

Upgrading to existing Pitched and Flat Roof (U Value 0.18W/m²K):
 All roof timbers to be inspected for suitability. Existing roof felt to be inspected for suitability and if required to be replaced then existing tiles to be carefully removed and stored securely for reinstallation at a later date. Remove old battens and install a new BBA approved draped breather membrane over 70mm Celotex GA3070 rigid insulation between rafters (or similar or equal approved) with 50mm Celotex GA3050 rigid insulation below rafters (or similar or equal approved) with taped joints acting as a VPL. Depth of rafters TBC. Install new 50mm tanalised battens and re-install original roof tiles. NOTE: All works to be in strict accordance with manufacturer's written recommendations. Same insulation treatment to be given to the flat roof portion of the existing main roof.

Chimneys:
 Existing face brickwork and chimney pots to be cleaned using water based system only; no chemical clean permitted. Brickwork to be repointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork. Damaged chimney pots to be replaced to match existing.

Windows:
 For proposed window details refer to Kyson 6100 Series of drawings.

Flashing:
 All flashing to be checked and repaired as required. Any damaged flashing to be replaced with matching material.

Gutters:
 All gutters to be cleaned and checked. Where damaged to be replaced to match existing.

Windows:
 Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

External Wall:
 Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

Bay Window:
 Existing brickwork to bay window to be refurbished. Existing windows are beyond repair and need to be replaced to match existing in style and detail.

Windows:
 Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

External Pipework:
 Pipework to be removed and re-configured to suit new proposals.

Chimneys:
 Existing face brickwork and chimney pots to be cleaned using water based system only; no chemical clean permitted. Brickwork to be repointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork. Damaged chimney pots to be replaced to match existing.

Dormer:
 Roof of dormer to be checked and repaired as required.

Roof Light Opening:
 New opening to be formed within existing roof. Roof supporting structure to be adapted to suit new rooflights. Any roof tiles to be salvaged where possible.

New Dormer Checks and Roof (U Value 0.18W/m²K):
 Side hung roof tiles to match existing roof on 25mm tanalised battens on 25mm tanalised counter battens with Kingspan Nivent breathable membrane on 9mm OSB sheathing board fixed to 100x50mm studs (TBC by SE) with 100mm Kingspan Kooltherm K107 Pitched Roof Board between timber studs with 42.5mm Kingspan Kooltherm K118 Insulated Plasterboard with taped joints acting as a VPL. NOTE: All works to be in strict accordance with manufacturer's written recommendations. Same insulation treatment to be given to the dormer roof.

Flashing:
 All flashing to be checked and repaired as required. Any damaged flashing to be replaced with matching material.

Gutters:
 All gutters to be cleaned and checked. Where damaged to be replaced to match existing.

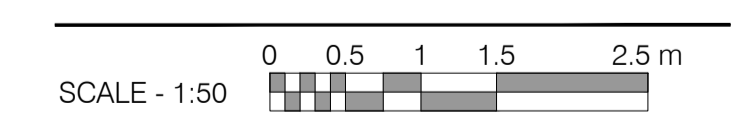
External Wall:
 Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

Roof:
 Roof to be inspected for defects and refurbished as required.

Second FFL 94.83

First FFL 91.66

Ground FFL 88.34



| Rev: | Comments: | By: | Date: |
|------|-------------------------------|-----|--------|
| A | Proposed door removed | DW | JUN 18 |
| B | New design for Rear Extension | KK | AUG 18 |

Project Title:
 24 Heath Drive, London, NW3 7SB

Drawing Title:
 Proposed South-West Elevation

Scale: 1:50@A1 Date: JAN 18 Drawn: ST Checked: HV

PLANNING

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Project No.: 508-16 Drawing No.: 3001 Revision: B

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