

62 Frognal- Existing Street Scene



62 Frognal
London NW3 6XG
Design & Access Statement
August 2018



SQUARE FEET ARCHITECTS

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Introduction

Square Feet Architects have been appointed by our Client to prepare a Full Planning Application for the extension of family home. The property is situated in the Frogmal Conservation Area.

Purpose of the report

The purpose of this report is to detail the extent of the proposals we are seeking planning permission for, and to demonstrate our understanding and fulfilment of the Council's planning policies in relation to this proposal.

Drawings

All drawings reproduced in this report are Not To Scale. For scaled drawings please see Planning Application set.

Recent Planning History

Case No: 2018/1664/P Status: Granted
Regularisation of variation to planning permission for Basement extension (ref. 2006/0918/P).

Case No: 2008/5521/P Status: Granted
Installation of a front boundary wall and two vehicle entrance gates to the dwelling (Class 3).

Case No: 2006/0918/P Status: Granted
Remodelling of dwellinghouse, incl. erection of 2 storey plus basement and attic side extension; erection of single storey rear extension, and alterations to front facade and roof; installation of front garden car deck access to basement garage and of rear garden rooflights to basement room.

Case No: PMc/CJM/W/2465 Status: Granted
Erection of a ground floor rear extension.

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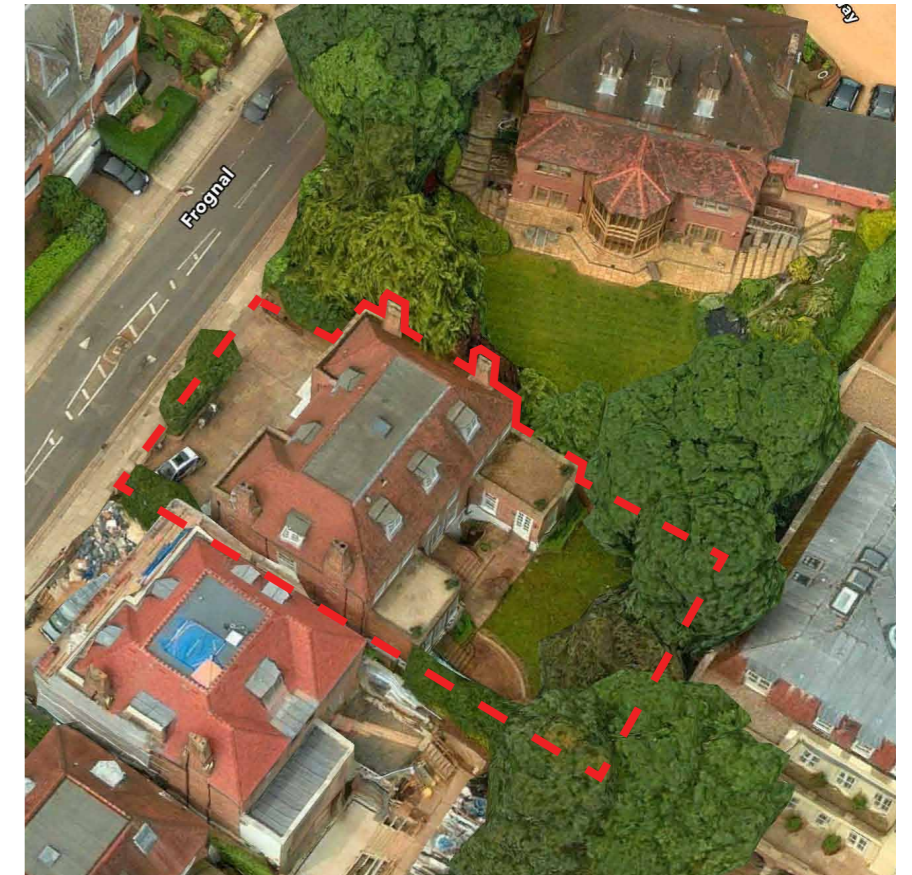
3.0 Design

4.0 Conclusion



[fig.1] Location Plan. No.60 (highlighted in red) NTS





1.0 Context

The property is a detached brick dwelling dating to 1930's, which retained architectural detailing reasonably well during subsequent extensions and external alterations to its fabric. It is located within Frognaal Conservation area, with its contribution deemed neutral.

The single family house consists of 3 superstructure storeys, with an additional subterranean level incorporating garage. A recently constructed, elegant brick & metal railing boundary wall encloses generous

front driveway- featuring vehicular lift platform.

At rear, the property benefits from a garden of modest proportions (in relation to the dwelling' footprint), which due to its geographical orientation receives limited direct sunlight.

Historical development saw the building's original South side extended to the east. Subsequent 'mirror image' addition incorporated North- East aspect wing, which

juts out into the garden further than its predecessor. At present, these single storey wings flank central hardstanding circulation zone (multi-level terrace). The garden's amenity is somewhat impaired by a linear rooflight's projection which fragments the landscaping along its Southern end. Dense planting lining the boundary affords privacy to - and from- surrounding properties.

[fig.2] South- Western aspect of the block
 [fig.3] Northern aspect of the block
 [fig.4] South- Eastern aspect of the block



1.2 Background to the Application

Permission was previously granted in June 2018 (ref. 2018/1664/P) for NMA in the form of adaptation of permitted garage to pool room and addition of a small basement store extension, at rear left hand corner of the structure. The variation was required to complete structurally sound underpin of the superstructure.

Following on from the successful regularization of the planning application, the site was purchased by our Client who approached us with a new scope, for a home that better suited their family's needs.

1.3 Planning Policy

Camden's various planning policies wish to promote respect for local character in the design of all buildings and ensure that they are in harmony with their settings-aiming to help improve the local area through good design. This property has scope to be improved and in turn to enhance the area.

In March 2012 the Government published the National Planning Policy Framework (NPPF). The policies contained in the NPPF are material considerations which should be taken into account in determining planning applications. The NPPF replaces a number of national planning policy documents (listed at Annex 3 of the NPPF).

The London Plan (2011)

- Policy 5.3 (Sustainable design and construction)
- Policy 7.6 (Architecture)
- Policy 7.8 (Heritage assets and archaeology)

The Council adopted its Local Plan in July 2017. The relevant policies which have been followed throughout the design process are:

- A1 (Managing the impact of and development)
- A2 (Open Space)
- A3 (Biodiversity)
- D1 (Design)

The proposed scheme was developed as a response to interpretation of Client brief to comply with Camden Local Plan. All new external elements of the proposal were developed to respect and enhance local context and character. Creative use of material and colour palettes present within the context, will sensitively contrast with the building's fabric by clear definition of 'the new' versus 'the historic'.

