

Application ref: 2018/3465/P
Contact: Ben Farrant
Tel: 020 7974 6253
Date: 28 August 2018

Development Management
Regeneration and Planning
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Iceni Projects
Flitcroft House
114-116 Charing Cross Road
London
WC2H 0JR

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

**97 Haverstock Hill
London
NW3 4RL**

Proposal:

Insertion of entrance door to northern splayed corner (Retention in a modified form)
Drawing Nos: LP, OS, PH, 01, 02, 03, 04, 05, 06_Rev.A, sk1/140318_Rev.A &
sk2/140318_Rev.A

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 Within three months of the date of this permission the proposed access door shall be completed in accordance with the approved plans.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: LP, OS, PH, 01, 02, 03, 04, 05, 06_Rev.A, sk1/140318_Rev.A & sk2/140318_Rev.A.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Reasons for granting permission.

The property is located within the Eton Conservation Area, it is an asset of community value; there are no listed buildings which would be affected as a result of the works.

The application is for the retention of the works in a modified form, a temporary door has been installed on the splayed corner of the building without the benefit of planning consent. The doors are glazed and are of poor quality/design; the doors proposed here would replace the current doors.

The proposed door would be curved to match the curved corner of the building and would be of an appropriate design, both within the context of the design of the public house, and wider Eton Conservation Area. The proposal would serve to maintain the character and appearance of the property and surrounding area in accordance with Policies D1 and D2 of Camden's Local Plan.

Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and

Regulatory Reform Act (ERR) 2013.

Given the siting, scale and design of the proposal, it is considered not to result in undue harm to the residential amenity of neighbouring properties. Whilst the addition would allow a further access point to the public house, given its proximity to the existing entrance and beer garden, the additional access point would not result in a significant impact in terms of noise or other disturbance. On this basis, the proposal is considered to be acceptable in terms of its impact on neighbouring amenities.

No comments were received following public consultation on the proposal. The Eton CAAC has responded making no objections to the scheme. The planning history of the site and surrounding area has been considered when determining this application.

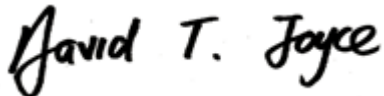
As such, the proposed development is in general accordance with policies D1, D2 & A1 of the London Borough of Camden Local Plan 2017, the London Plan 2016, and the National Planning Policy Framework 2018.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning