

Application ref: 2018/3398/P
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Date: 18 September 2018

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Twinning Design
157d St Pancras Way
London
NW1 0SY

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

**1 Meadowbank
London
NW3 3AY**

Proposal: Front infill extension at lower ground floor level and replacement of garage door with window in association with conversion of garage to habitable floorspace; replacement of existing third floor extension; alterations to fenestration on all elevations including installation of 2no. windows on side elevation and enlargement of rear windows at fourth floor level.

Drawing Nos: GA-SITE-00; GA-EX-PL-00 A; GA-EX-PL-01 A; GA-EX-PL-02 A; GA-EX-PL-03 A; GA-EX-PL-04 A; GA-EX-PL-05 A; GA-EX-PL-06 A; GA-EX-EL-01 A; GA-EX-EL-02 A; GA-EX-EL-03 A; GA-EX-SEC-01 A; GA-DM-PL-01 A; GA-DM-PL-02 A; GA-DM-PL-03 A; GA-DM-PL-04 A; GA-DM-PL-05 A; GA-DM-PL-06 A; GA-DM-EL-01 A; GA-DM-EL-02 A; GA-DM-EL-03 A; GA-DM-SEC-01 A; GA-PR-PL-00 C; GA-PR-PL-01 B; GA-PR-PL-02 A; GA-PR-PL-03 A; GA-PR-PL-04 A; GA-PR-PL-05 B; GA-PR-PL-07 C; GA-PR-EL-01 D; GA-PR-EL-02 C; GA-PR-EL-03 C; GA-PR-SEC-01 C; Design and Access Statement prepared by Twinning Design (dated July 2018).

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of

three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: GA-SITE-00; GA-EX-PL-00 A; GA-EX-PL-01 A; GA-EX-PL-02 A; GA-EX-PL-03 A; GA-EX-PL-04 A; GA-EX-PL-05 A; GA-EX-PL-06 A; GA-EX-EL-01 A; GA-EX-EL-02 A; GA-EX-EL-03 A; GA-EX-SEC-01 A; GA-DM-PL-01 A; GA-DM-PL-02 A; GA-DM-PL-03 A; GA-DM-PL-04 A; GA-DM-PL-05 A; GA-DM-PL-06 A; GA-DM-EL-01 A; GA-DM-EL-02 A; GA-DM-EL-03 A; GA-DM-SEC-01 A; GA-PR-PL-00 C; GA-PR-PL-01 B; GA-PR-PL-02 A; GA-PR-PL-03 A; GA-PR-PL-04 A; GA-PR-PL-05 B; GA-PR-PL-07 C; GA-PR-EL-01 D; GA-PR-EL-02 C; GA-PR-EL-03 C; GA-PR-SEC-01 C; Design and Access Statement prepared by Twinning Design (dated July 2018).

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission.

At lower ground floor level, the garage would be converted into habitable floorspace with the existing set-back infilled and the garage door replaced by a horizontal casement window. Importantly, the brick plinth would be retained which is considered to be an important repetitive element to the architectural language of Meadowbank that most properties have retained. The works at this level are considered to be acceptable alterations that correspond with work carried out at several other properties along Meadowbank.

At roof level, it is proposed to refurbish the existing conservatory extension. The footprint would remain the same and the extension would not become a more prominent addition to what is a generally unobstructed roofline.

At roof level to the rear, the existing window openings would be enlarged to relate to the original apertures before many properties infilled their rear roof space. The proposed window openings would match fenestration alterations recently carried out at no.7, 8 and 20 Meadowbank and is acceptable.

Two new vertical windows would be installed on the side elevation at third floor level which are not considered to detract from the character or appearance of the property. No.8 Meadowbank at the opposite end of the building group has recently installed vertical flank wall windows.

UPVC windows to the front and rear are to be replaced with aluminium framed double glazed casements which would allow the building to better relate to the more contemporary existing side extension and improve the appearance of the building generally.

Given the distance between the nearest neighbour and the two new window openings on the side elevation, no loss of privacy would result. The proposal is not considered to cause any adverse impact on the amenity of adjoining residential occupiers.

No objections have been received prior to making this decision. The planning history of the site has been taken into account when coming to this decision.

As such, the proposed development is in general accordance with policies A1 and D1 and of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework.

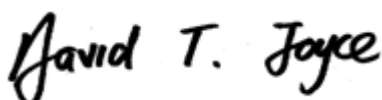
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning