Application Site**

The application should be accompanied by a plan or sketch preferably to a scale of 1:1250 showing the site to which it refers and its boundary and relationship to adjoining property. The application site should be edged in red and any adjoining land owned by the applicant edged in blue. A photograph of the site indicating the location of the proposed sign should also be submitted if possible to assist in securing a speedy decision.

3

**Description of Proposed Advertisement**

Please tick the appropriate box or boxes. If your proposal does not fall within any of the specified categories, please describe the advertisement in the space available. Consent to display an advertisement is normally for a five year period only: however, if you require a sign for a shorter temporary period, please specify the period for which consent is sought.

4

**Details of Proposed Advertisement**

Please specify the type of illumination, dimensions and location of the proposed advertisement and its relationship to the overall building. Drawings to a scale of not less than 1:50 are required showing the existing and proposed works, with the new works for which consent is sought, clearly marked. The materials to be used and the type of illumination should be indicated on the drawing. A section should be included if the sign is to be projecting or a fascia sign is proposed. All plans and drawings submitted for approval should be identified by a distinctive reference number. Four copies of all plans should be submitted. The Council may require further information to enable it to determine the application. If the building in question is listed it will normally be necessary for you to gain listed building consent for display of the proposed advertisement. Application forms are available from the address at the bottom of the form.

5

**Site Ownership and Use**

It is a condition of every consent granted by or under the Regulations that, before displaying the advertisement for which consent is given, the permission of the owner of the land or other person entitled to grant permission shall be obtained.

If you wish to enclose any additional information, please do so in the form of a covering letter.

**You are reminded that the Council will not progress your application if insufficient information is submitted.**

**Please send your completed form (with four copies), the correct fee, and five sets of drawings to:**

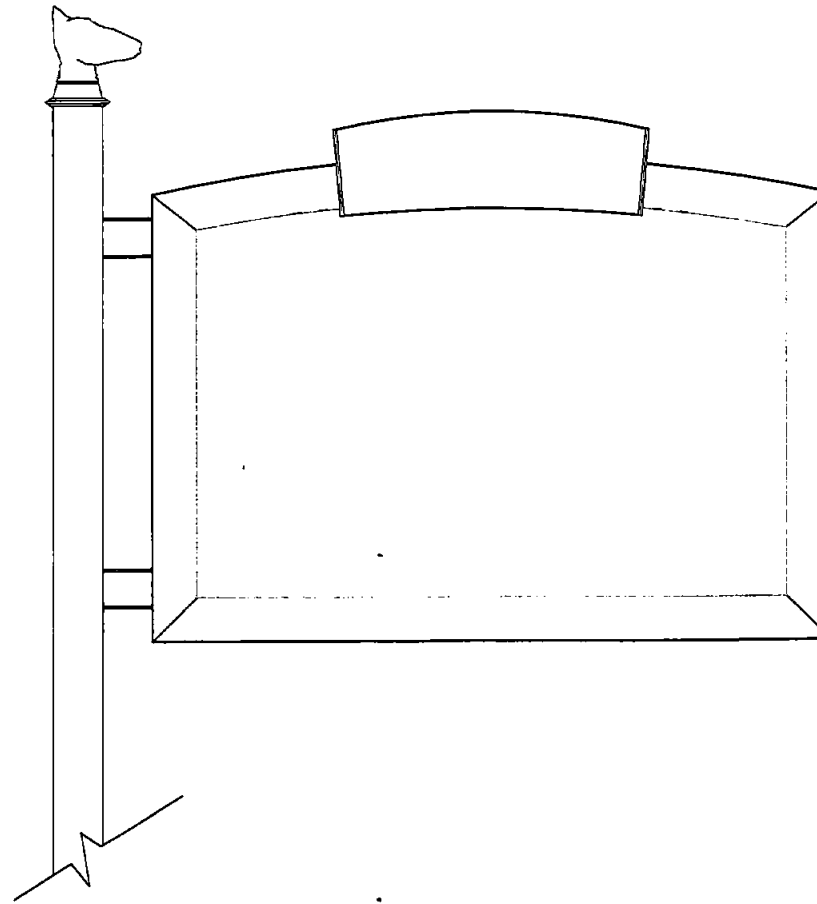
Planning, Development Control  
Environment Department  
Camden Town Hall  
Argyle Street Entrance  
Euston Road  
London WC1H 8ND

or by hand to One Stop Reception/Enquiry Desk, 5th Floor, at the above address



Published by  
Environment Department,  
London Borough of Camden  
September 1998

**Stables Market- Drawing List**  
**March 2001**[illegible]



**GENERAL NOTES:**

- This drawing is the rough guidance for the sign maker.
- exact dimensions of metal gauge is an estimate, and is up to the discretion of the sign maker.
- lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

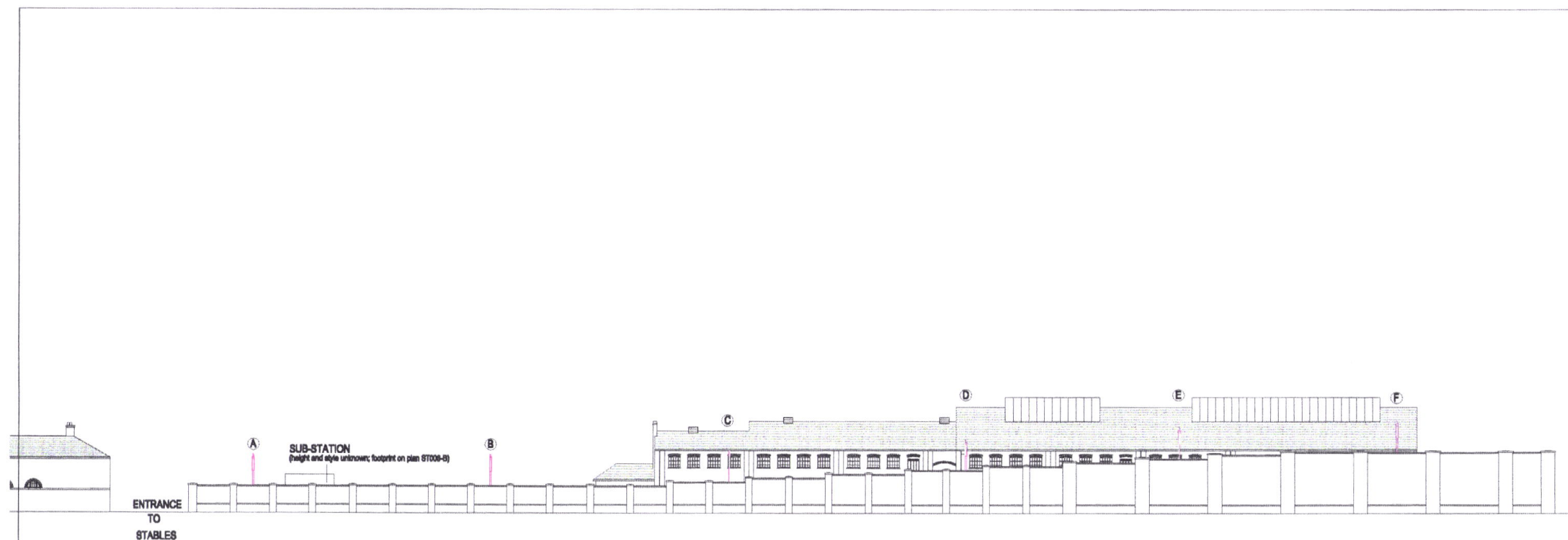
**CLIENT:**  
**STABLES MARKETS**  
**CAMDEN TOWN**

**Stephen Levrant Heritage Architecture**  
**363 Heritage Architecture**  
**West Hampstead, London**  
**NW6 1LP**  
**(tel) 0207 435 7502 (fax) 0207 794 9712**

**SCALE:**  
**1:20**

**DWG No.**  
**ST001-B**

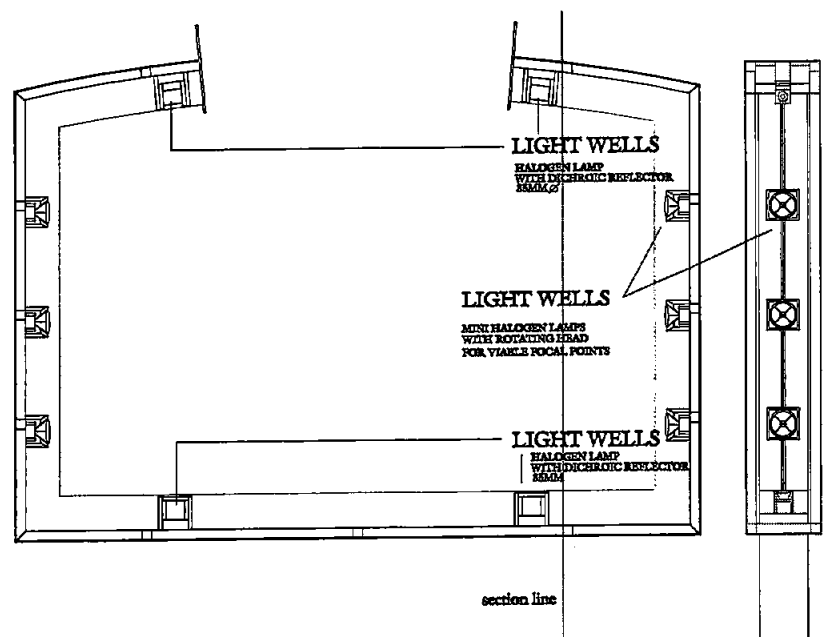
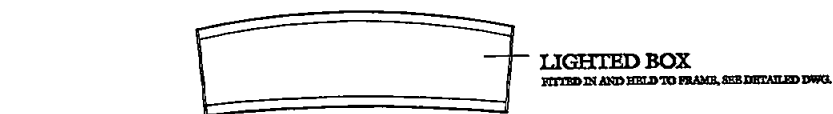
**Front Elevation**



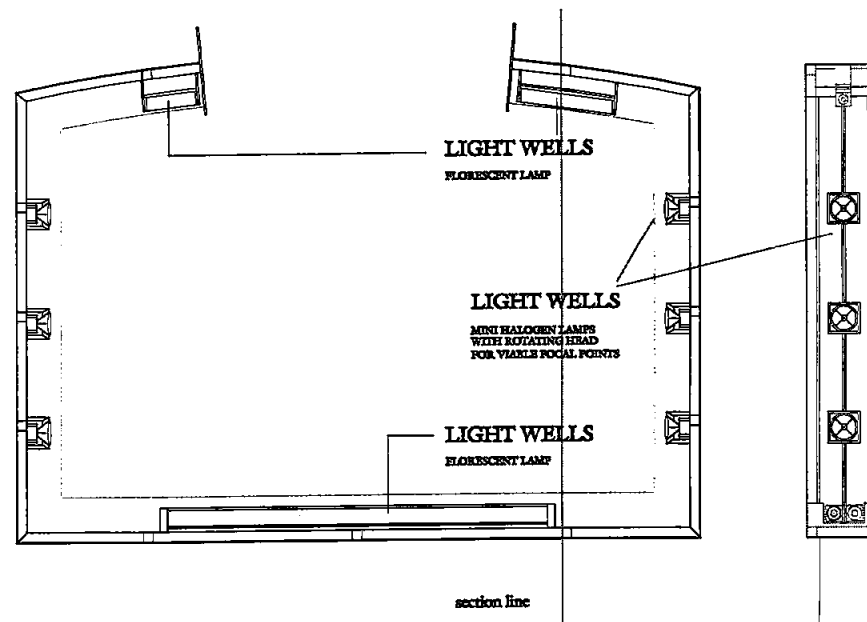
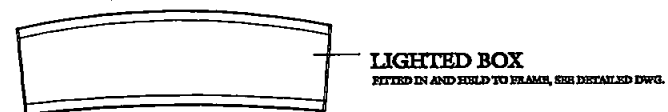
<b>GENERAL NOTES:</b>  TYPICAL SECTION THROUGH SITE REFER TO DWGS: ST010-A (pole A); ST011 (pole F)  DISTANCE BETWEEN SIGNS IS : A-B, B-C, C-D O/C = 24, 420mm D-E O/C = 21,830mm E-F O/C = 22,581mm		<b>CLIENT:</b> STABLES MARKETS CAMDEN TOWN		<b>KEY</b>  SIGN POST, OVERHANGING WALL			Stephen Levrant Heritage Architecture 383 Heritage Architecture West Hampstead, London NW8 1LP (tel) 0207 435 7502 (fax) 0207 794 9712	
<b>SCALE:</b> 1:500		<b>DWG No.</b> ST013	<b>ELEVATION</b> SIGN LOCATION DRAWING	<b>PRELIMINARY</b>				



Proposal for new signage along Chalk Farm Road. What now appears to be a void in the middle will actually have an object/logo hanging within. Please refer to full set of drawings for more information



OPTION A



OPTION B

**GENERAL NOTES:**

- This drawing is the rough guidance for the sign maker.
- exact dimensions of metal gauge is an estimate, and is up to the discretion of the sign maker.
- lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

**CLIENT:**  
STABLES MARKETS  
CAMDEN TOWN

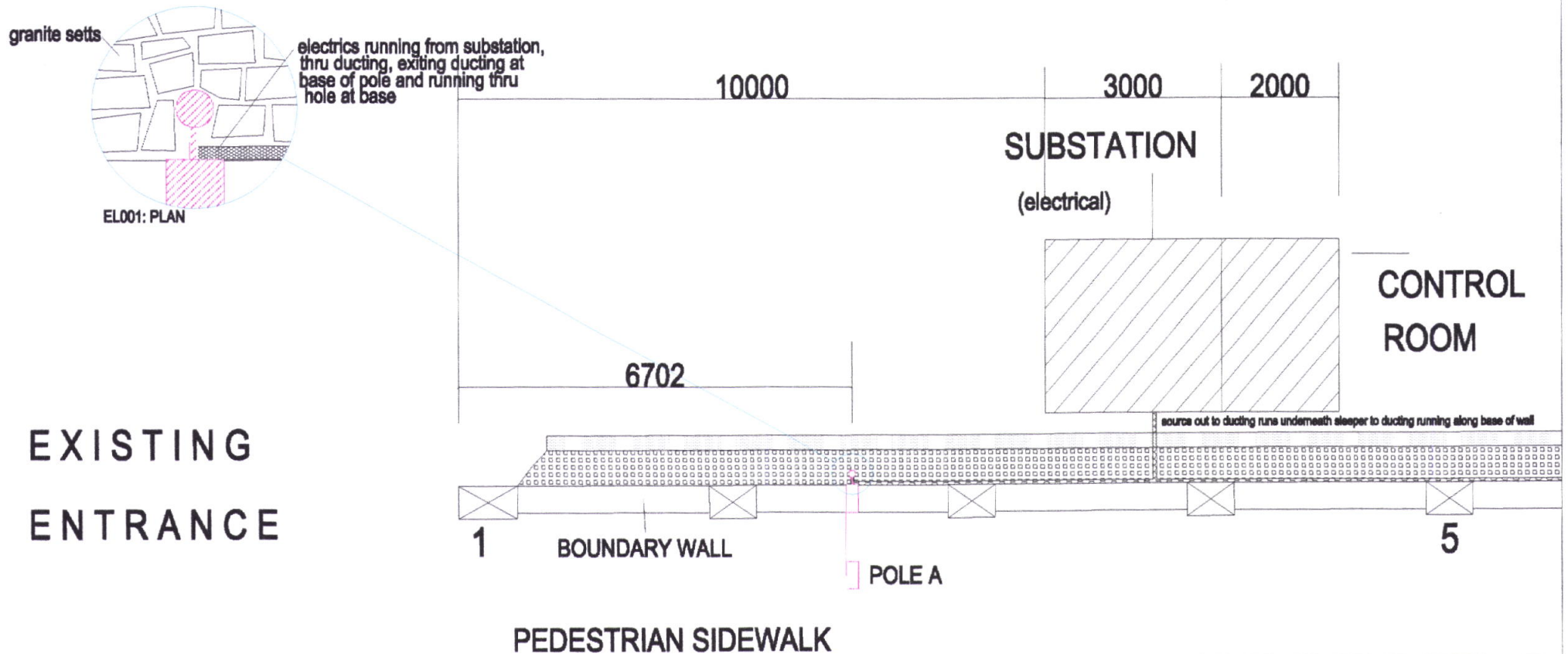
Stephen Levrant Heritage Architecture  
363 West End Lane  
West Hampstead, London  
NW6 1LP  
(tel) 0207 435 7502 (fax) 0207 794 9712

**SCALE:**  
1:20

**DWG No.**  
ST003-B

Lighting Options A&B

# CHALK FARM ROAD BUILDING



## GENERAL NOTES:

-Typical Section Dwg: Pole A(ST010-A); Pole F (ST011)  
-refer to dwg ST008-A for complete layout of poles

-lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

-62mmX42mm electrical ducting to run along wall in brick joints until point (X) and then continues beneath granite setts.

CLIENT:  
STABLES MARKETS  
CAMDEN TOWN

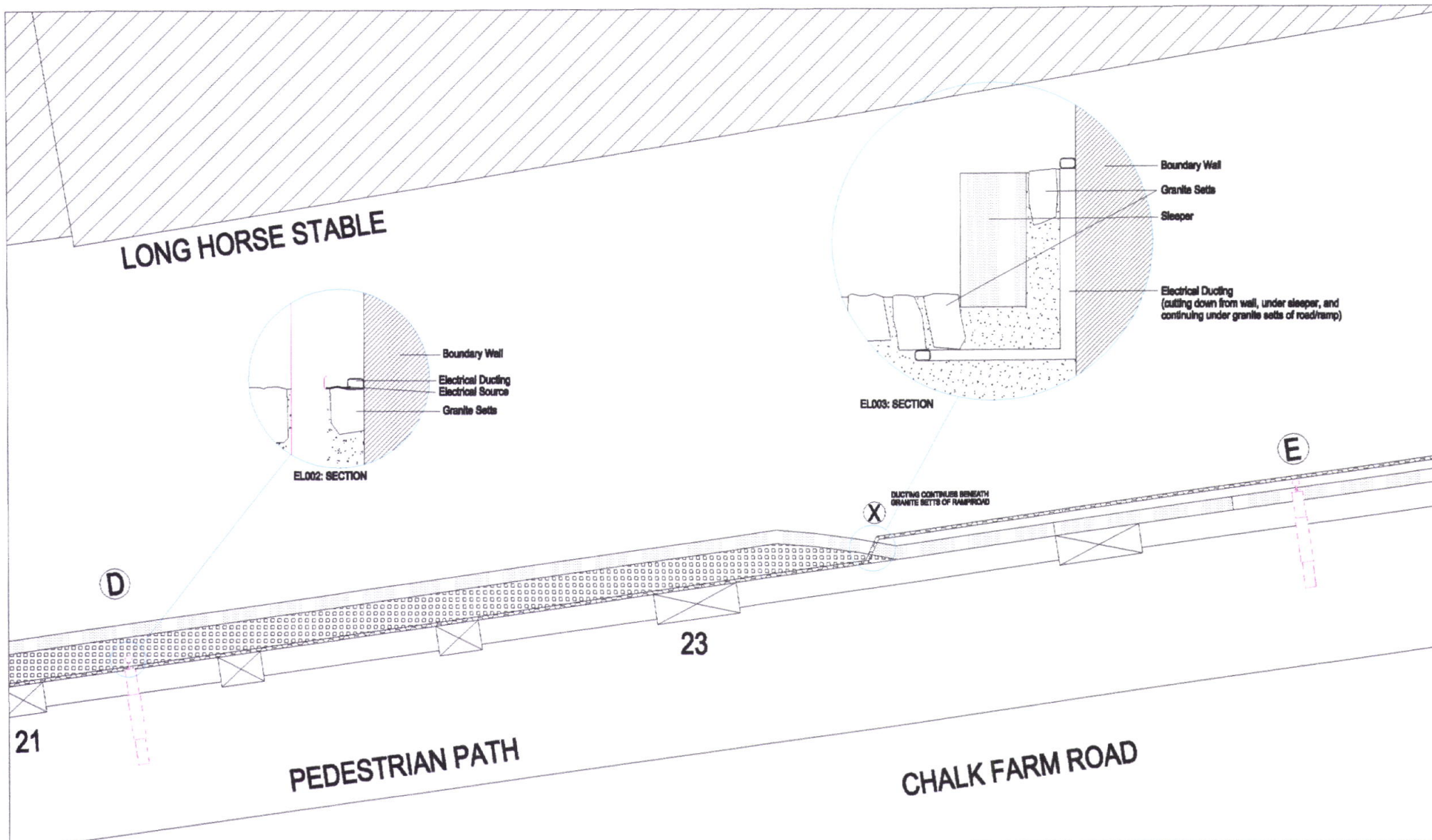
SCALE:  
1:100




Dwg. No.  
ST007-B

electrical ducting  
sleeper stone  
granite setts between boundary wall and sleeper stone  
numeric numbering of pillars  
all of ground surface within stables proper is of granite setts.

Plan: Pole A  
including electrical data

Stephen Levrant Heritage Architecture  
363 West End Lane  
West Hampstead, London  
NW6 1LP  
(tel) 020 7435 7502 (fax) 020 7794 9712



<p><b>GENERAL NOTES:</b></p> <p>-Typical Section Dwg: Pole A(ST010-A); Pole F (ST011)</p> <p>-refer to dwg ST008-A for complete layout of poles</p> <p>-lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.</p> <p>-62mmX42mm electrical ducting to run along wall in brick joints until point (X) and then continues beneath granite setts.</p>	<p><b>CLIENT:</b></p> <p>STABLES MARKETS</p> <p>CAMDEN TOWN</p>	<p>  electrical ducting   sleeper stone   granite setts    <b>21/23</b> numeric numbering of pillars         </p>	<p>Stephen Levrant Heritage Architecture</p> <p>363 West End Lane</p> <p>West Hamptead, London</p> <p>NW6 1LP</p> <p>(tel) 020 7436 7502 (fax)020 7794 9712</p>
	<p><b>SCALE:</b></p> <p>1:100</p>	<p><b>Dwg. No.</b></p> <p>ST008-B</p>	<p><b>Plan: Pole D &amp; E</b></p> <p>including electrical data</p>



**GENERAL NOTES:**

-Typical Section Dwg: Pole A(ST010-A); Pole F (ST011)

-refer to dwg ST008-A for complete layout of poles

-lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

-distance between signs: A-B, B-C, C-D; O/C = 24, 420mm

D-E; O/C = 21,830mm, E-F; O/C = 22,561mm

**CLIENT:**

STABLES MARKETS

CAMDEN TOWN

SCALE:

1:100

Dwg. No.

ST015

ELEVATION DETAIL

POLE B - C

Stephen Levrant Heritage Architecture

363 West End Lane

West Hampstead, London

NW6 1LP

(tel) 020 7435 7502 (fax)020 7794 9712



**GENERAL NOTES:**

-Typical Section Dwgs: Pole A(ST010-A); Pole F (ST011)

-refer to dwg ST008-A for complete layout of poles

-lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

-distance between signs: A-B, B-C, C-D; O/C = 24, 420mm

D-E; O/C = 21,830mm, E-F; O/C = 22,561mm

**CLIENT:**

STABLES MARKETS

CAMDEN TOWN

SCALE:  
1:100

Dwg. No.  
ST016

ELEVATION DETAIL  
POLE C - D

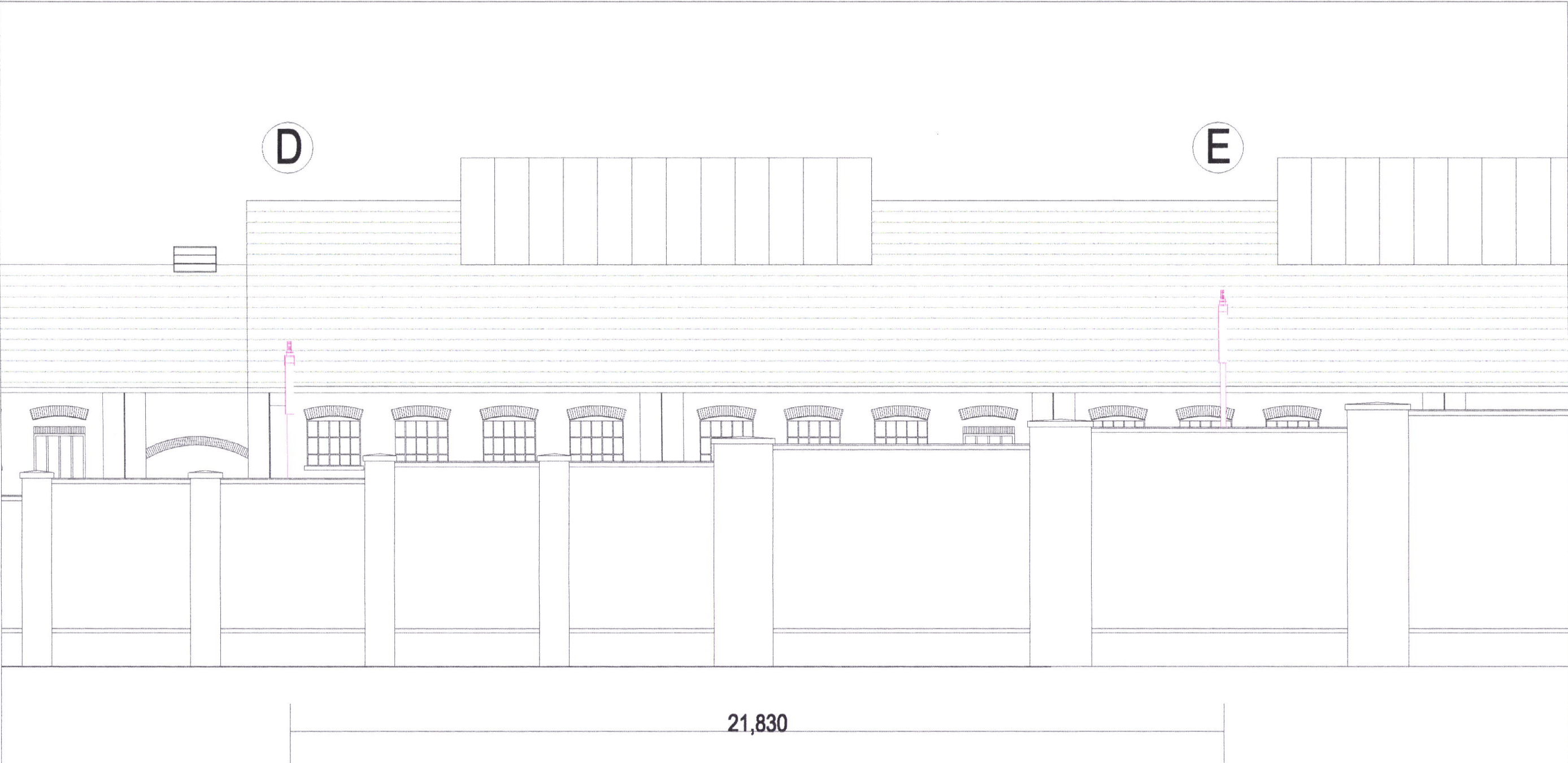
Stephen Levrant Heritage Architecture

363 West End Lane

West Hamptead, London

NW6 1LP

(tel) 020 7435 7502 (fax)020 7794 9712



**GENERAL NOTES:**

- Typical Section Dwgs: Pole A(ST010-A); Pole F (ST011)
- refer to dwg ST008-A for complete layout of poles
- lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.
- distance between signs: A-B, B-C, C-D; O/C = 24, 420mm
- D-E; O/C = 21,830mm, E-F; O/C = 22,561mm

**CLIENT:**  
**STABLES MARKETS**  
**CAMDEN TOWN**

**SCALE:**  
1:100

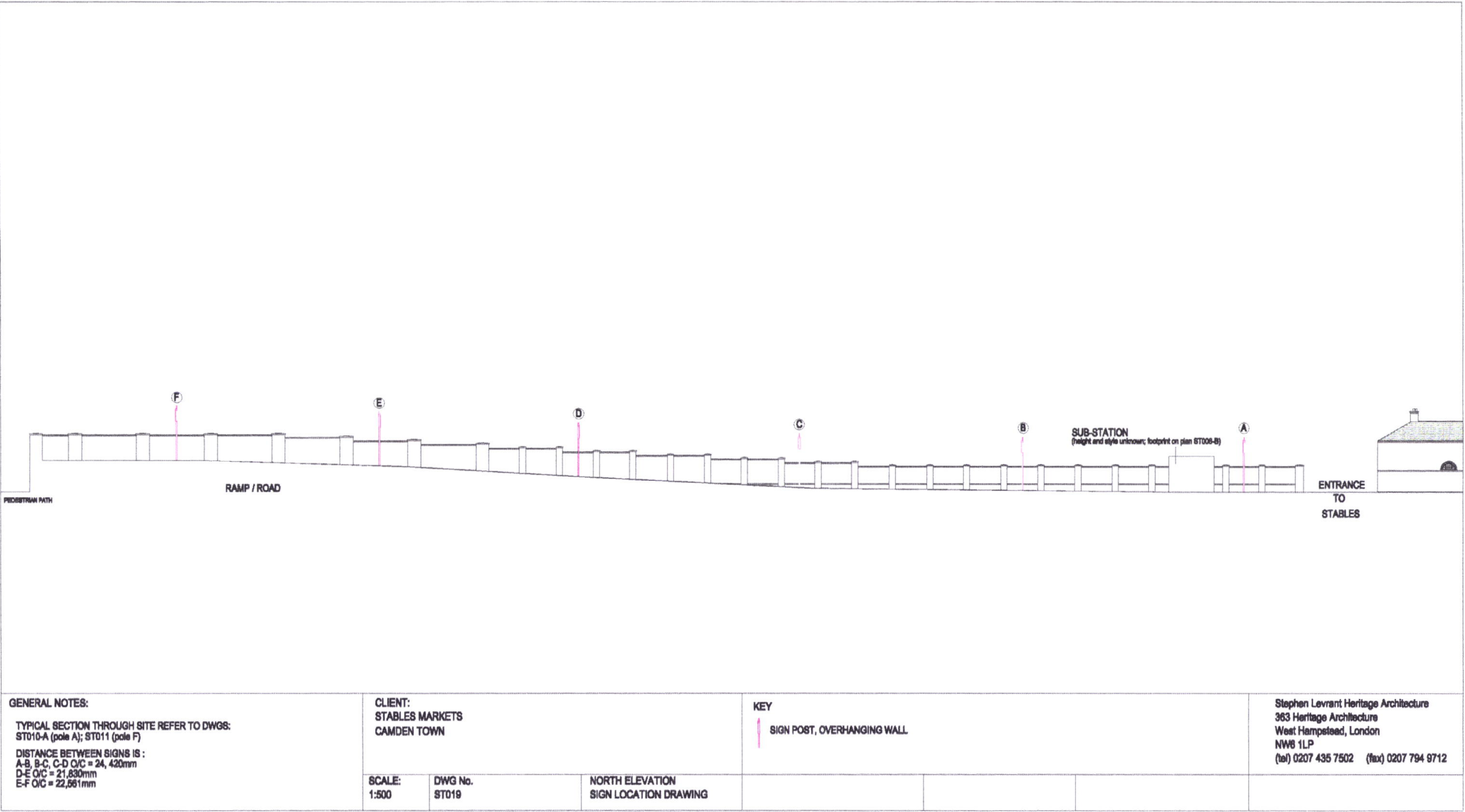
**Dwg. No.**  
ST017

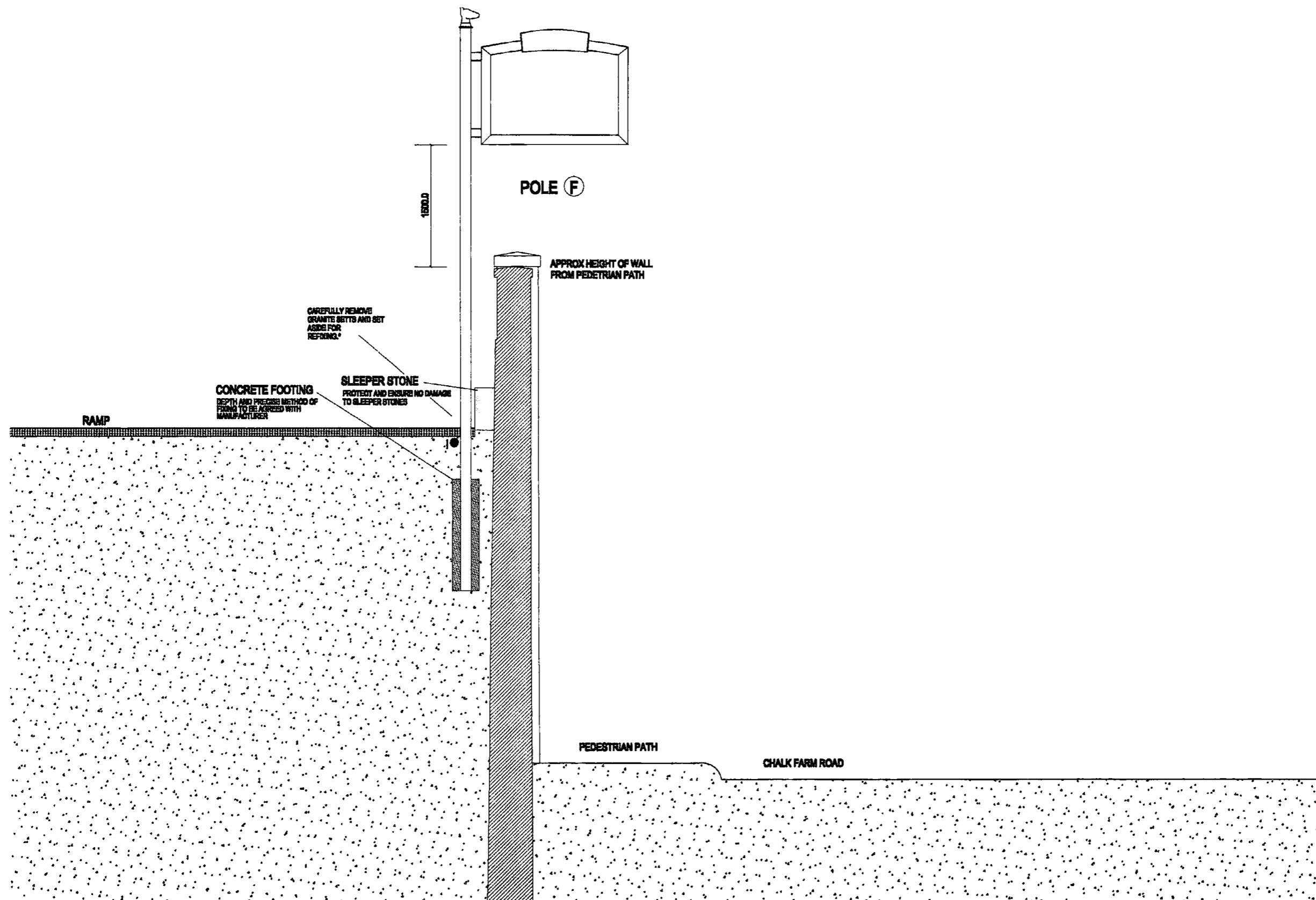
**ELEVATION DETAIL**  
**POLE D - E**

**Stephen Levrant Heritage Architecture**  
**363 West End Lane**  
**West Hampstead, London**  
**NW6 1LP**  
**(tel) 020 7435 7502 (fax)020 7794 9712**



<b>GENERAL NOTES:</b> -Typical Section Dwgs: Pole A(ST010-A); Pole F (ST011) -refer to dwg ST008-A for complete layout of poles -lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist. -distance between signs: A-B, B-C, C-D; O/C = 24, 420mm D-E; O/C = 21,830mm, E-F; O/C = 22,561mm	<b>CLIENT:</b> STABLES MARKETS CAMDEN TOWN		Stephen Levrant Heritage Architecture 363 West End Lane West Hamptead, London NW6 1LP (tel) 020 7435 7502    (fax)020 7794 9712	
	<b>SCALE:</b> 1:100	<b>Dwg. No.</b> ST018	<b>ELEVATION DETAIL</b> POLE E - F	





#### GENERAL NOTES:

-This drawing is the rough guidance for the sign maker.  
-exact dimensions of metal gauge is an estimate, and is up to the discretion of the sign maker  
-lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist

\*SETTS to be removed carefully and replace as existing. HOWEVER, no sets shall be broken to make place for the 100mm Ø pole. After installation only one set should be missing.

1 - 100mm Ø electrical ducting, sunken under granite sets ~100mm and/or to the discretion of the lighting specialist and Stables Electrician

CLIENT:  
STABLES MARKETS  
CAMDEN TOWN

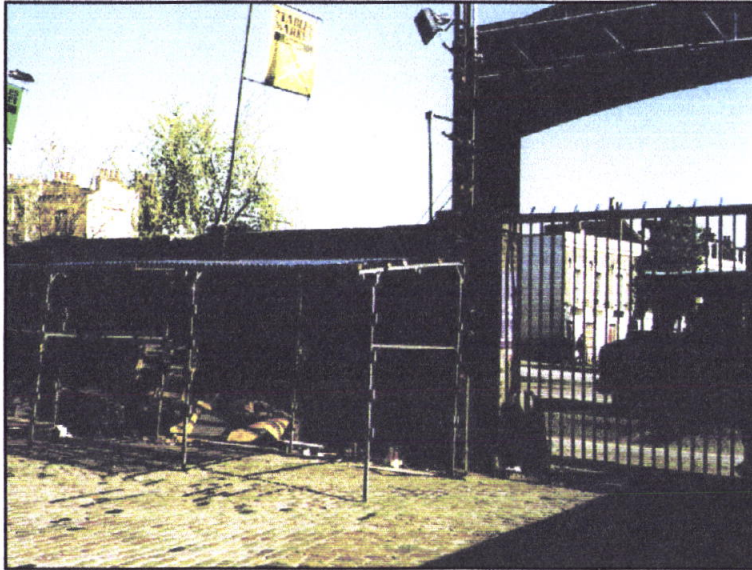
SCALE:  
1:50

DWG No.  
ST021

TYPICAL SECTION  
(near pole F)

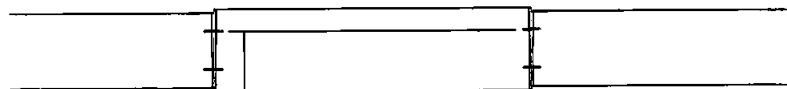
Stephen Levrant Heritage Architecture  
363 Heritage Architecture  
West Hampstead, London  
NW8 1LP  
(tel) 0207 435 7502 (fax) 0207 794 8712

DATE



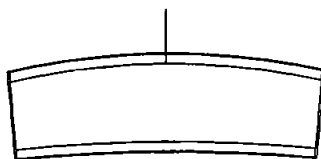
Existing Signage along Chalk Farm Road.  
-Banners are attached directly to the walls, are constructed poorly, and have deteriorated structurally, and aesthetically.





METAL PINS TO HOLD  
CENTRE LIGHT BOX

LOGO BACKLIT

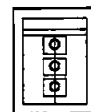


LIGHT BOX HELD  
IN BETWEEN METAL PLATES



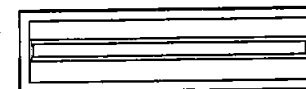
DETAIL OF ASSEMBLY

SELF CONTAINED LIGHT BOX  
1'X1' STEEL FRAME, CLAD IN STAINLESS STEEL  
LETTERS CUT FROM METAL, AND BACKLIT



LIGHT SOURCE  
CONTAINED IN  
BOX.

FLUORESCENT TUBES  
Ø 26mm



SECTION, SHOWING LIGHTS AND CONSTRUCTION

#### GENERAL NOTES:

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- exact dimensions of metal gauge is an estimate, and is up to the discretion of the sign maker.
- lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

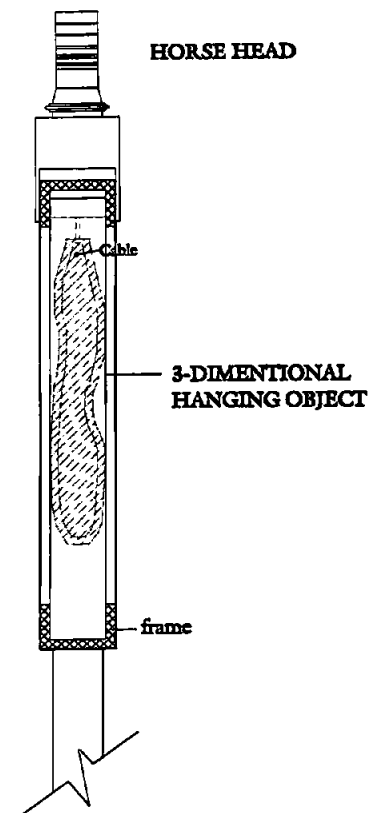
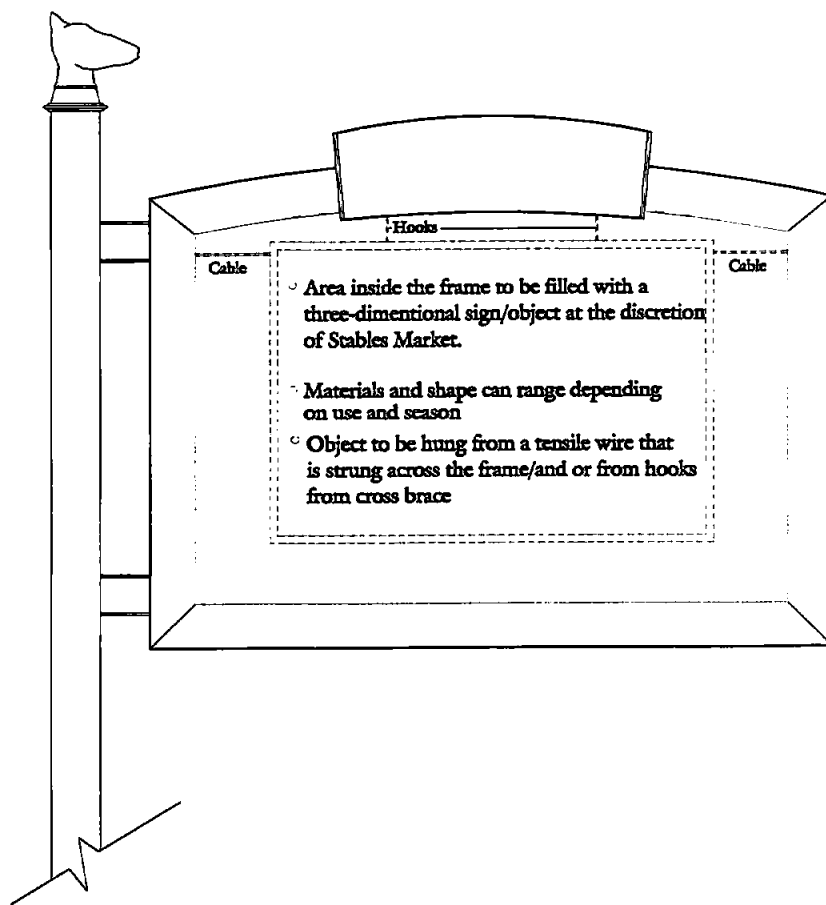
CLIENT:  
STABLES MARKETS  
CAMDEN TOWN

Stephen Levrant Heritage Architecture  
363 West End Lane  
West Hampstead, London  
NW6 1LP  
(tel) 0207 435 7502 (fax) 0207 794 9712

SCALE:  
1:20

DWG No.  
ST004-B

Detail of LOGO Box



#### GENERAL NOTES:

-This drawing is the rough guidance for the sign maker.  
 -exact dimensions of metal gauge is an estimate, and is up to the discretion of the sign maker.  
 -lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

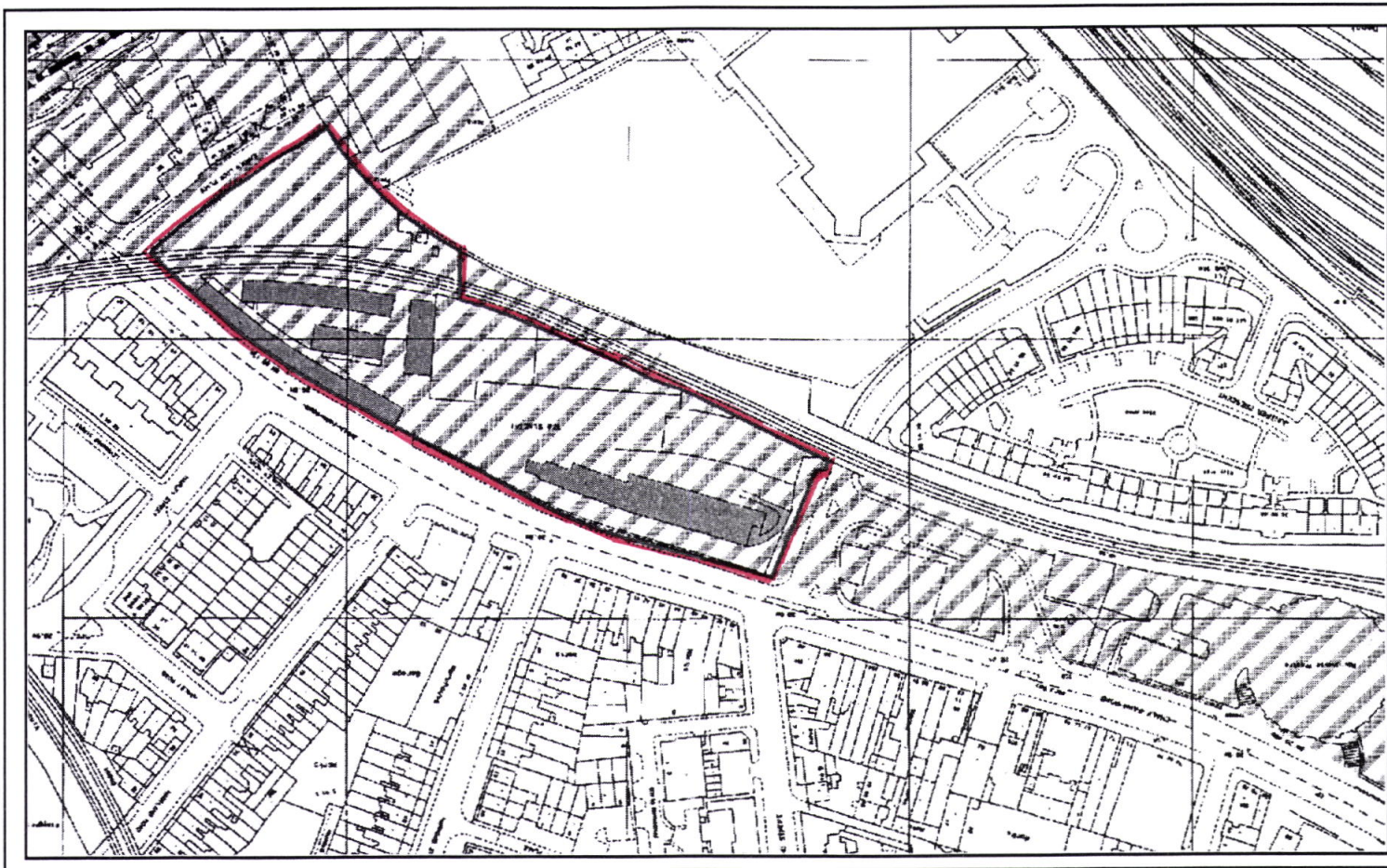
CLIENT:  
 STABLES MARKETS  
 CAMDEN TOWN

SCALE:  
 1:20

DWG No.  
 ST005-B

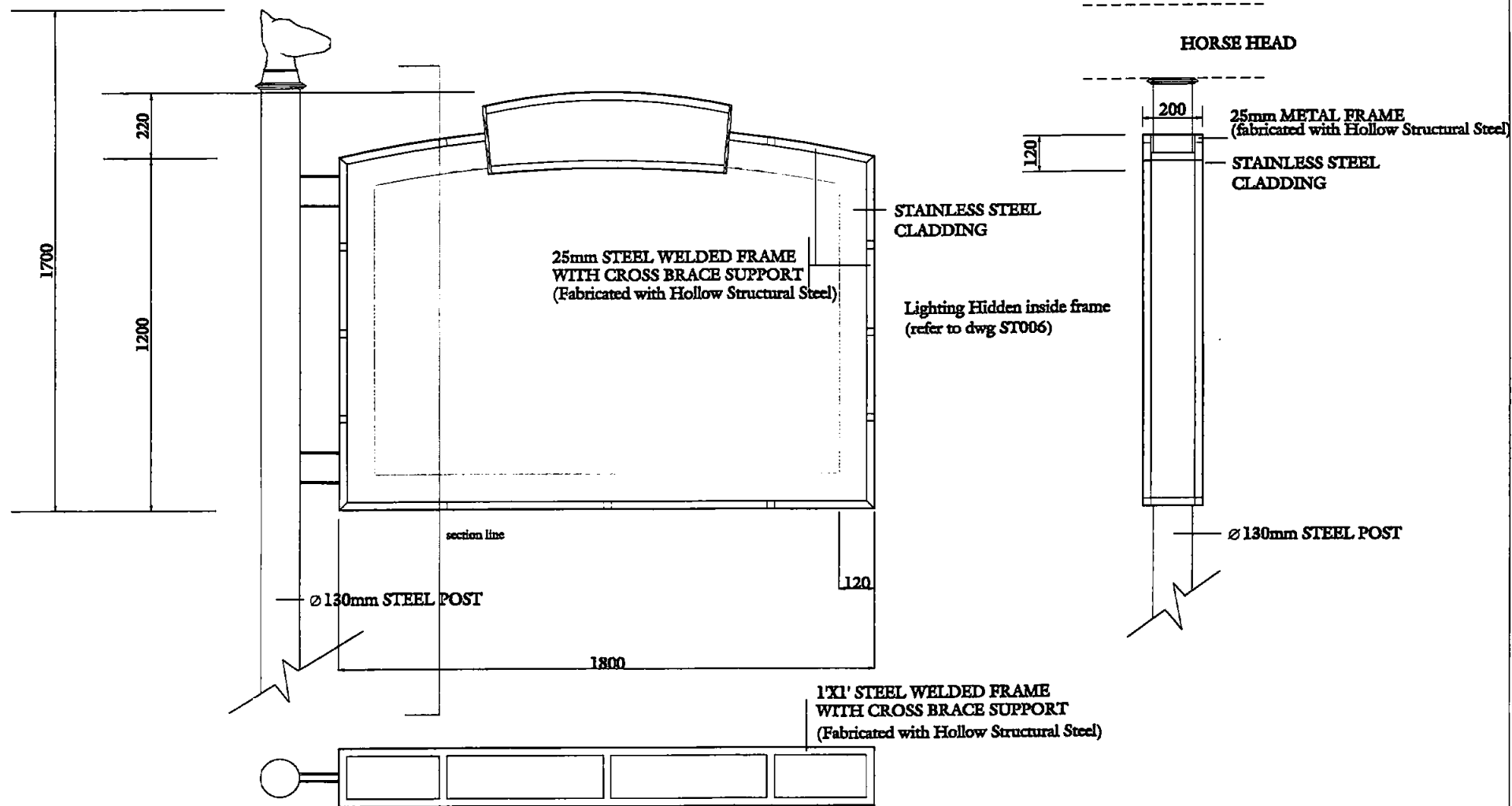
SIGN INFORMATION

Stephen Levrant Heritage Architecture  
 363 Heritage Architecture  
 West Hampstead, London  
 NW6 1LP  
 (tel) 0207 435 7502 (fax) 0207 794 9712



Site Plan: Stables Market, NW1  
Scale: 1:1250  
May 30, 2001

Stephen Levrant Heritage Architecture  
363 West End Lane, West Hampstead  
London, NW6 1LP  
(t) 0207 435 7502 (f) 0207 794 9712



#### GENERAL NOTES:

- This drawing is the rough guidance for the sign maker.
- exact dimensions of metal gauge is an estimate, and is up to the discretion of the sign maker.
- lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

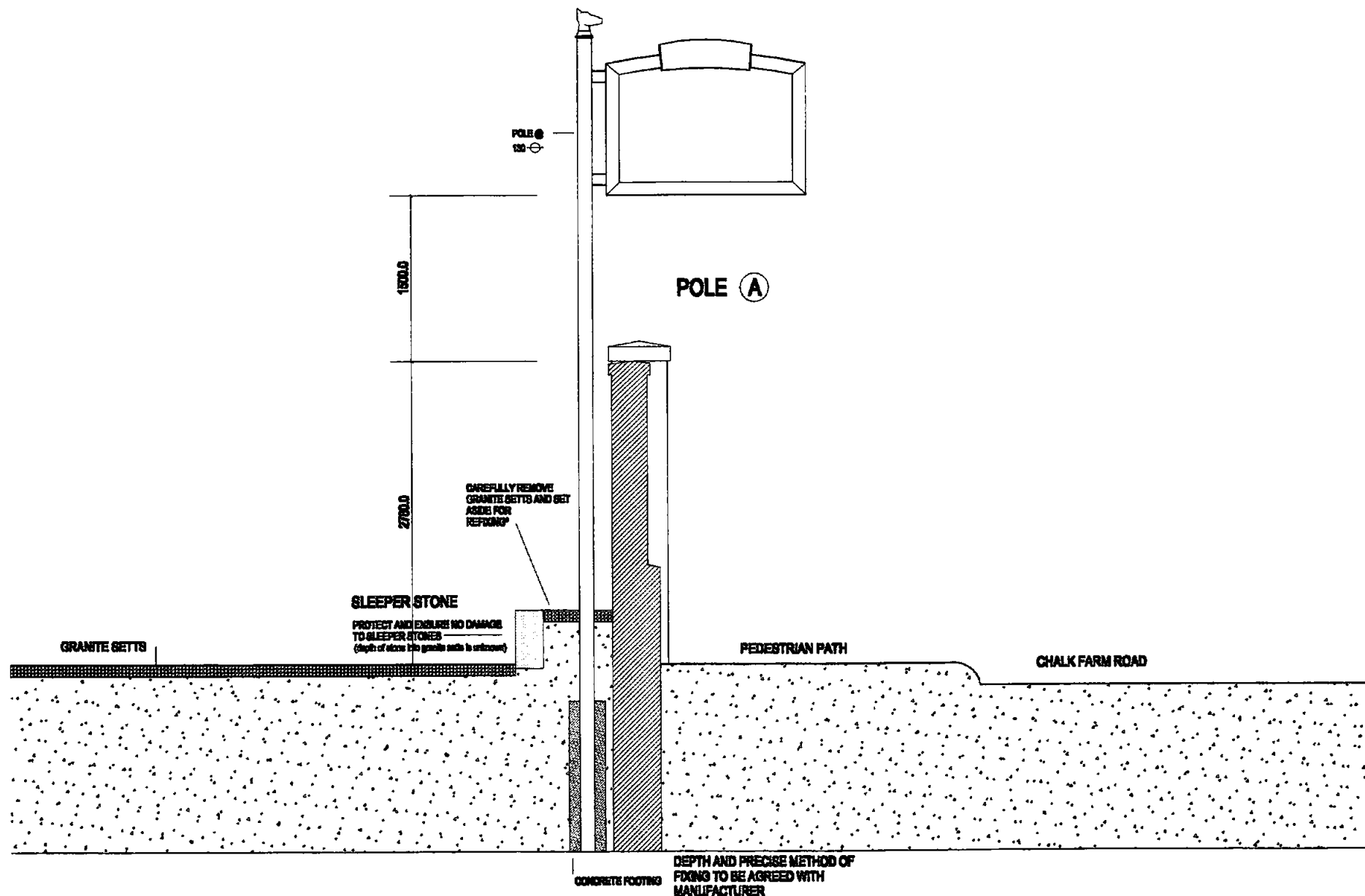
CLIENT:  
STABLES MARKETS  
CAMDEN TOWN

SCALE:  
1:20

DWG No.  
ST002-B

Construction Section

Stephen Levant Heritage Architecture  
363 West End Lane  
West Hampstead, London  
NW6 1LP  
(tel) 0207 435 7502 (fax) 0207 794 9712



#### GENERAL NOTES:

- This drawing is the rough guidance for the sign maker.
- exact dimensions of metal gauge is an estimate, and is up to the discretion of the sign maker
- lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist

\*granite setts to be removed carefully and laid back into soil as existing. HOWEVER, none of the setts shall be broken for the pole, but laid back around the base of the pole. (refer to dwg. ST013)

CLIENT:  
STABLES MARKETS  
CAMDEN TOWN

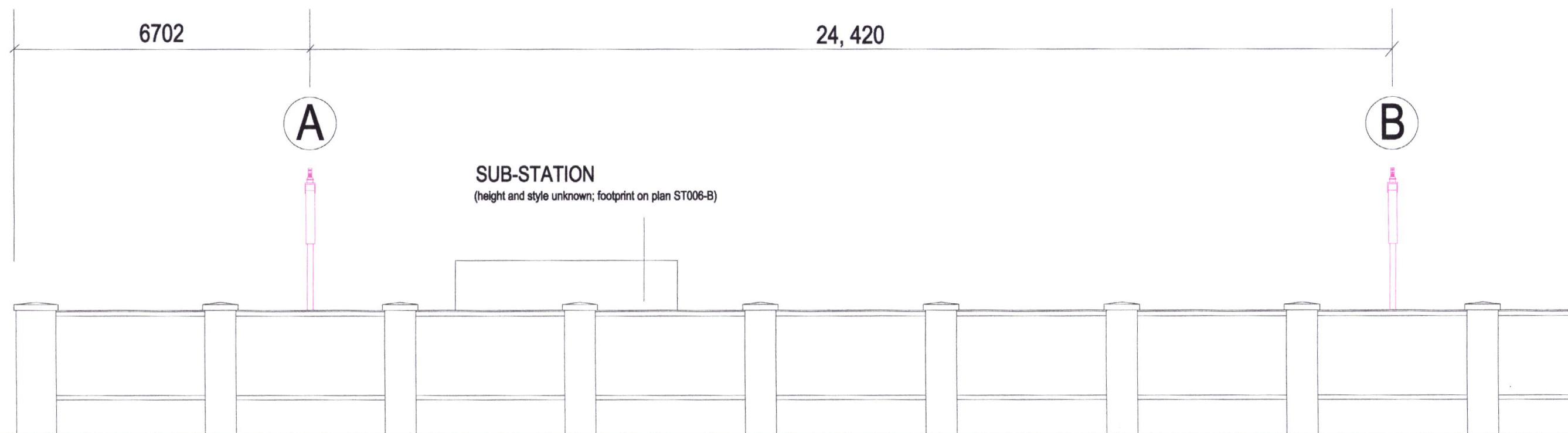
Stephen Levrant Heritage Architecture  
363 Heritage Architecture  
West Hampstead, London  
NW6 1LP  
(tel) 0207 435 7502 (fax) 0207 784 8712

SCALE:  
1:50

DWG No.  
ST020

TYPICAL SECTION  
Through Wall, Near Pole A

DATE  
March 15, 2001



ENTRANCE  
TO  
STABLES

**GENERAL NOTES:**

-Typical Section Dwgs: Pole A(ST010-A); Pole F (ST011)  
-refer to dwg ST008-A for complete layout of poles

-lighting fixtures, and their dimensions will be left to the discretion of the lighting specialist.

-distance between signs: A-B, B-C, C-D; O/C = 24, 420mm  
D-E; O/C = 21,830mm, E-F; O/C = 22,561mm

**CLIENT:**

STABLES MARKETS  
CAMDEN TOWN

SCALE:  
1:100

Dwg. No.  
ST014

ELEVATION DETAIL  
POLE A-B

**Stephen Levrant Heritage Architecture**

363 West End Lane  
West Hampstead, London  
NW6 1LP

(tel) 020 7435 7502 (fax)020 7794 9712