

13 September 2018

By Planning Portal (PP-07279916) and Email (Obote.Hope@camden.gov.uk)

London Borough of Camden
Development Management
Regeneration and Planning
London Borough of Camden
Judd Street
London
WC1H 8ND

Application ref. 2018/2678/NEW
(Previous Portal ref. PP-07000413)

For the attention of: Obote Hope

Dear Sir

49-51 Farringdon Road, London, EC1M 3JP

Planning Permission for:

"Internal and external alterations, extensions and reconfiguration of building to provide a replacement roof extension at fifth floor level; a first floor rear extension; internal reconfiguration and extension of retail (A1), healthcare (D1) and office (B1a) uses with an overall uplift of 115sq.m (GIA); restoration of facade and upgrading of shopfront; alterations to rear elevation and associated additions/alterations."
(Ref. 2016/6194/P)

Application for Minor Material Amendment under Section 73 of TCPA 1990 for "Minor changes to roof extension to alter the rear geometry and roof height, add rooflights, and to remove chimney features"

On behalf of our client, Andrew Kirk Management Ltd, we enclose an application for the above Minor Material Amendment. The application comprises:

- This letter.
- Application forms.
- Drawing ref. (P)-105 rev P2 – Proposed 5F Plan.
- Drawing ref. (P)-106 rev P2 – Proposed Mezzanine Plan.
- Drawing ref. (P)-300 rev P2 – Proposed Section A-A.
- Drawing ref. (P)-400 rev P2 – Proposed Front Elevation.
- Drawing ref. (P)-401 rev P2 – Proposed Rear Elevation.

This revised submission has been requested by Obote Hope, with it being advised that the previous application made for a Non Material Amendment (ref. PP-07000413 and ref. 2018/2678/NEW) was not the appropriate mechanism for the design changes sought.

This submission therefore replaces the previous one and has had to be submitted as a fresh planning portal submission, due to recent changes with the planning portal meaning that application forms can't be downloaded. We have selected an exempt fee and trust the fee already paid can be transferred over.

This application is submitted following planning permission being granted on 14 December 2017 (ref. 2016/6194/P) for the development described in the letter heading above.

The permission was granted subject to four conditions (dealing with period for commencement, list of approved drawings, detailed drawings and samples of various details to be submitted, provision of cycle parking) and a S106 agreement (dealing with construction management plan, employment and training, highways contribution, local procurement).

The site owner now requires amendments to be made to the scheme due to changes in circumstances, previous oversights, and design refinement. The required amendments are being progressed via this Minor Material Amendment (MMA) that addresses minor changes being made to the roof extension at fifth floor level, and a separate full planning application has been submitted that addresses matters at lower ground floor, ground and first floor levels.

To assist officers in their consideration of matters, in addition to the submitted application plans, we also attach to this letter copies of all approved drawings from application ref. 2016/6194/P as listed under condition 2 (18 drawings in total). Condition 2 serves as the relevant drawing schedule.

The enclosed application seeks to make four minor changes to the previously approved fifth floor extension, as described below, and seeks to vary the approved plans under condition 2 accordingly.

Rear Geometry – Alteration to the geometry of the rear elevation of the extension so that it reflects the front elevation. This has been achieved through design refinement.

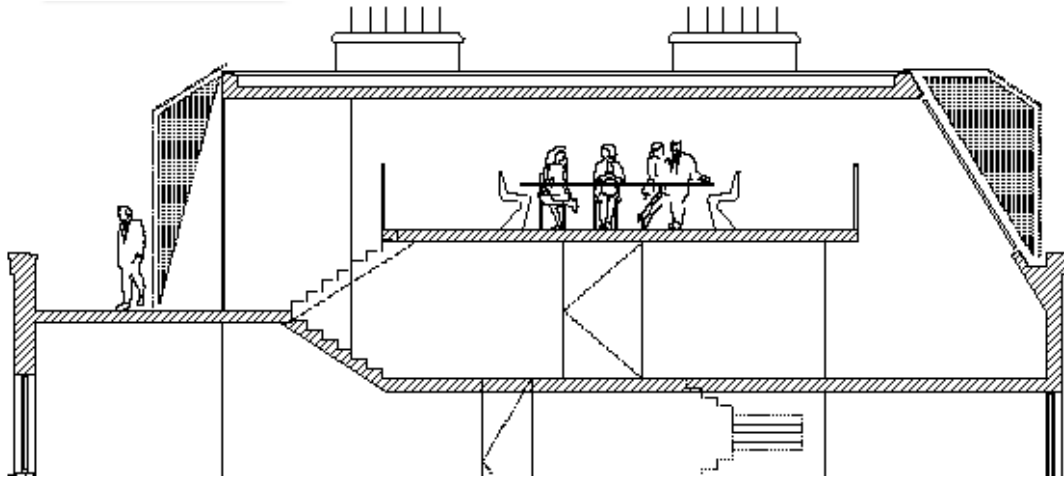
Roof Height – A 200mm increase in height of the roof is required in order to provide the required internal height, as the approved scheme was deficient in this respect, taking account of necessary construction thicknesses, even after adjusting fourth and fifth floor slab levels. The fourth and fifth floor slabs are still proposed to be lowered (to gain internal height) but a small increase in height of 200mm is still required. This small increase in height will not materially alter any views of the extension due to its discrete appearance in the street scene, with significant setback, low relative height compared to other buildings, and general lack of visibility due to the narrow width of Farringdon Road and height of frontage buildings.

Roof Lights - Within the flat roof, two roof lights are proposed, one to the front and one to the rear running the width of the building in order to provide enhanced natural light and to help assist with the relative low ceiling height of the top floor level. These have been added to the scheme with the need for such rooflights not considered previously. With the roof being flat they will not be visible from any vantage point.

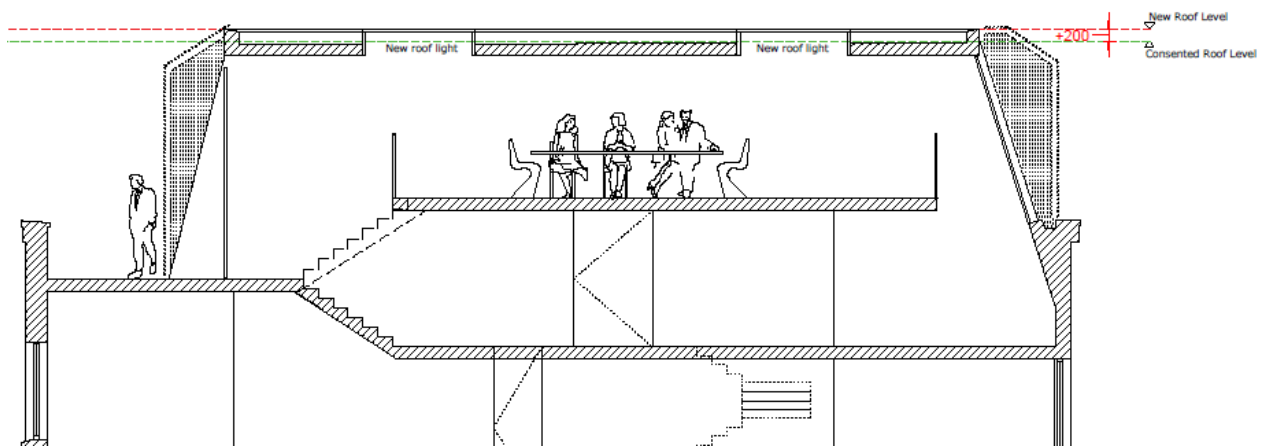
Chimney Features - The last remaining difference between the approved and now proposed elevations are that the chimneys previously shown to be extended or added are no longer proposed. The reason for this is that the existing chimney between no.47 and no.49 was incorrectly drawn as being within the demise of no.49-51, whereas it's in fact within the boundary of 47. Works were therefore proposed to a chimney not within the site boundary with it shown as being raised in height. In turn a new dummy chimney was also drawn on the boundary between 49 and 51 presumably to match the extended chimney. However, this arrangement appears awkward through adding 'historic' chimney features to a modern roof extension and in any event this design feature can't be delivered. The currently proposed drawings show the existing single chimney in its correct position and not extended in height. We see this very much as a design improvement.

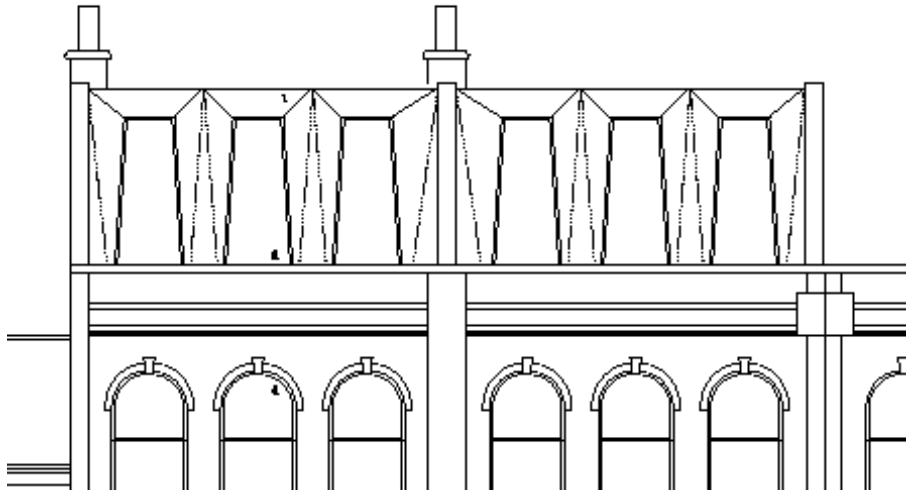
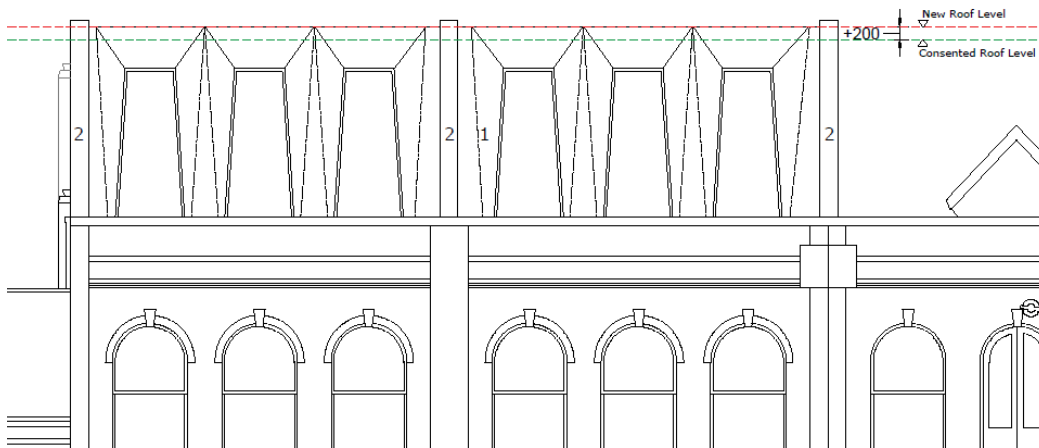
The drawing extracts below shows the approved section drawing and front elevation drawing, followed by the corresponding proposed drawings enclosed in this submission. These clearly show the minor changes to the rear geometry and roof height, the new rooflights, and removal of the chimney features.

Approved



Proposed



ApprovedProposed

All of the above changes are considered to be minor, particularly when the limited visibility of the roof top extension from the street is considered.

The changes will have no material impact upon the overall nature, character or appearance of the development when viewed from public or private vantage points. Accordingly we trust that this MMA can be granted for these important changes to the site owner.

If approved, the drawings under this application replace the corresponding condition 2 drawings listed below:

- 239-306 RevJ - Proposed Fifth Floor Plan
- 239-307 RevJ - Proposed Fifth Mezz Floor Plan
- 239-401 RevL - Proposed Farringdon Road Elevation
- 239-403 RevK - Proposed Rear Elevation
- 239-405 RevG - Proposed Section

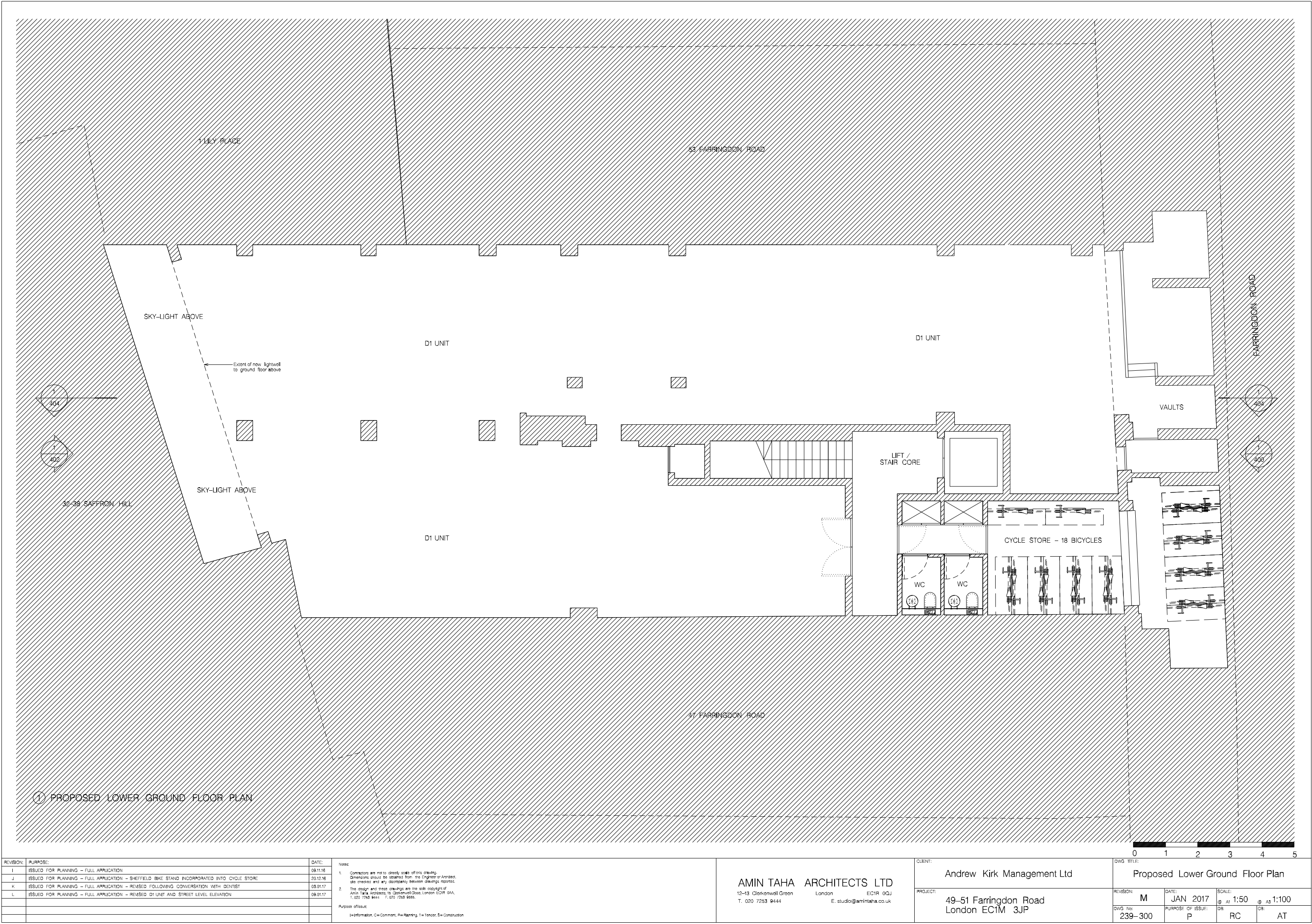
All other approved drawings from permission ref. 2016/6194/P remain current but do need to be read alongside this submission due to the changes made at fifth floor level.

I trust the enclosed is in order. However, should you have any queries please do not hesitate to contact me.

Yours faithfully

A handwritten signature in black ink, appearing to be 'Nick Jenkins', with a stylized, flowing script.

Nick Jenkins MRICS
Director



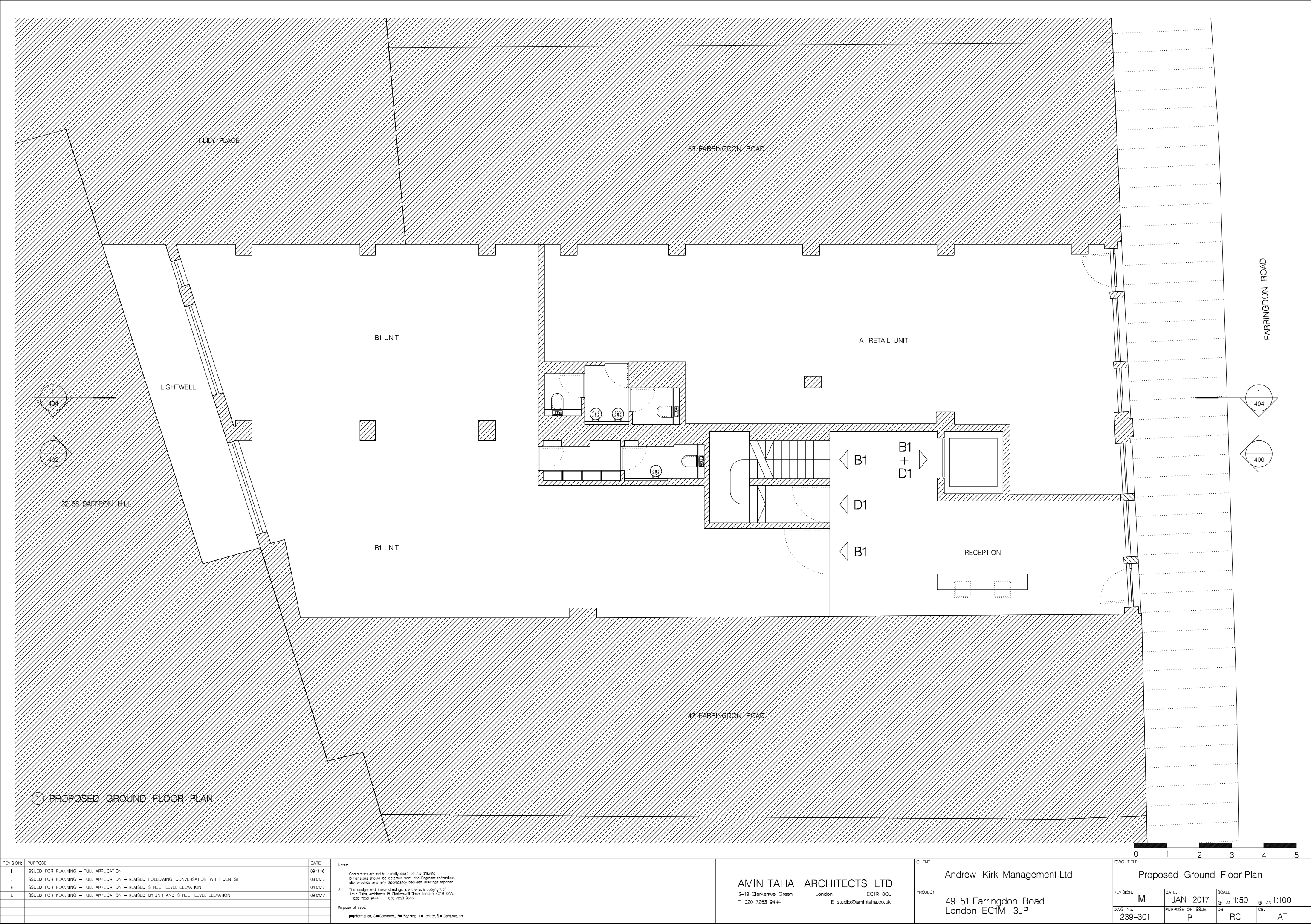
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J	ISSUED FOR PLANNING - FULL APPLICATION - SHEFFIELD BIKE STAND INCORPORATED INTO CYCLE STORE	20.12.16
K	ISSUED FOR PLANNING - FULL APPLICATION - REVISED FOLLOWING CONVERSATION WITH DENTIST	03.01.17
L	ISSUED FOR PLANNING - FULL APPLICATION - REVISED D1 UNIT AND STREET LEVEL ELEVATION	08.01.17

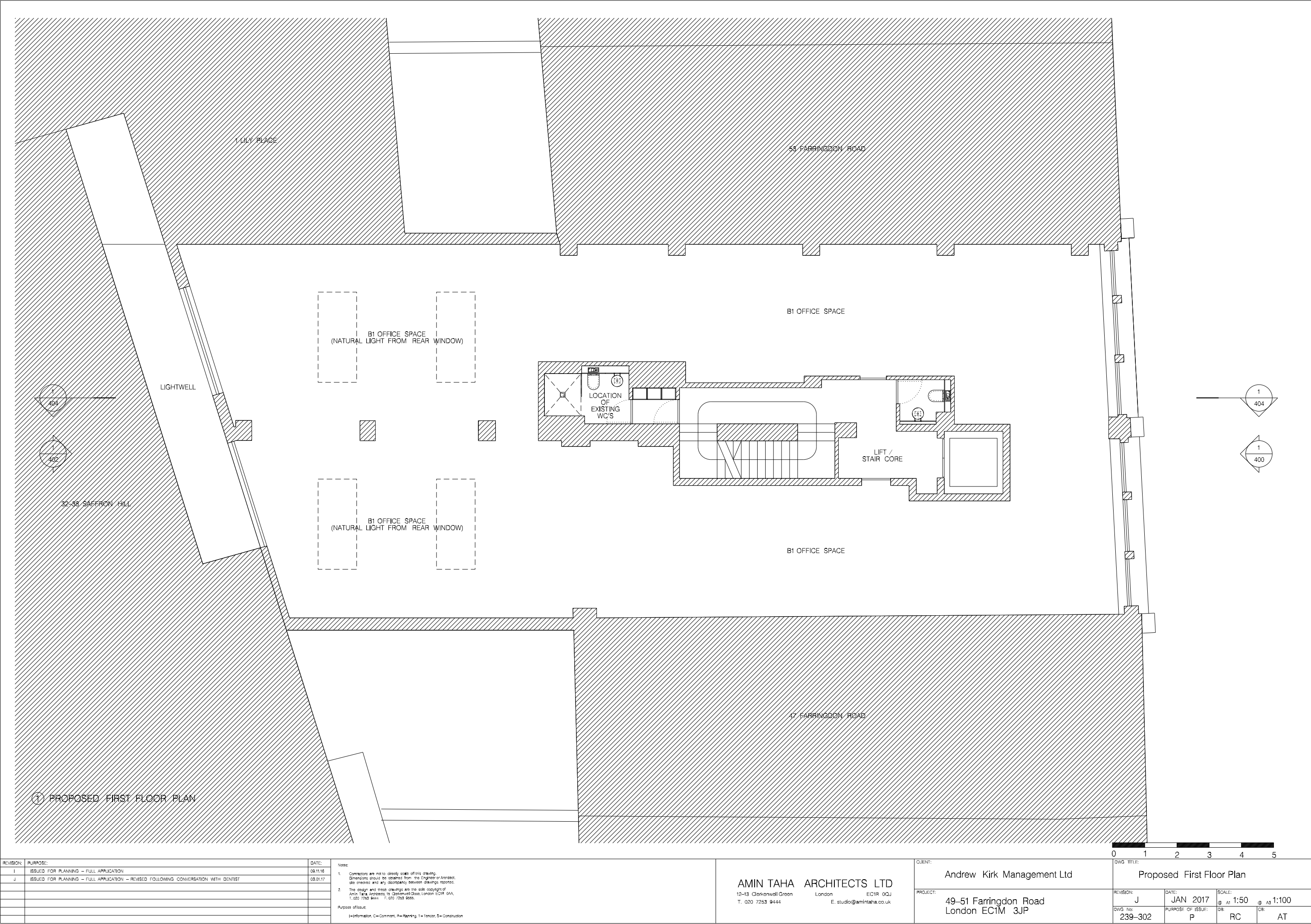
Notes:
1. Contractors are not to directly scale off this drawing. Dimensions should be obtained from the Engineer or Architect, also checked and any discrepancy between drawings reported.
2. The design and these drawings are the sole copyright of Amin Tahar Architects, 15 Clerkenwell Close, London EC1R 0AA, T: 020 7253 9444 F: 020 7253 9444.
Purpose of Issue:
I=Information, C=Comment, P=Planning, T=Tender, S=Construction

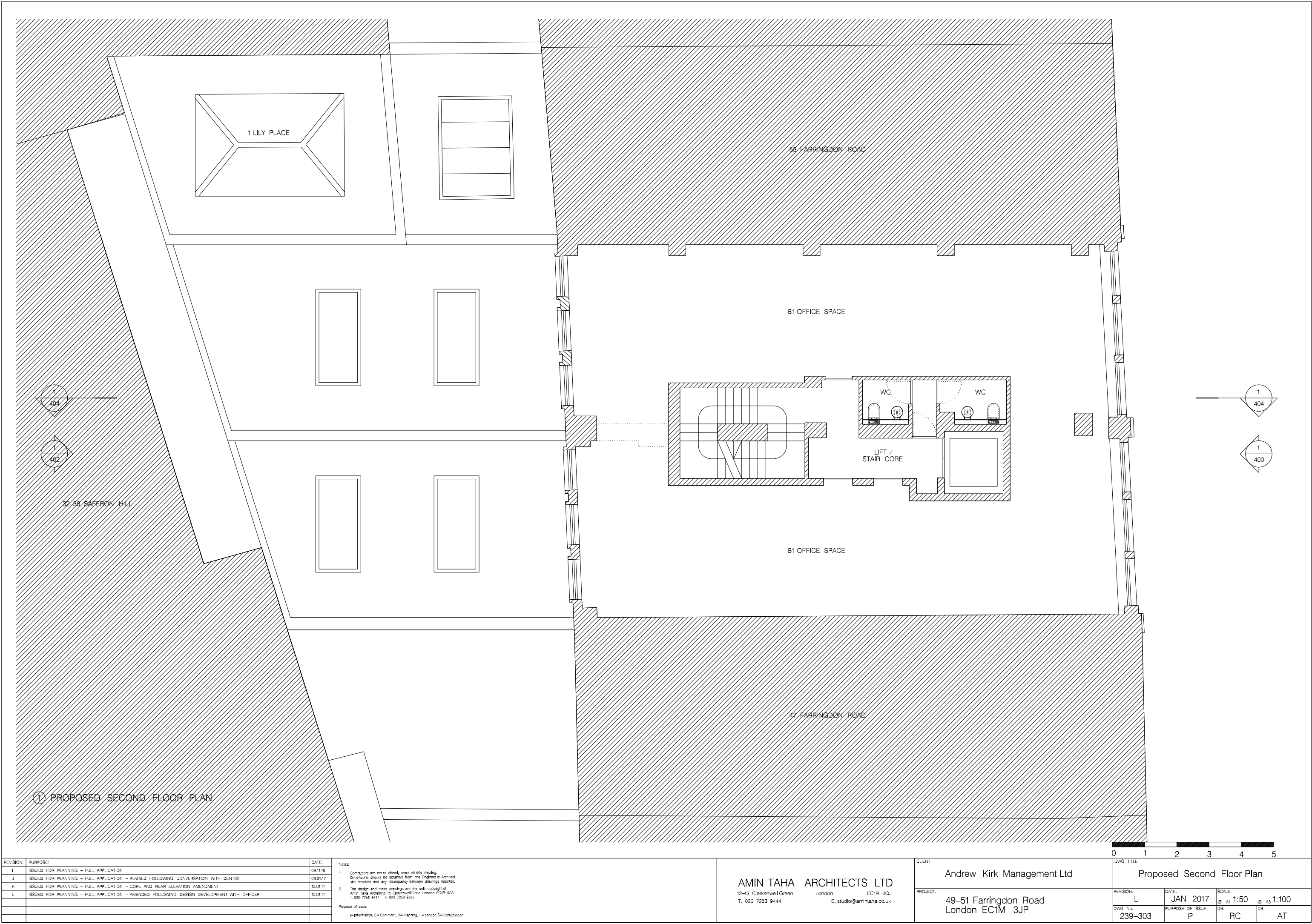
AMIN TAHA ARCHITECTS LTD
12-13 Clerkenwell Green London EC1R 0QJ
T: 020 7253 9444 E: studio@amintaha.co.uk

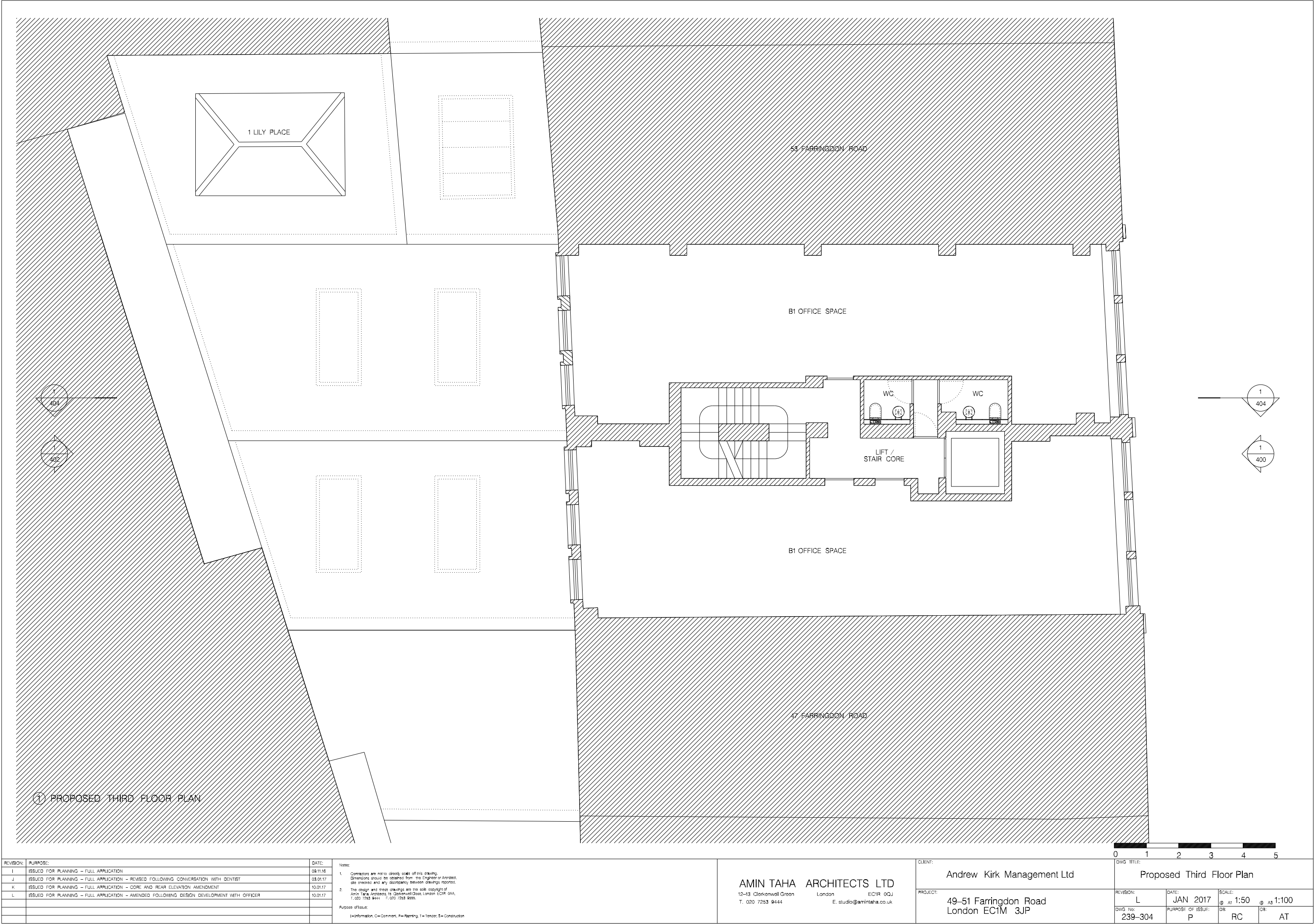
CLIENT:
Andrew Kirk Management Ltd
PROJECT:
49-51 Farringdon Road London EC1M 3JP

DWG TITLE:
Proposed Lower Ground Floor Plan
REVISION:
M
DATE:
JAN 2017
DWG No:
239-300
PURPOSE OF ISSUE:
P
SCALE:
1:50
1:100
RC
AT









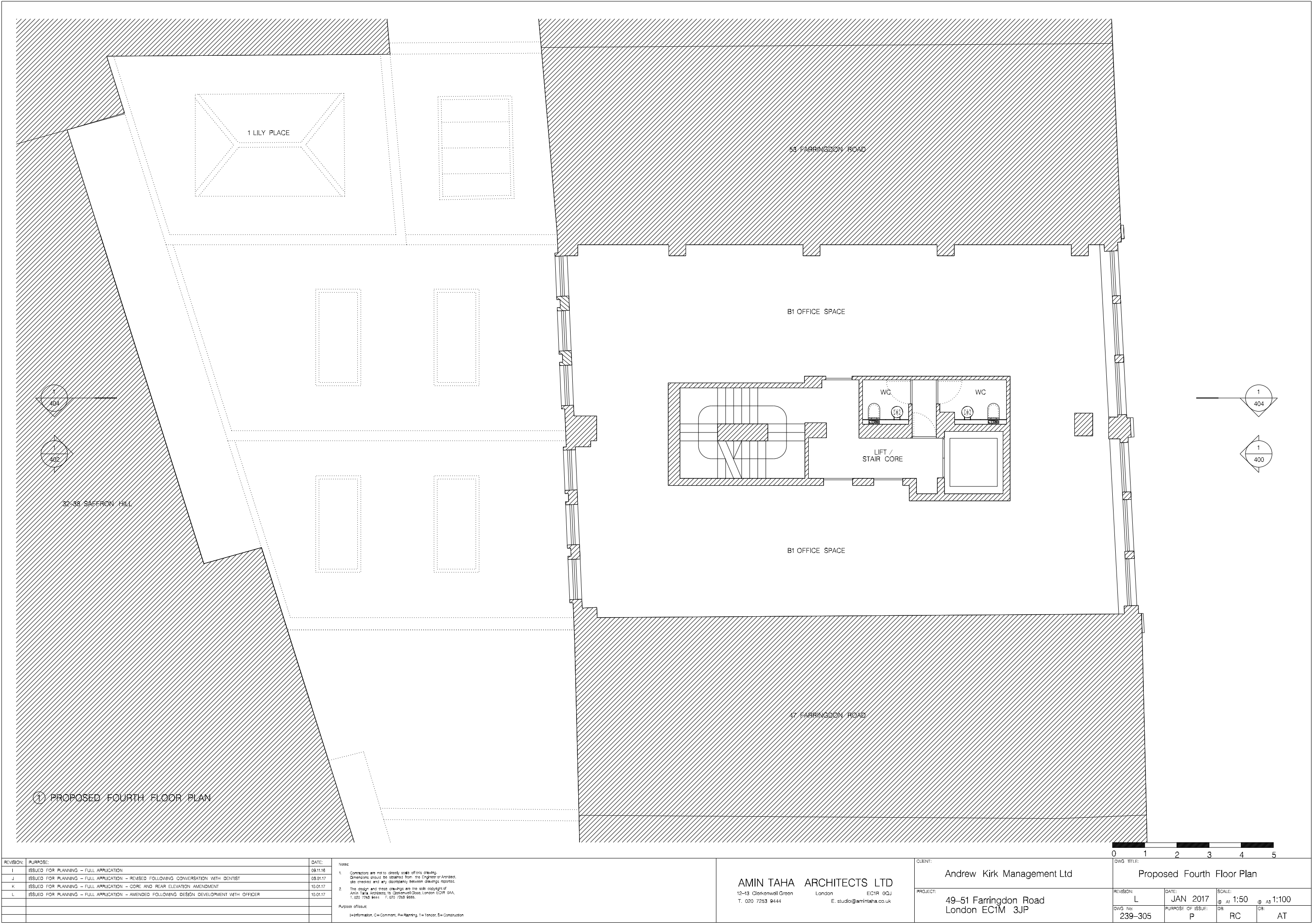
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I	ISSUED FOR PLANNING - FULL APPLICATION	08.11.16
J	ISSUED FOR PLANNING - FULL APPLICATION - REVISED FOLLOWING CONVERSATION WITH DENTIST	08.01.17
K	ISSUED FOR PLANNING - FULL APPLICATION - CORE AND REAR ELEVATION AMENDMENT	10.01.17
L	ISSUED FOR PLANNING - FULL APPLICATION - AMENDED FOLLOWING DESIGN DEVELOPMENT WITH OFFICER	10.01.17

Notes:
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T: 020 7253 9444 E: studio@amintaha.co.uk

CLIENT:
Andrew Kirk Management Ltd
PROJECT:
49-51 Farringdon Road London EC1M 3JP

DWG TITLE:
Proposed Third Floor Plan
REVISION:
L
DATE:
JAN 2017
SCALE:
1:100
PURPOSE OF ISSUE:
P
DR:
RC
CR:
AT



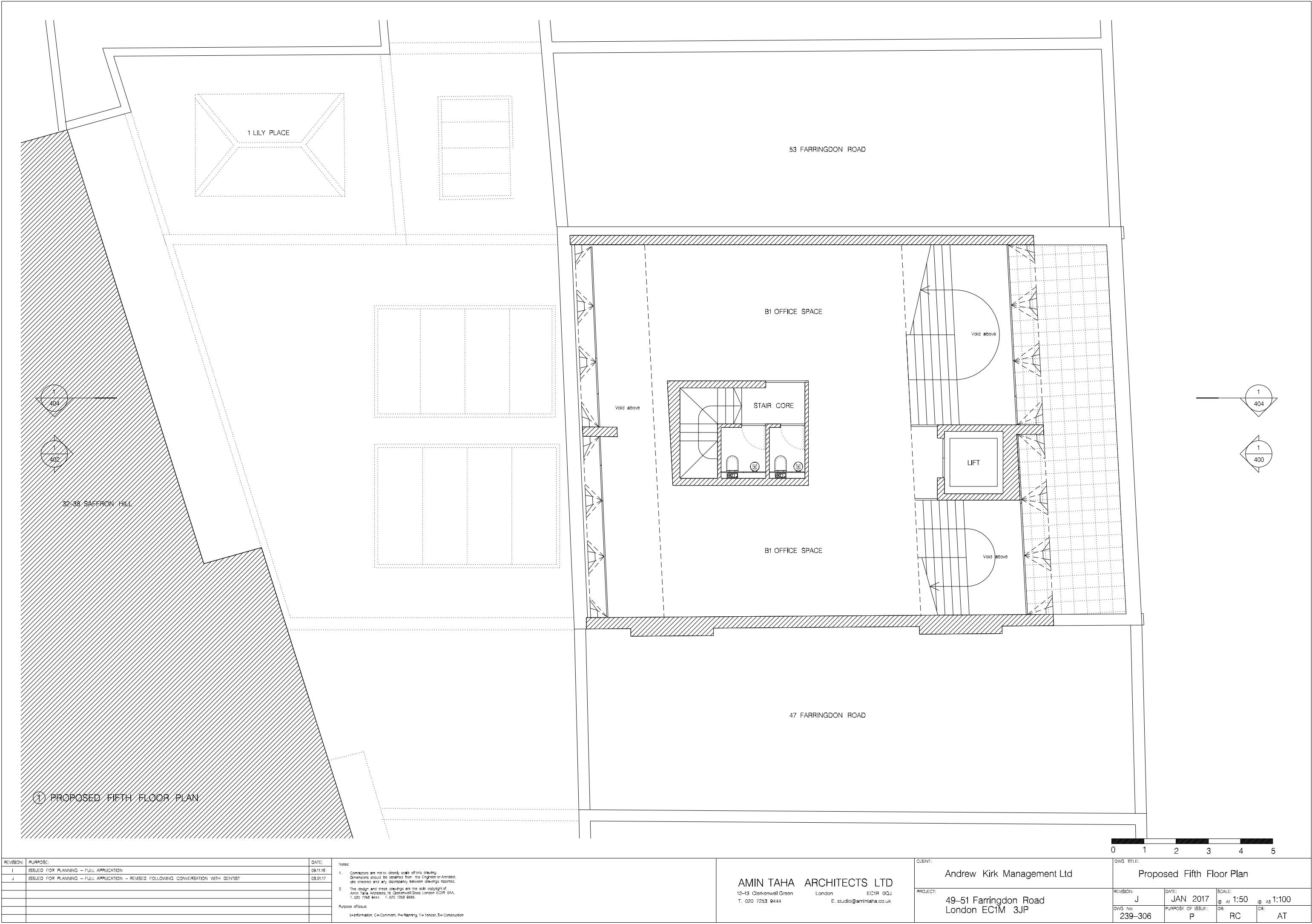
REVISION:	PURPOSE:	DATE:
I	ISSUED FOR PLANNING - FULL APPLICATION	09.11.16
J	ISSUED FOR PLANNING - FULL APPLICATION - REVISED FOLLOWING CONVERSATION WITH DENTIST	03.01.17
K	ISSUED FOR PLANNING - FULL APPLICATION - CORE AND REAR ELEVATION AMENDMENT	10.01.17
L	ISSUED FOR PLANNING - FULL APPLICATION - AMENDED FOLLOWING DESIGN DEVELOPMENT WITH OFFICER	10.01.17

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T: 020 7253 9444 E: studio@amintaha.co.uk

CLIENT:
Andrew Kirk Management Ltd
PROJECT:
49-51 Farringdon Road London EC1M 3JP

DWG TITLE:
Proposed Fourth Floor Plan
REVISION:
L
DWG No: 239-305
DATE:
JAN 2017
PURPOSE OF ISSUE:
P
SCALE:
1:50
1:100
RC
AT



REVISION:	PURPOSE:	DATE:
I	ISSUED FOR PLANNING – FULL APPLICATION	08.11.16
J	ISSUED FOR PLANNING – FULL APPLICATION – REVISED FOLLOWING CONVERSATION WITH IDENTIST	08.01.17

Notes:

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Purpose of Issue:

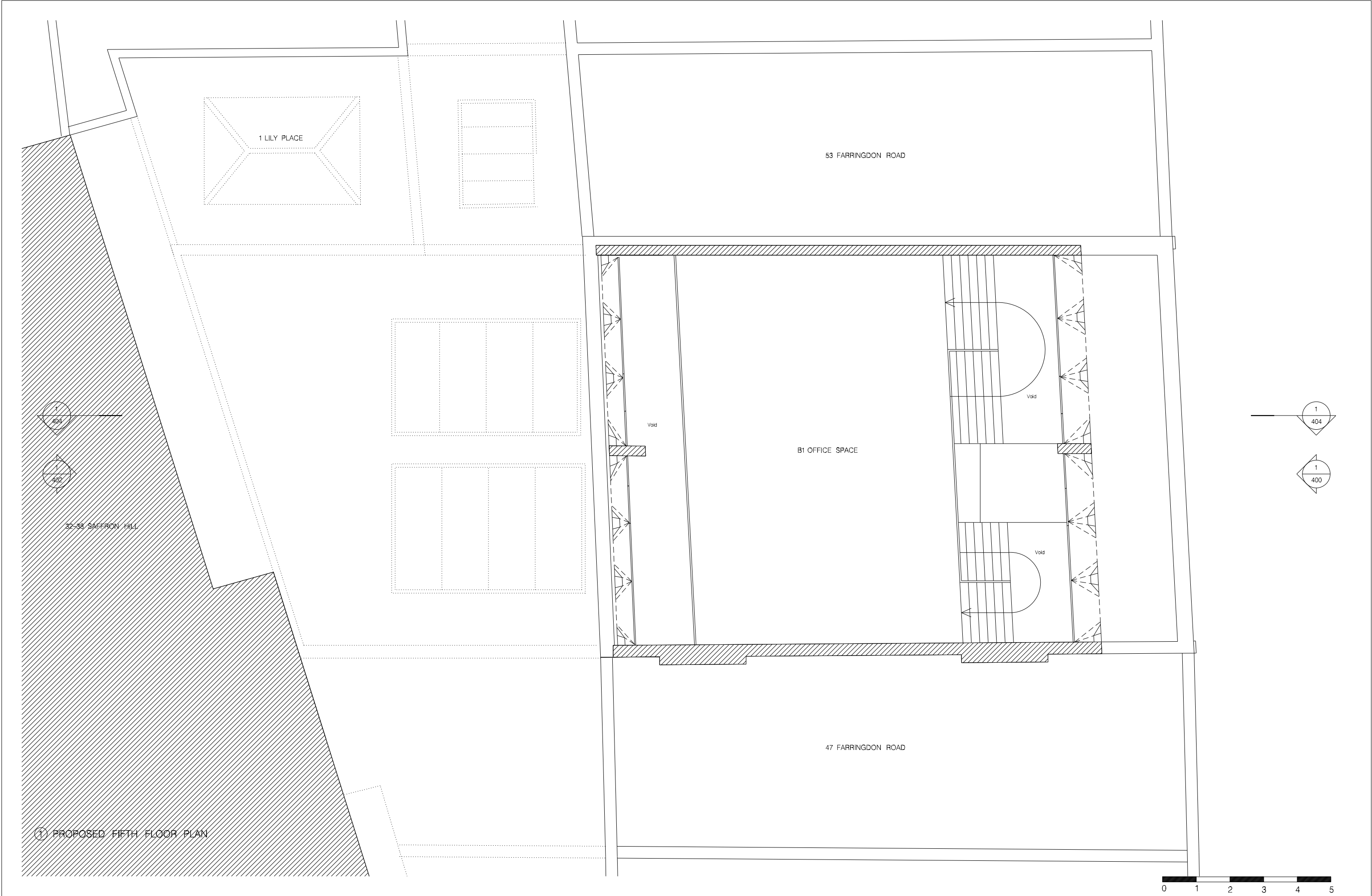
I=Information, C=Comment, P=Planning, T=Tender, S=Construction

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12–13 Clerkenwell Green London EC1R 0QJ
T. 020 7253 9444 E. studio@amintaha.co.uk

CLIENT:
Andrew Kirk Management Ltd

PROJECT:
49–51 Farringdon Road
London EC1M 3JP

DWG TITLE:			
Proposed Fifth Floor Plan			
REVISION: J	DATE: JAN 2017	SCALE: A1 1:50 A3 1:100	
DWG No: 239–306	PURPOSE OF ISSUE: P	DR: RC	CR: AT



REVISION:		PURPOSE:	DATE:	Notes:		CLIENT:		DWG TITLE:	
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J	ISSUED FOR PLANNING - FULL APPLICATION - REVISED FOLLOWING CONVERSATION WITH IDENTIST		08.01.17						



① PROPOSED FARRINGDON ROAD CONTEXT ELEVATION

PURPOSE:		REVISION:	DATE:	Notes:	AMIN TAHA ARCHITECTS LTD 12-13 Clerkenwell Green London EC1R 0QJ T. 020 7253 9444 E.studio@amintaha.co.uk		CLIENT: Andrew Kirk Management Ltd		DWG TITLE: Proposed Farringdon Road Context Elevation				
H	ISSUED FOR PLANNING - FULL APPLICATION		09.11.16	1. Contractors are not to directly scale off this drawing. Dimensions should be obtained from the Engineer or Architect, also checked and any discrepancy between drawings reported.					PROJECT: 49-51 Farringdon Road London EC1M 3JP	REVISION: I	DATE: JAN 2017	SCALE: A1 1:100 A3 1:200	
I	ISSUED FOR PLANNING - FULL APPLICATION - REVISED D1 UNIT AND STREET LEVEL ELEVATION		09.01.17	2. The design and these drawings are the sole copyright of Amin Taha Architects, 13 Clerkenwell Close, London EC1R 0AA, T. 020 7253 9444 F. 020 7253 9444						DWG No: 239-400	PURPOSE OF ISSUE: P	DR: RC	CR: AT
				Purpose of Issue:									
				I=Information, C=Comment, P=Planning, T=Tender, S=Construction									



① PROPOSED FARRINGDON ROAD CONTEXT ELEVATION

REVISION:	PURPOSE:	DATE:
F	ISSUED FOR PLANNING - FULL APPLICATION	09.11.16
G	ISSUED FOR PLANNING - FULL APPLICATION - REVISED D1 UNIT AND STREET LEVEL ELEVATION	09.01.17

Notes:

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Purpose of Issue:

I=Information, C=Comment, P=Planning, T=Tender, S=Construction

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12-13 Clerkenwell Green London EC1R 0QJ

T. 020 7253 9444 E. studio@amintaha.co.uk

CLIENT:

Andrew Kirk Management Ltd

PROJECT:

49-51 Farringdon Road
London EC1M 3JP

DWG TITLE:

Proposed Farringdon Road Context Elevation

REVISION:	DATE:	SCALE:
G	JAN 2017	① A1 1:250 ② A3 1:500
DWG No: 239-400A	PURPOSE OF ISSUE: P	DB: RC CB: AT



1 PROPOSED FARRINGDON ROAD ELEVATION

REVISION:	PURPOSE:	DATE:
I	ISSUED FOR PLANNING - FULL APPLICATION	08.11.16
J	ISSUED FOR PLANNING - FULL APPLICATION - REVISED FOLLOWING CONVERSATION WITH IDENTIST	03.01.17
K	ISSUED FOR PLANNING - FULL APPLICATION - REVISED STREET LEVEL ELEVATION	04.01.17
L	ISSUED FOR PLANNING - FULL APPLICATION - REVISED D1 UNIT AND STREET LEVEL ELEVATION	08.01.17

DATE:
08.11.16
03.01.17
04.01.17
08.01.17

Notes:

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Purpose of Issue:

(I=Information, C=Comment, P=Planning, T=Tender, S=Construction)

KEY

- PERFORATED/LOUVERED BRASS SCREEN, PATINATED DARK BROWN
- DOUBLE GLAZED THERMALLY BROKEN BRASS SLIDING DOORS
- BRICK CLEANED OF ALL PAINT AND LIGHTLY SOOTWASHED
- ORIGINAL TIMBER SASH WINDOWS REINSTATED PAINTED SLATE BROWN
- ORIGINAL SHOPFRONT FACIA TO BE REINSTATED WITH TIMBER ELEMENTS PAINTED SLATE BROWN
- ALL NEW LONDON STOCK BRICK TO BE SOOT WASHED
- GLAZED SHOPFRONT TO BE PATINATED DARK BROWN BRASS AND GLAZED

AMIN TAHA ARCHITECTS LTD
12-13 Clerkwell Green London EC1R 0QJ
T. 020 7253 9444 E. studio@aminaha.co.uk

CLIENT:	Andrew Kirk Management Ltd
PROJECT:	49-51 Farringdon Road London EC1M 3JP

DWG TITLE:	Proposed Farringdon Road Elevation
REVISION:	L
DATE:	JAN 2017
SCALE:	1:50 1:100
DWG No:	239-401
PURPOSE OF ISSUE:	P
RC:	RC
AT:	AT



① PROPOSED FARRINGTON ROAD CONTEXT REAR ELEVATION

REVISION:	PURPOSE:	DATE:	Notes:	AMIN TAHA ARCHITECTS LTD 12-13 Clerkenwell Green London EC1R 0QJ T: 020 7253 9444 E: studio@amintaha.co.uk		CLIENT: Andrew Kirk Management Ltd		DWG TITLE: Proposed Farringdon Road Context Rear Elevation			
G	ISSUED FOR PLANNING - FULL APPLICATION	09.11.16	1. Contractors are not to directly scale off this drawing. Dimensions should be obtained from the Engineer or Architect, also checked and any discrepancy between drawings reported.								
H	ISSUED FOR PLANNING - FULL APPLICATION - REVISED D1 UNIT AND STREET LEVEL ELEVATION	09.01.17	2. The design and these drawings are the sole copyright of Amin Taha Architects, 13 Clerkenwell Close, London EC1R 0AA, T: 020 7253 9444 F: 020 7253 9688.	Purpose of Issue: I=Information, C=Consultant, P=Planning, T= Tender, S= Construction		PROJECT: 49-51 Farringdon Road London EC1M 3JP		REVISION: I DATE: JAN 2017 SCALE: A1 1:100 A3 1:200 DWG No: 239-402 PURPOSE OF ISSUE: P DB: RC CB: AT			
I	ISSUED FOR PLANNING - FULL APPLICATION - AMENDED FOLLOWING DESIGN DEVELOPMENT WITH OFFICER	10.01.17									



REVISION:	PURPOSE:	DATE:
I	ISSUED FOR PLANNING – FULL APPLICATION	08.11.16
J	ISSUED FOR PLANNING – FULL APPLICATION – REVISED FOLLOWING CONVERSATION WITH DENTIST	08.01.17
K	ISSUED FOR PLANNING – FULL APPLICATION – CORE AND REAR ELEVATION AMENDMENT	10.01.17

DATE:
08.11.16
08.01.17
10.01.17

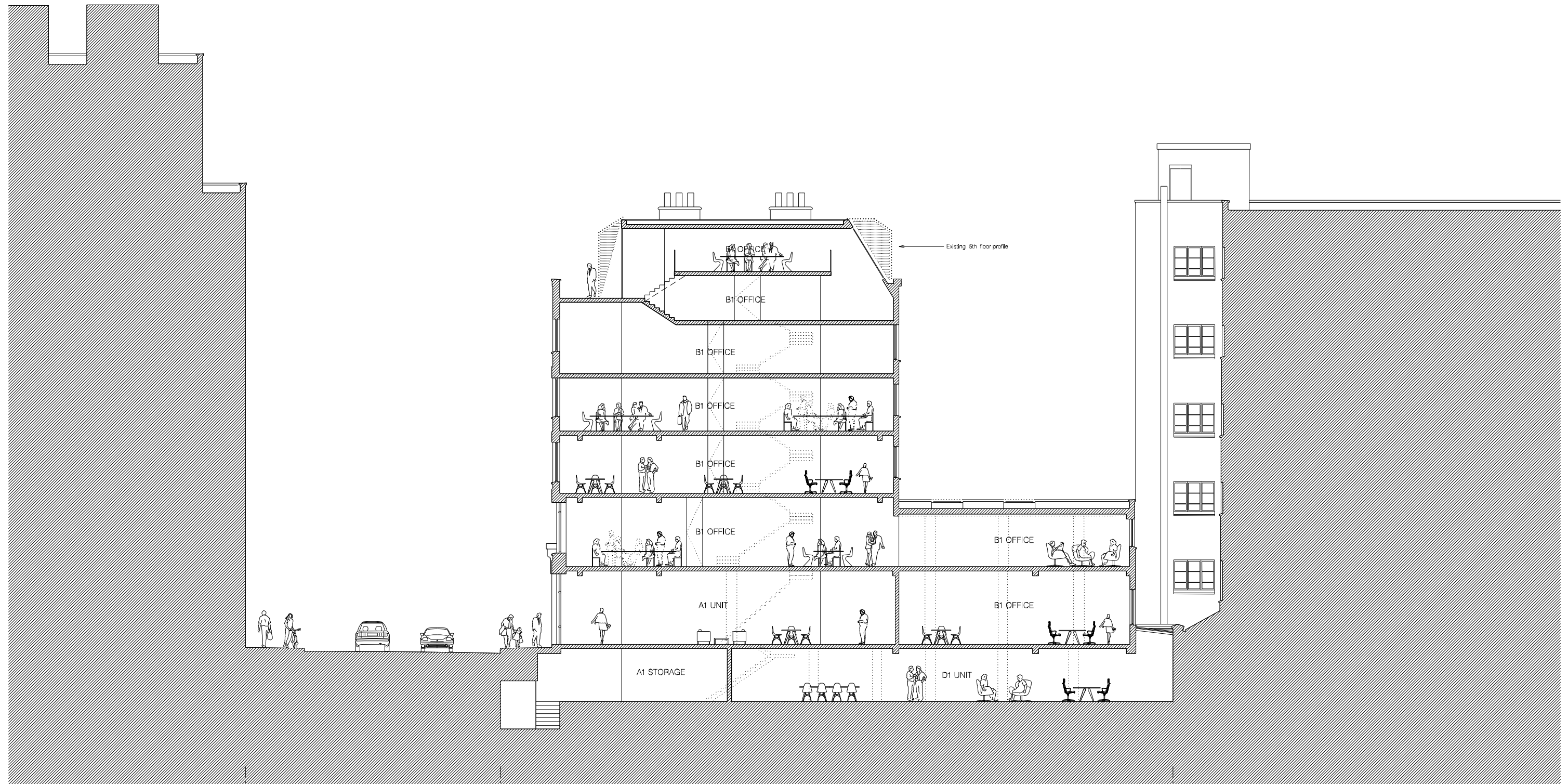
Notes:
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2. The design and these drawings are the sole copyright of Amin Tahar Architects, 15 Clerkenwell Close, London EC1R 0AA, T: 020 7253 9444 F: 020 7253 9555.
Purpose of Issue:
I=Information, C=Comment, P=Planning, T=Tender, S=Construction

KEY
1. PERFORATED LOUVERED BRASS SCREEN, PATINATED DARK BROWN
2. DOUBLE GLAZED THERMALLY BROKEN BRASS SLIDING DOORS
3. BRICK CLEANED OF ALL PAINT AND LIGHTLY SCOTWASHED
4. ORIGINAL TIMBER SASH WINDOWS REINSTATED PAINTED SLATE BROWN
5. ORIGINAL SHOPFRONT FACIA TO BE REINSTATED WITH TIMBER ELEMENTS PAINTED SLATE BROWN
6. ALL NEW LONDON STOCK BRICK TO BE SOOT WASHED
7. GLAZED SHOPFRONT TO BE PATINATED DARK BROWN BRASS AND GLAZED

AMIN TAHA ARCHITECTS LTD
12-13 Clerkenwell Green London EC1R 0QJ
T. 020 7253 9444 E. studio@amintaha.co.uk

CLIENT:	Andrew Kirk Management Ltd
PROJECT:	49-51 Farringdon Road London EC1M 3JP

DWG TITLE:					
Proposed Rear Elevation					
REVISION:		DATE:		SCALE:	
K		JAN 2017		② A1 1: 50 ③ A3 1: 100	
DWG No:		PURPOSE OF ISSUE:		DR:	CB:
239-403		P		RC	AT



Smith New Court House

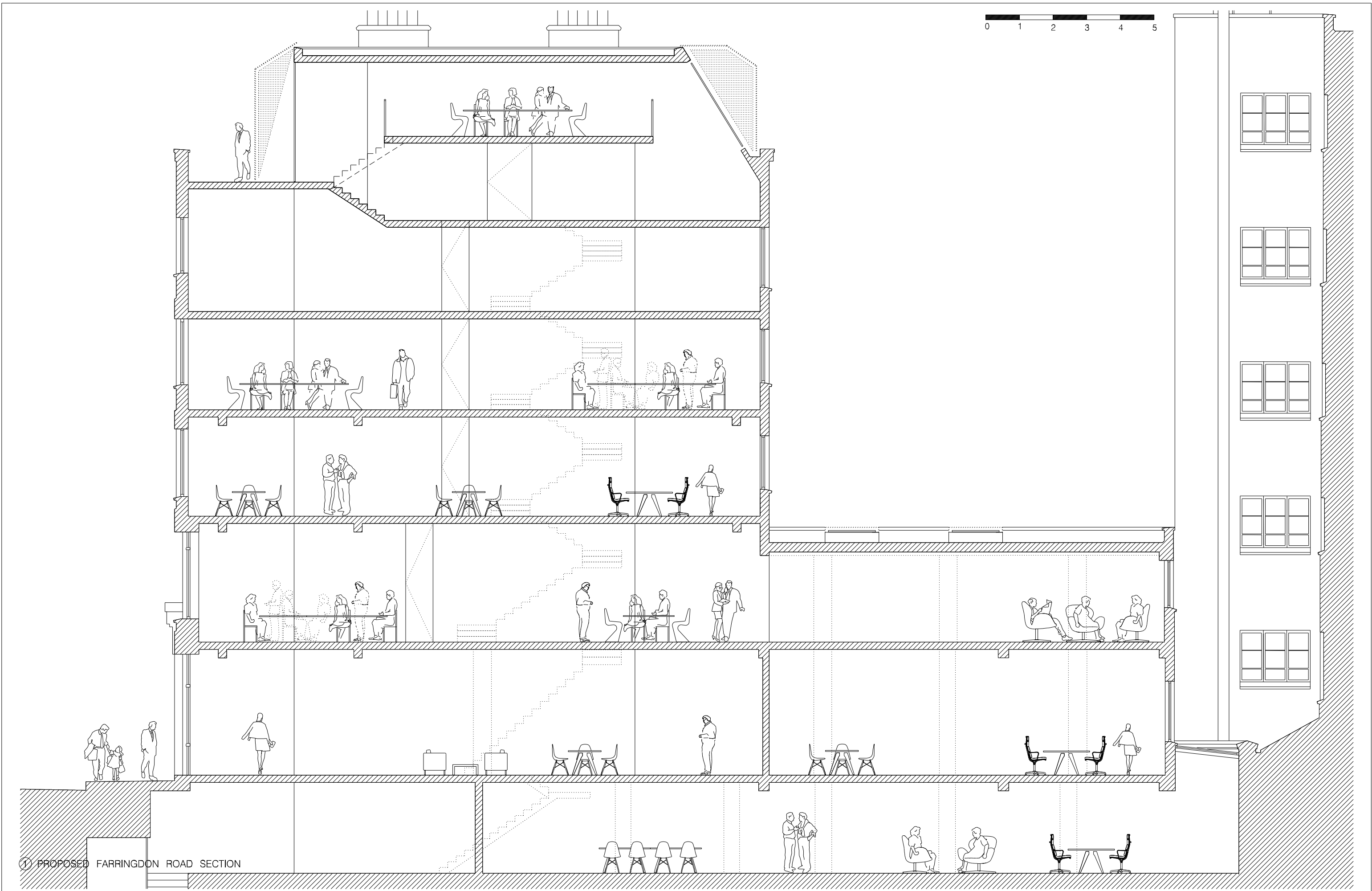
Farringdon Road

49-51 Farringdon Road

32-38 Saffron Hill

① PROPOSED FARRINGDON ROAD CONTEXT SECTION

REVISION:	PURPOSE:	DATE:	Notes:	AMIN TAHA ARCHITECTS LTD		CLIENT:	DWG TITLE:				
I	ISSUED FOR PLANNING – FULL APPLICATION	09.11.16	1. Contractors are not to directly scale off this drawing. Dimensions should be obtained from the Engineer or Architect, also checked and any discrepancy between drawings reported. 2. The design and these drawings are the sole copyright of Amin Taha Architects, 15 Clerkenwell Close, London EC1R 0AA, T: 020 7253 9444 F: 020 7253 9444 Purpose of Issue: I=Information, C=Comment, R=Planning, T=Tender, S=Construction	12-13 Clerkenwell Green London EC1R 0QJ T: 020 7253 9444 E: studio@amintaha.co.uk	Andrew Kirk Management Ltd	Proposed Farringdon Road Context Section					
J	ISSUED FOR PLANNING – FULL APPLICATION – REVISED FOLLOWING CONVERSATION WITH DENTIST	03.01.17				PROJECT:	49-51 Farringdon Road London EC1M 3JP	REVISION:	DATE:	SCALE:	
K	ISSUED FOR PLANNING – FULL APPLICATION – REVISED STREET LEVEL ELEVATION	04.01.17						M	JAN 2017	1:100	1:200
L	ISSUED FOR PLANNING – FULL APPLICATION – REVISED D1 UNIT AND STREET LEVEL ELEVATION	08.01.17						DWG No:	PURPOSE OF ISSUE:	DR:	CR:
M	ISSUED FOR PLANNING – FULL APPLICATION – AMENDED FOLLOWING DESIGN DEVELOPMENT WITH OFFICER	10.01.17				239-404	P	RC	AT		



REVISION:	PURPOSE:	DATE:
E	ISSUED FOR PLANNING - FULL APPLICATION	09.11.16
F	ISSUED FOR PLANNING - FULL APPLICATION - REVISED D1 UNIT AND STREET LEVEL ELEVATION	09.01.17
G	ISSUED FOR PLANNING - FULL APPLICATION - AMENDED FOLLOWING DESIGN DEVELOPMENT WITH OFFICER	10.01.17

Notes:
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Purpose of Issue:
I=Information, C=Comment, P=Planning, T=Tender, S=Construction

AMIN TAHA ARCHITECTS LTD

12-13 Clerkenwell Green London EC1R 0QJ

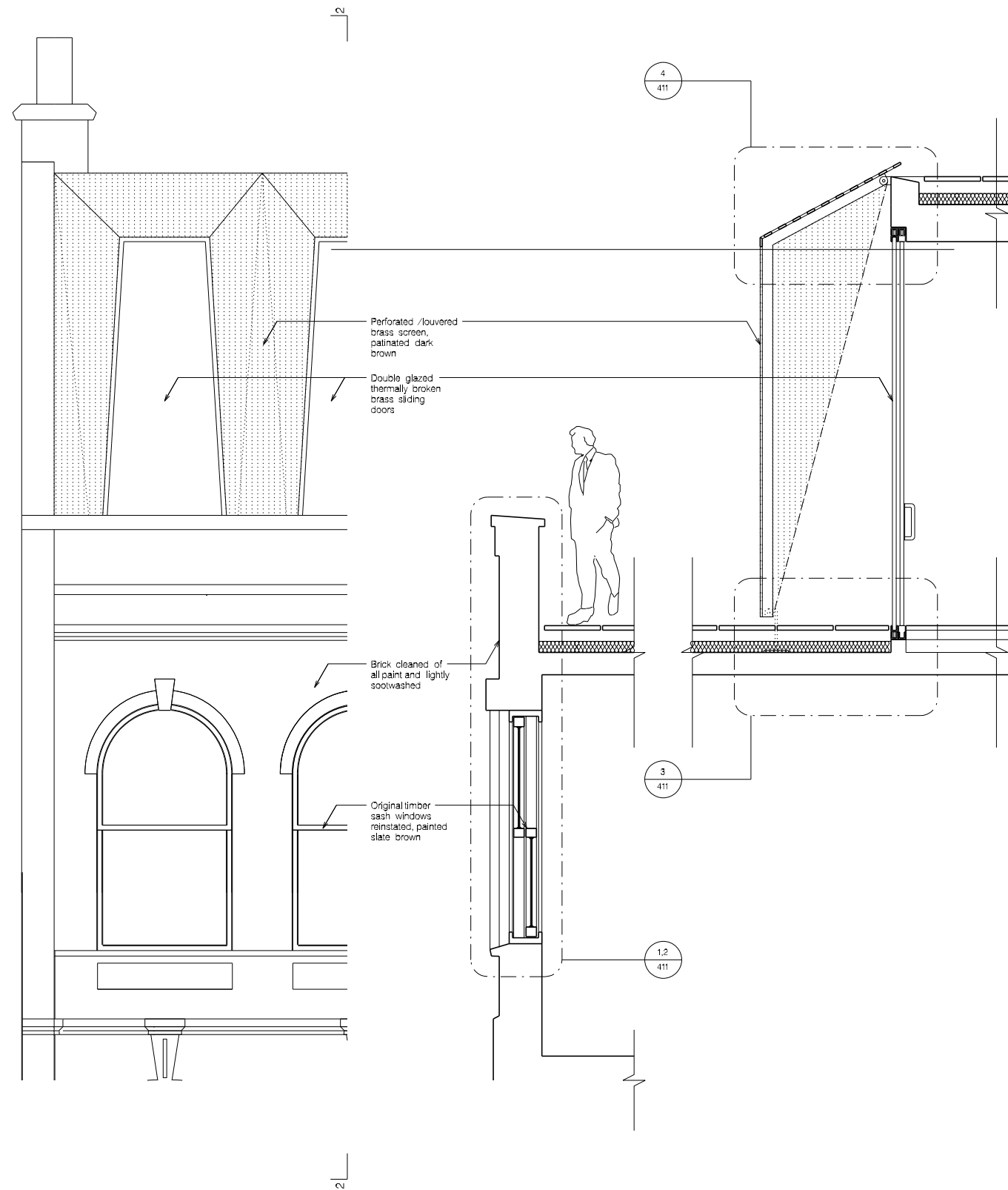
T. 020 7253 9444 E. studio@amintaha.co.uk

CLIENT: Andrew Kirk Management Ltd

PROJECT: 49-51 Farringdon Road London EC1M 3JP

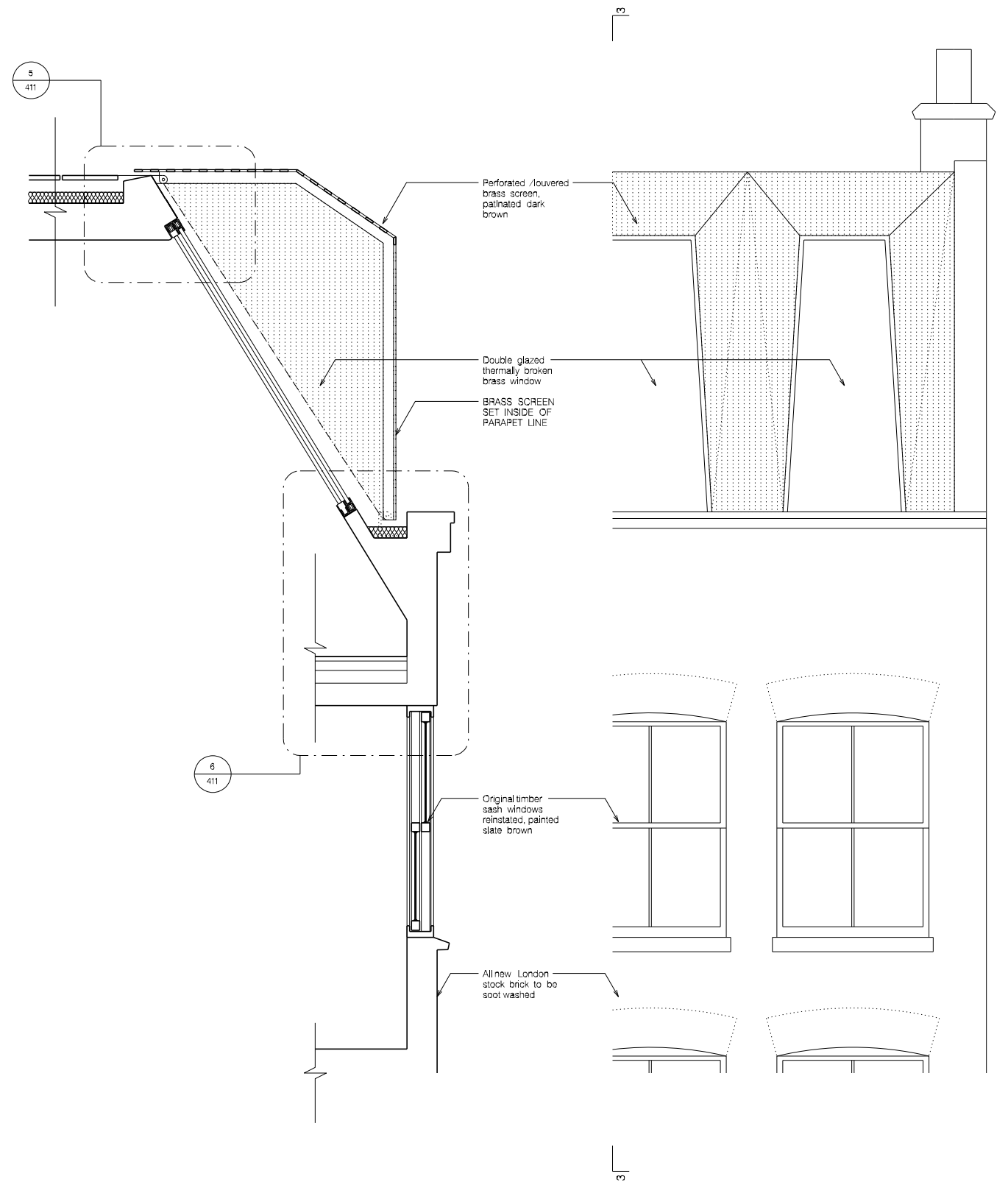
DWG TITLE: Proposed Farringdon Road Section			
REVISION: G	DATE: JAN 2017	SCALE: A1 1:100 A3 1:200	
DWG No: 239-405	PURPOSE OF ISSUE: P	DR: RC	CB: AT

0 0.5 1 1.5 2 2.5



① PROPOSED ROOF DETAIL FRONT ELEVATION

② PROPOSED ROOF DETAIL SECTION A



③ PROPOSED ROOF DETAIL SECTION B

④ PROPOSED ROOF DETAIL REAR ELEVATION

REVISION:	PURPOSE:	DATE:
A	ISSUED FOR PLANNING - FULL APPLICATION	09.11.16
B	ISSUED FOR PLANNING - FULL APPLICATION AMENDMENT - REAR BRASS SCREEN MOVED TO INSIDE LINE OF PARAPET	20.12.16

Notes:
1. Contractors are not to directly scale off this drawing. Dimensions should be obtained from the Engineer or Architect. Site checked and any discrepancy between drawings reported.
2. The design and these drawings are the sole copyright of Amin Taqa Architects, 15 Clerkenwell Close, London EC1R 0AA, T: 020 7253 9444 F: 020 7253 9555.
Purpose of Issue:
I=Information, C=Comment, P=Planning, T=Tender, S=Construction

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CLIENT:
Andrew Kirk Management Ltd
PROJECT:
49-51 Farringdon Road London EC1M 3JP

DWG TITLE:
Proposed Roof Detail Section and Elevation
REVISION:
B
DWG No: 239-410
DATE:
DEC 2016
PURPOSE OF ISSUE:
P
SCALE:
@ A1 1: 25 @ A3 1: 50
RC
AT

② PROPOSED PARAPET TO FLOOR DETAIL

① PROPOSED EXISTING SASH WINDOW DETAIL

④ PROPOSED ROOF AND SCREEN TO GLAZED SLIDING DOOR DETAIL

③ PROPOSED FLOOR AND SCREEN TO GLAZED SLIDING DOOR DETAIL

⑤ PROPOSED ROOF AND SCREEN TO WINDOW DETAIL

⑥ PROPOSED FLOOR, PARAPET AND SCREEN TO WINDOW DETAIL

