

The Treehouse
East Heath Road, London

Design & Access Statement

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THE TREEHOUSE - DESIGN & ACCESS STATEMENT

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1.0 INTRODUCTION

1.1 Description of Development

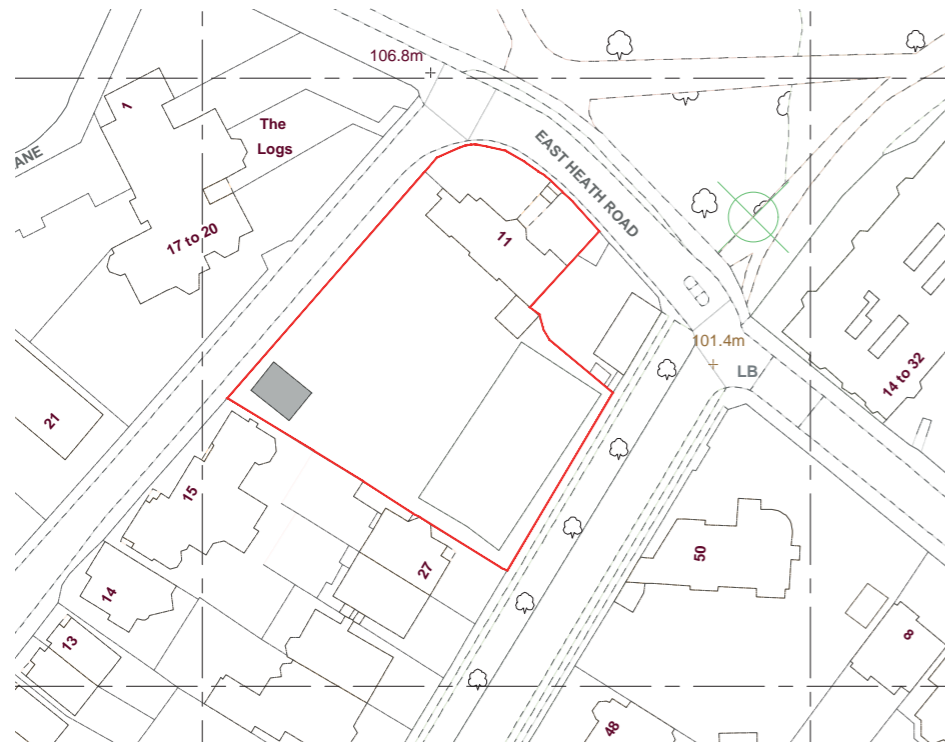
This Design and Access Statement has been produced in support of the Planning Application for the alteration to the two storey ancillary building for work / studio space situated at Foley House, East Heath Road in London.

The building, herewith referred to as the Treehouse, was originally approved on 31st March 2010 (Application Reference 2009/2777/P). After a measured survey was undertaken in August 2017, it has come to light that a number of minor alterations were made during the construction of the Treehouse. These minor discrepancies to the original approval were granted the Certificate of Lawfulness of Existing Development on 22nd February 2018 (Application Reference 2017/6888/P).

In the original application in 2010 listed building consent was not required. This extension application therefore does not include listed building consent application.

The Treehouse is an existing two storey garden studio. This application seeks permission for alteration works to the Treehouse within the existing footprint of the existing building.

The building has been designed to fit in within the context of the garden and adjacent Foley House but also into the design and scale of the surrounding area with a mix of architectural styles and scales.



Site location, boundary in red, treehouse shown in grey.

1.2 Site Context

The site is located within the grounds of Foley House, a grade II listed building on East Heath Road, which overlooks Hampstead Heath in North London, within the Hampstead conservation area. The Treehouse sits to the rear of the grounds, adjacent to a secondary pedestrian entrance gate within a timber fence leading onto Well Road. Due to its location within the grounds and the size of the building itself, the Treehouse does not have a visual impact on the setting of Foley House itself.

Foley House grounds is situated in the Hampstead Conservation Area, focused around Hampstead village and Hampstead Heath. The conservation area is situated in North London and extends from Finchley Road to Highgate. It was designated as such in 1968 due to its large number of listed buildings of architectural interest, the street pattern of the original village and the proximity to Hampstead Heath. In the years after that Hampstead has grown with new modern buildings with different styles and scales.



Existing view from Well Road

1.3 Design & Access Statement

Article 4C of the General Development Procedure Order 1995 inserted from August 10, 2006 by the Town and Country Planning (General Procedure Order) (amendment) (England) Order 2006 (SI 20061062) requires Design and Access Statements to be submitted in support of certain applications.

The substance of the Design and Access Statement is laid out in the National Planning Practice Guidance published 6th March 2014. Further guidance has historically been provided by CABI as follows:

'Design and Access Statements – How to write, read and use them': Design: It is noted that the design statement needs to include the following information, namely:

Use – What buildings and spaces will be used for.

Amount – How much would be built on the site.

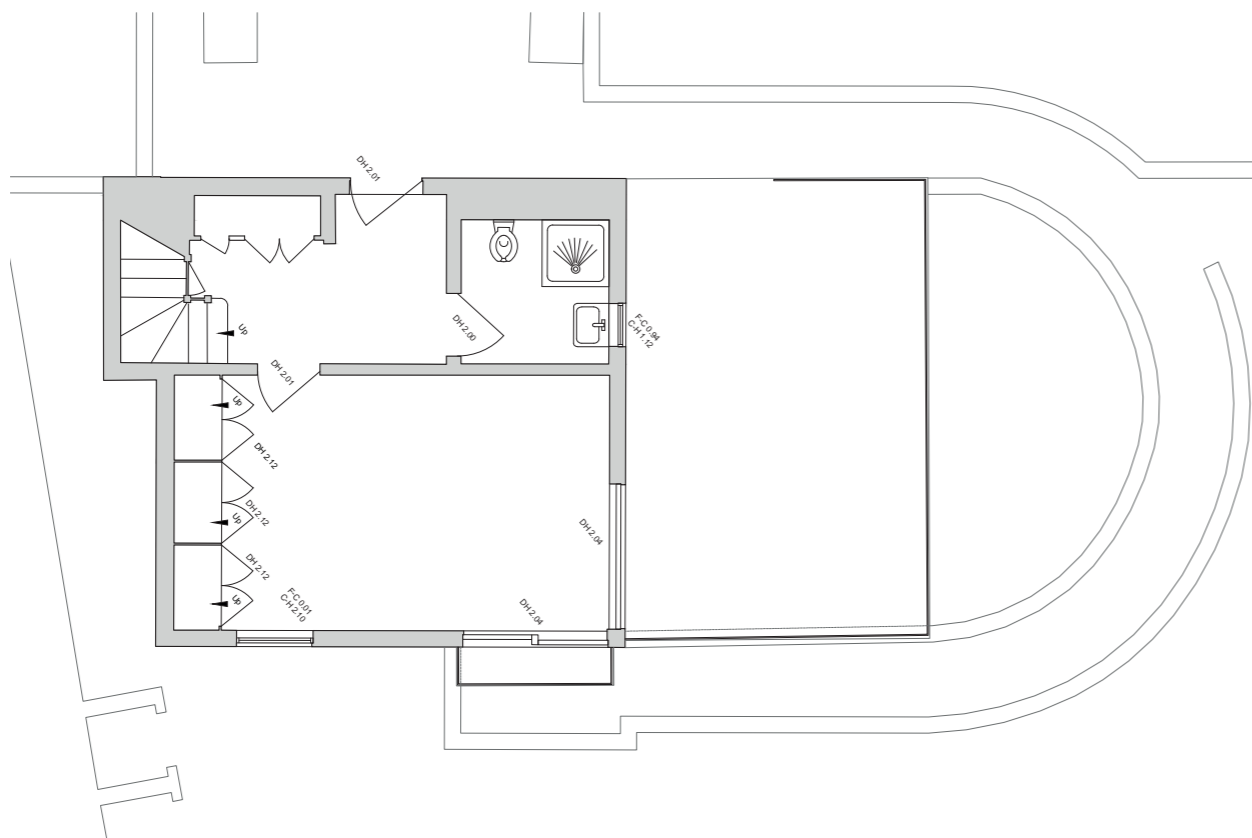
Layout – How the buildings and public and private spaces will be arranged on the site, and the relationship between them and the buildings and spaces around the site.

Scale – How big the building and spaces would be (their height, width and length).

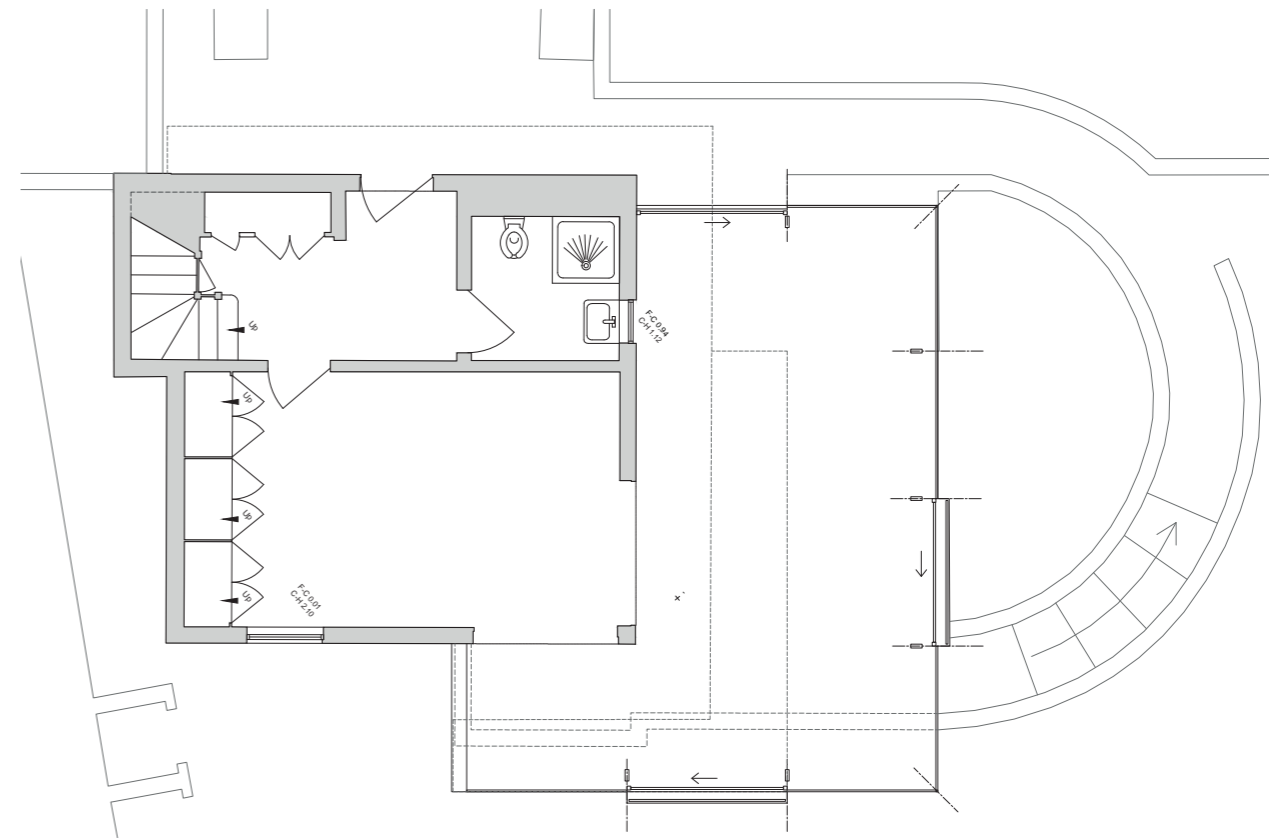
Landscaping – How open spaces will be treated to enhance and protect the character of a place.

Appearance – What the building and spaces will look like, for example, building materials and architectural details.

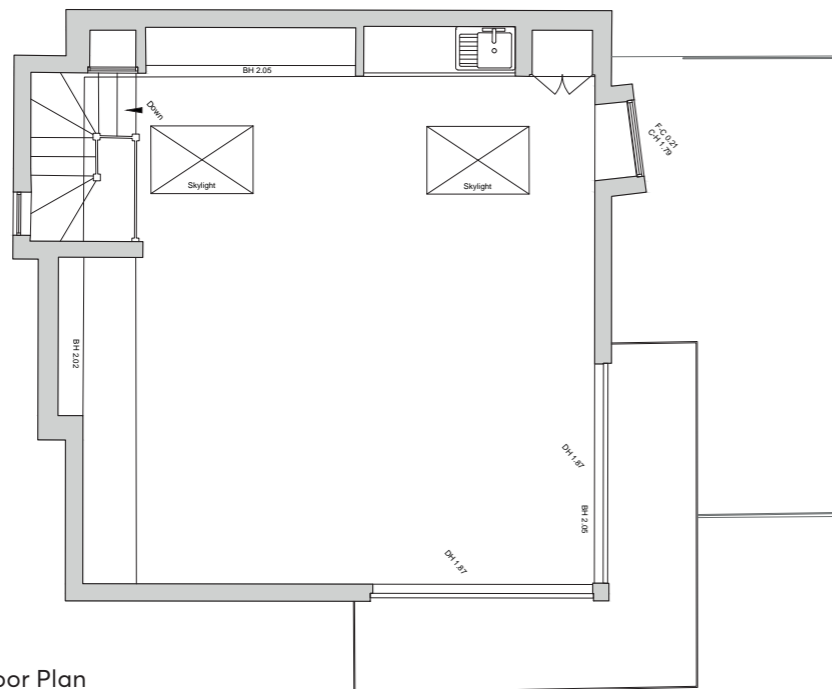
Access: The statement needs to include two potential aspects of access, disability access and fire escape. That is not to say they are separate, and the statement should show that all access issues have been considered together.



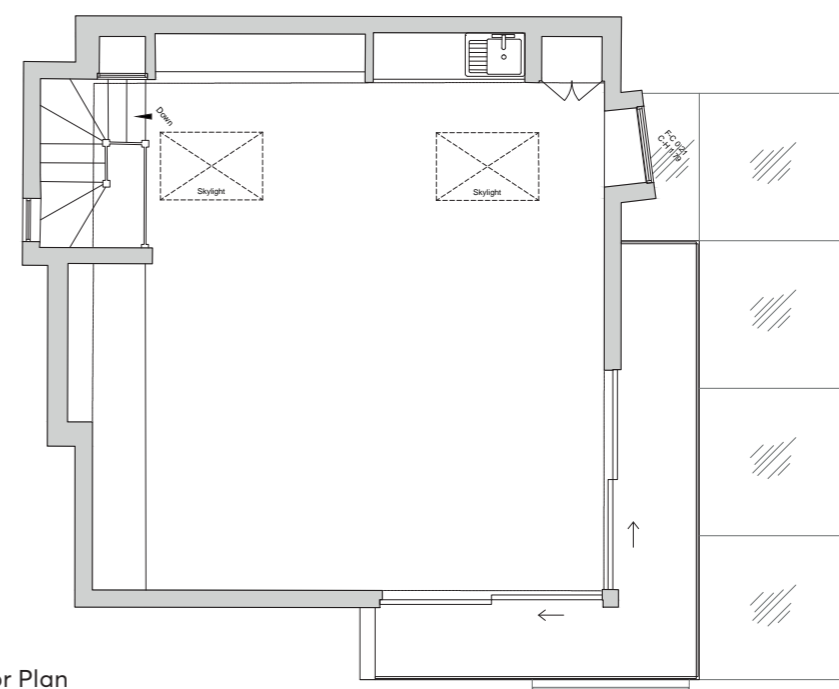
Existing Ground Floor Plan



Proposed Ground Floor Plan



Existing First Floor Plan



Proposed First Floor Plan



2.0 DESIGN STATEMENT

2.1 Use

The application seeks to enhance the existing design of the Treehouse, to draw in more natural light and enclose the terrace space to allow use throughout the year, whilst the large sliding doors retain the connection to the gardens. The building use remains unchanged.

The Treehouse currently provides two floors of accommodation, with an external terrace on the ground floor and small balcony on the first floor. There is a small basement for storage, accessible via a separate external door.

2.2 Amount

The physical footprint of the building going into the ground is to be retained as existing in the new proposals, whilst the internal floor area is to be increased with the enclosure and linking of the ground floor terrace and balcony.

The additional internal floor area to be gained is 34m² over two floors. On the ground floor the extra area gain is 25m², forming a larger open living area looking out onto the gardens which replaces the existing terrace. The new first floor balcony is proposed to match the existing floor area of 9m², at a slightly reduced depth to allow it to align with the glazing panels below.

2.3 Layout and Alterations

The proposal includes extensions to the ground and first floor levels and minor alterations to the external path around the building.

Ground Floor

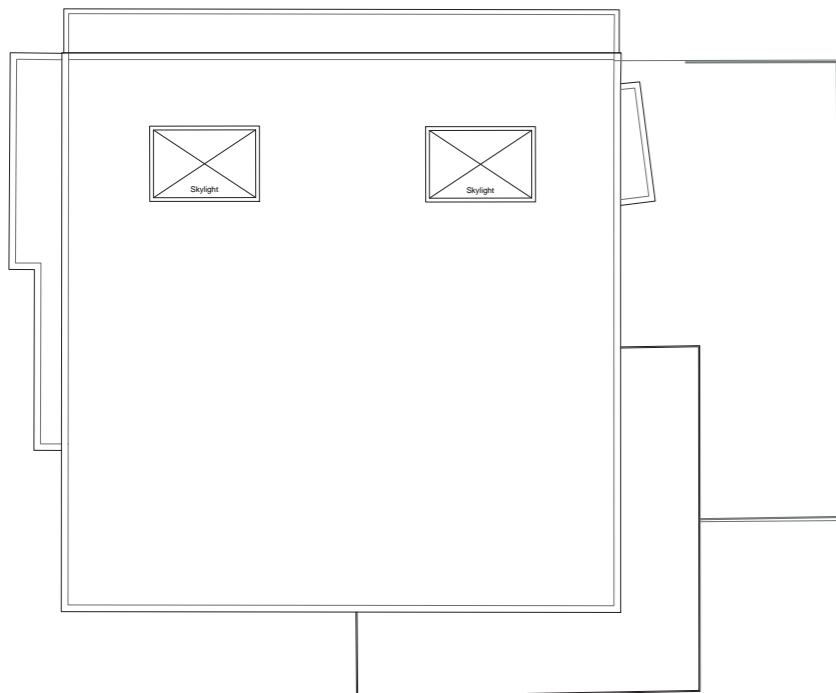
The existing external terrace and balcony at ground floor level are to be removed, to be replaced with a new glazed extension. Two existing sliding doors between the living area and terrace are to be removed to allow the creation of a large open space creating a seamless connection between the existing and the new, access to the glazed extension is also proposed via a sliding glass door to the north side, and two sliding panels are proposed, with juliet balconies opening out onto the gardens.

First Floor

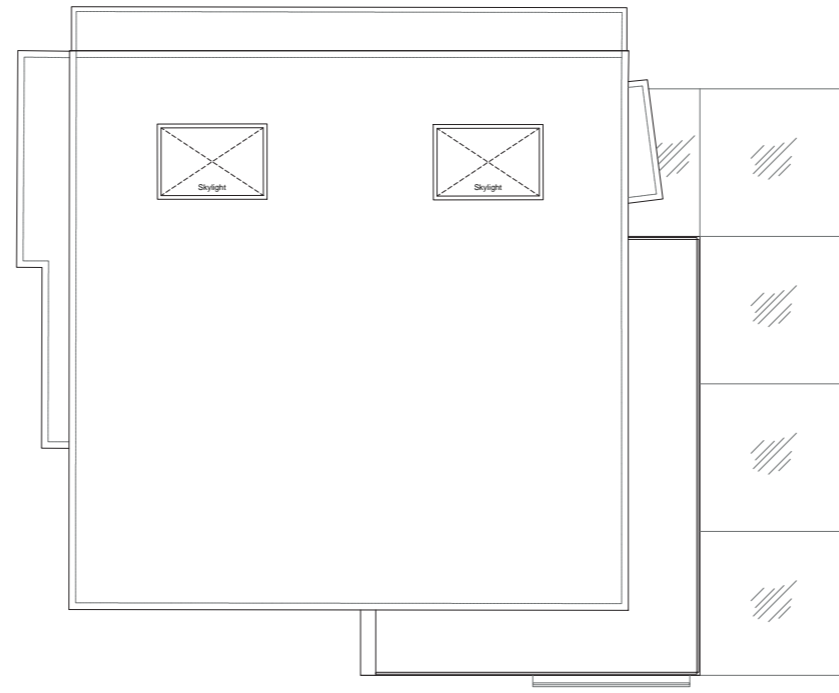
At first floor the existing balcony is to be removed and replaced with a new one of similar dimensions, to be incorporated into the roof of the extension below, with a glass balustrade running around its length. Existing glazed doors leading onto the balcony are to be replaced with new.

External

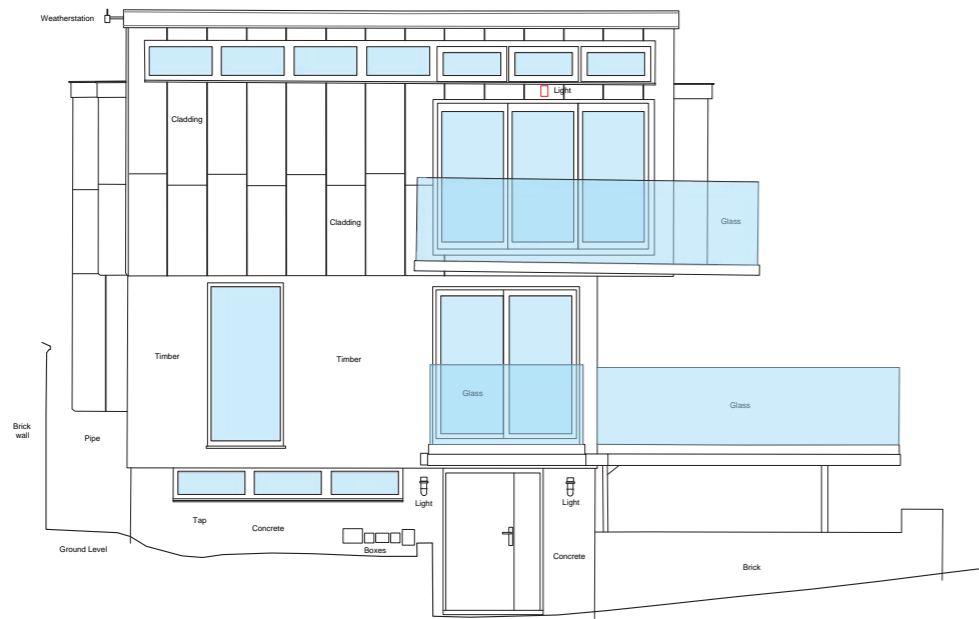
Due to the new glazed extension at ground floor level the path at the basement entrance creates a pinch point, new steps are proposed to bring the path below the new extension and retain access to the basement storage area, the existing brick wall along the path is to be retained.



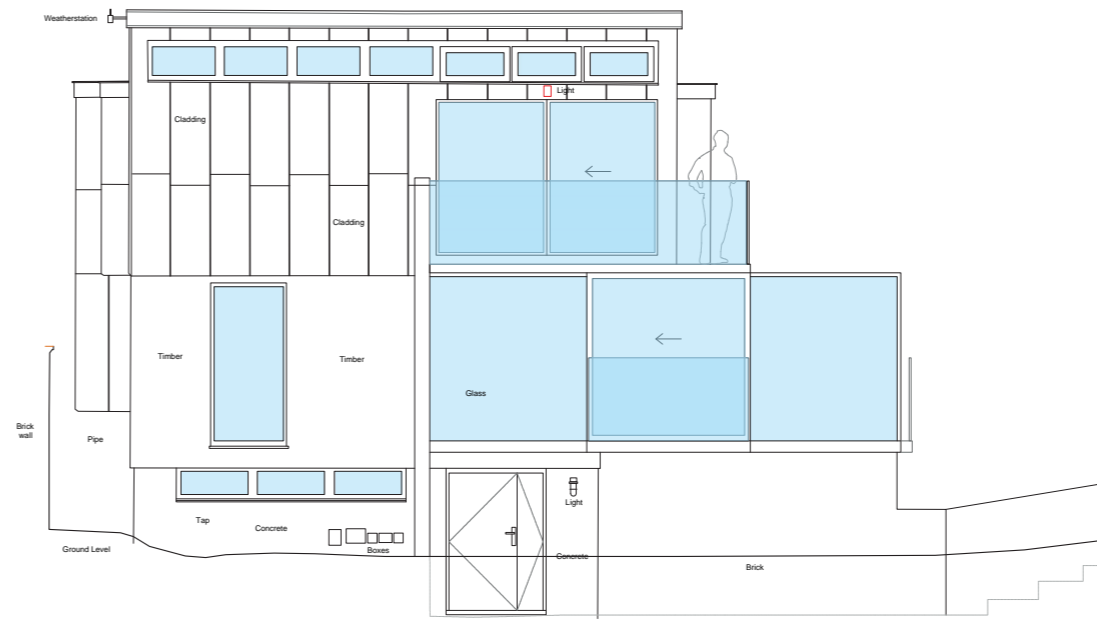
Existing Roof Plan



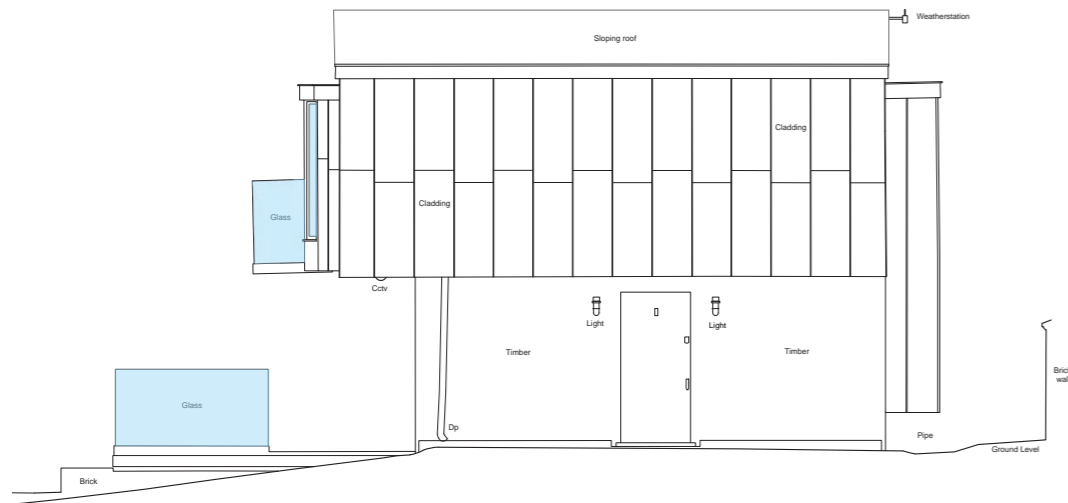
Proposed Roof Plan



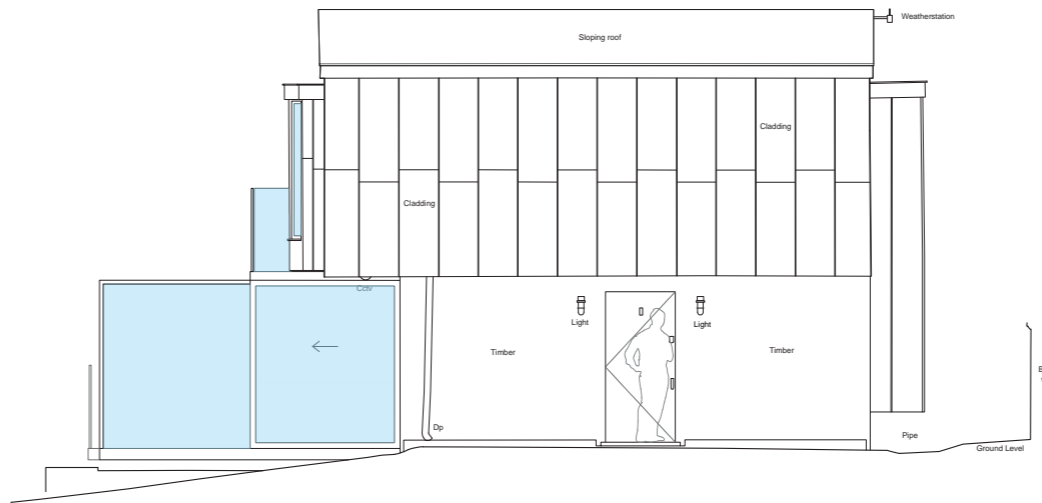
Existing East Elevation



Proposed East Elevation



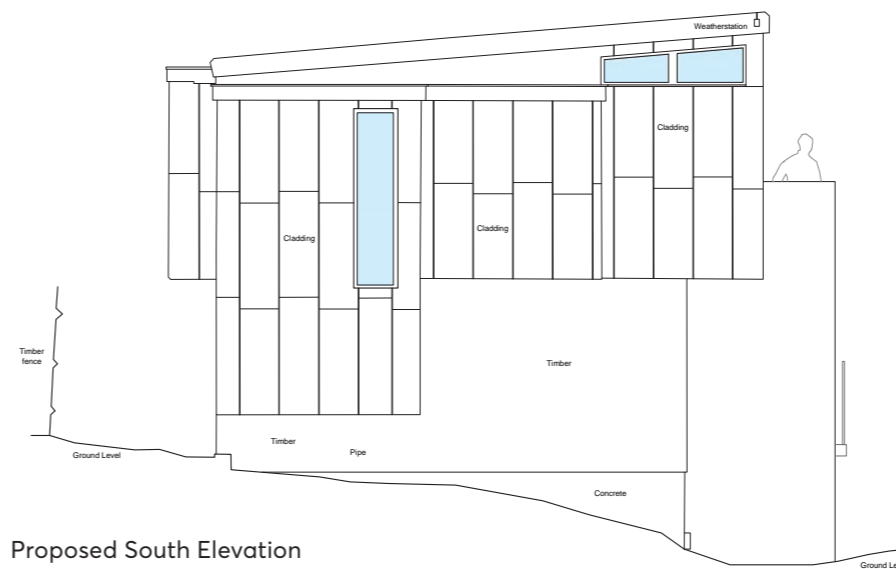
Existing West Elevation



Proposed West Elevation

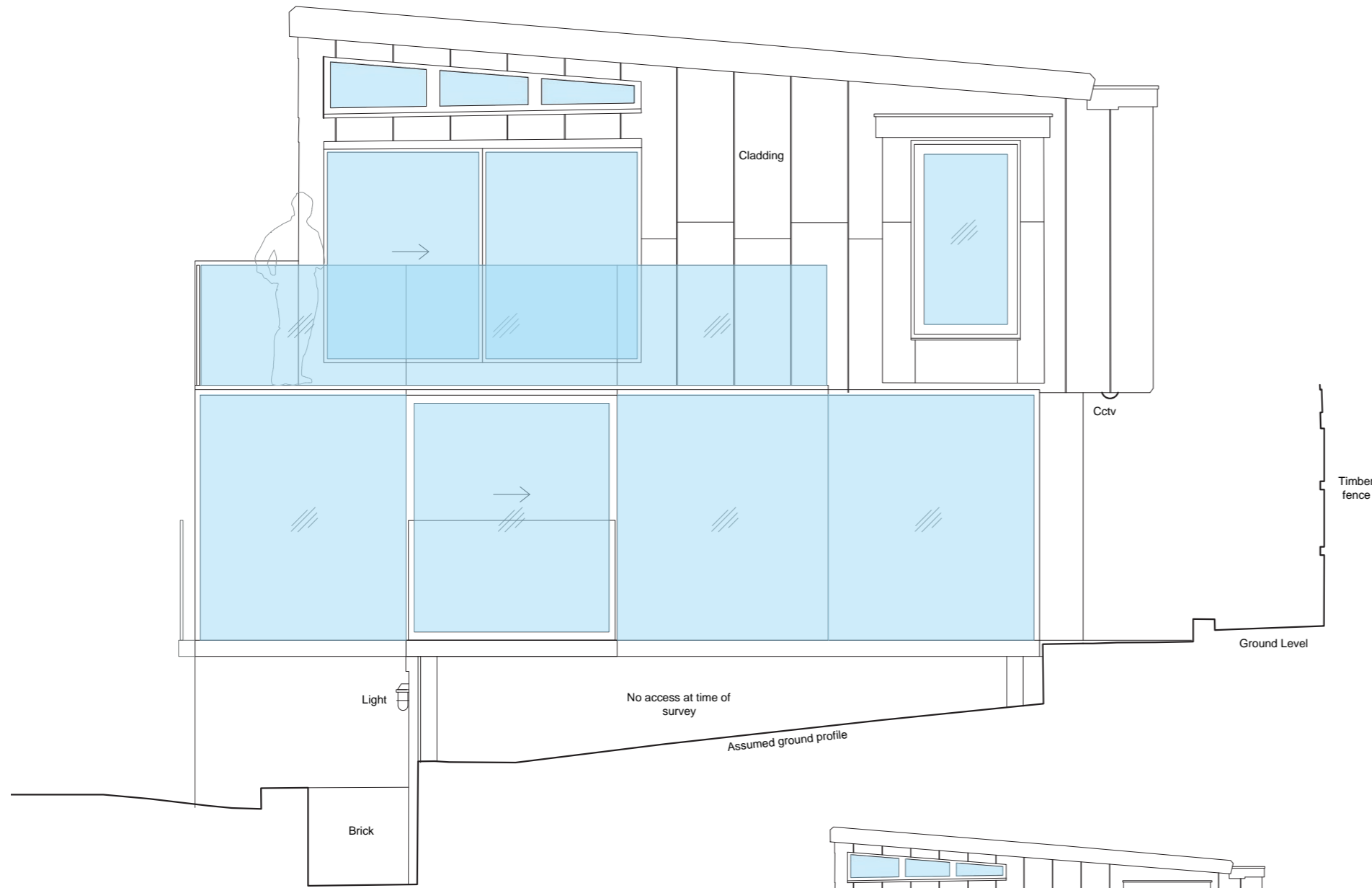


Existing South Elevation

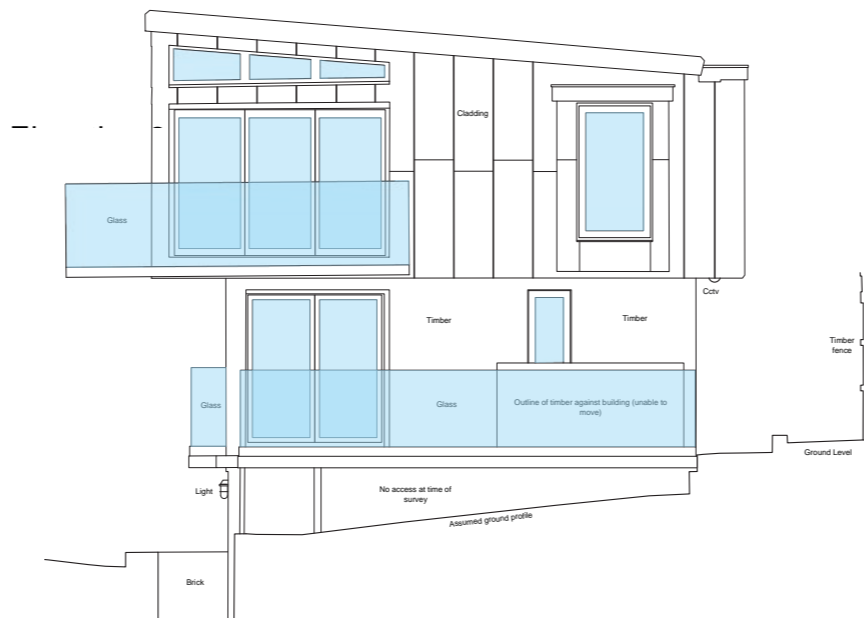


Proposed South Elevation





Proposed North Elevation



Existing North Elevation

2.4 Appearance

The new extension will be formed of a solid deck with structural glazing forming the walls and roof, creating a minimal visual addition to the existing fabric. The glazing will be formed of large panels with one panel forming a sliding door on each elevation to create a link between the inside and outside spaces.

The proposed extension to the ground floor will not be visible from street level due to the existing timber fence on Well Road. The visual appearance of the first floor will remain the same, as the glass balustrade will be replaced like for like.

2.5 Scale

In comparison to surrounding buildings the Treehouse is significantly smaller in scale, rising only two stories from street level and the proposed internal space to be added is only at ground floor level.

The enclosed floor area will increase by 25m² from 91m² to 116m².



Existing Street Level View

3.0 ACCESS STATEMENT

3.1 Accessibility

The nearest tube station is Hampstead, a short walk away towards Hampstead High Street. The immediate area comprises primarily various styles and scales of residential properties to the South, East & West, and the Heath sits to the North.

No changes are proposed to the access strategy of the existing building:

- Access to the highway & public transport
- Access for pedestrians
- Access for cycling
- Parking provision
- Emergency and access services

3.2 Fire Escape

No changes are proposed.

3.3 Service Strategy

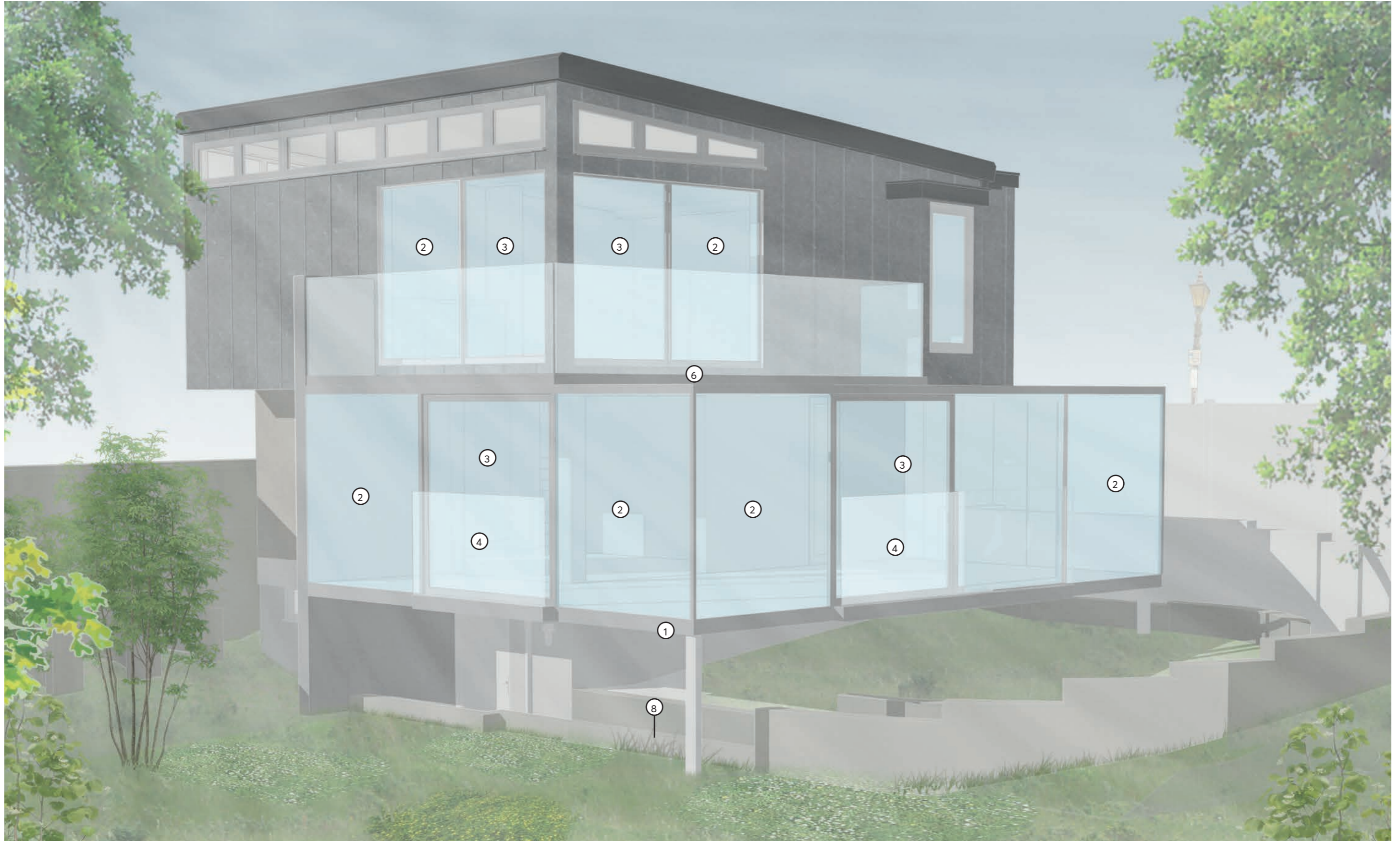
No changes are proposed.

4.0 SUMMARY

The proposed changes to the Tree House aim to enhance the usable space of the building. The design has a minimal visual impact within the grounds of Foley House and the view from the street level, and a minimal physical impact, by largely retaining the original footprint of the existing terrace and balcony.

Listed building consent was not required with the original application and so is not sought in this planning application for extension of the building.





The Tree House - Proposed View

- 1 New extension, completely new structure
- 2 Fixed glass panels
- 3 Sliding glass panels
- 4 Juliet balcony - glass panel
- 5 New solid wall
- 6 Balcony - solid ceiling below
- 7 Structural glass roof
- 8 Lowered walkway



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