

Application for a Non Material Amendment & for Listed Building Consent

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## 42 Doughty Street London WC1N 2LF

145 DOC B32 - August 2018

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## Introduction

This document is submitted as part of an application for a non-material amendment and an application for listed building consent in relation to:

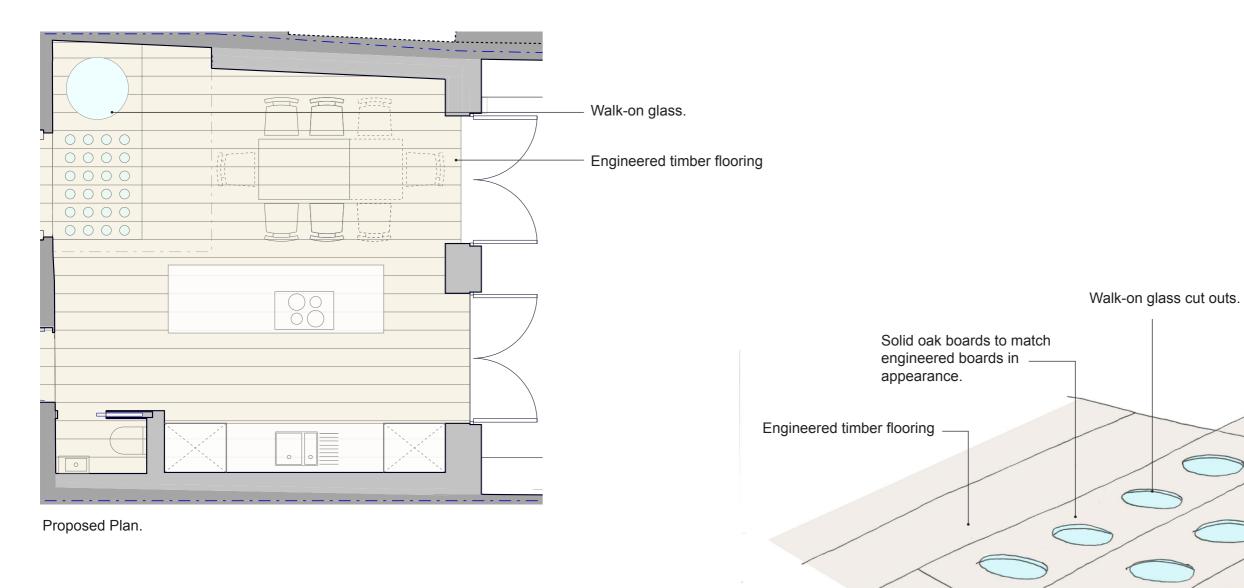
- planning permission 2017/6024/P
- listed building consent 2017/6034/L

The application seeks to amend the approved ground and basement floor layout in a small area of the proposed rear extension that is directly to the rear of the exiting building.

The approved layout (as illustrated in plan 145 P 00 rev B) includes a winding staircase and an adjacent glass/timber floor letting light into the basement. The proposed winding stair was designed to be situated partially over an existing vault (RBV-3). Further information on these items is contained on page 32 of 145 DOC B03: Heritage Statement and Impact Assessment.

Following recent opening up on site, it appears the proposed stair may impinge on the roof of the vault more than anticipated. It is therefore proposed that the stair be omitted to preserve the existing vault. Access to the basement will be maintained via the existing stair in the main house.

The adjacent glass/timber floor is retained, although adjusted to reflect the dimensions of the existing void.

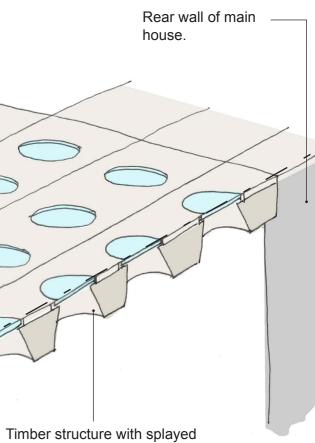


Ground floor level.

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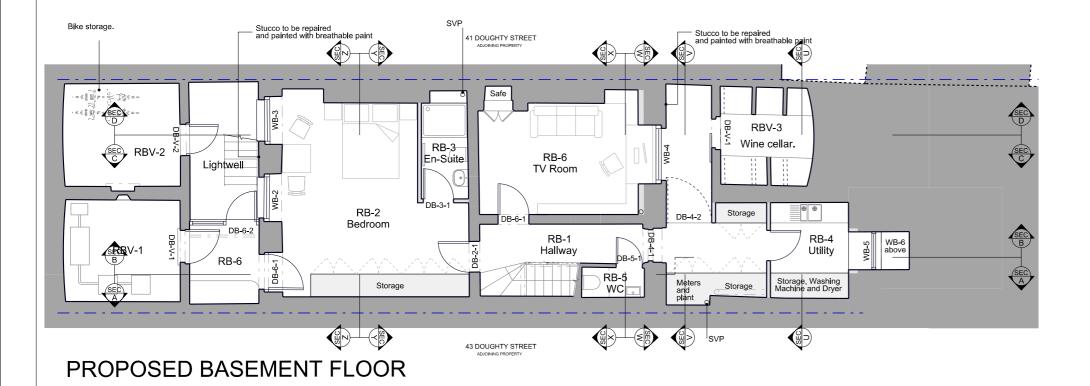
Vault wall

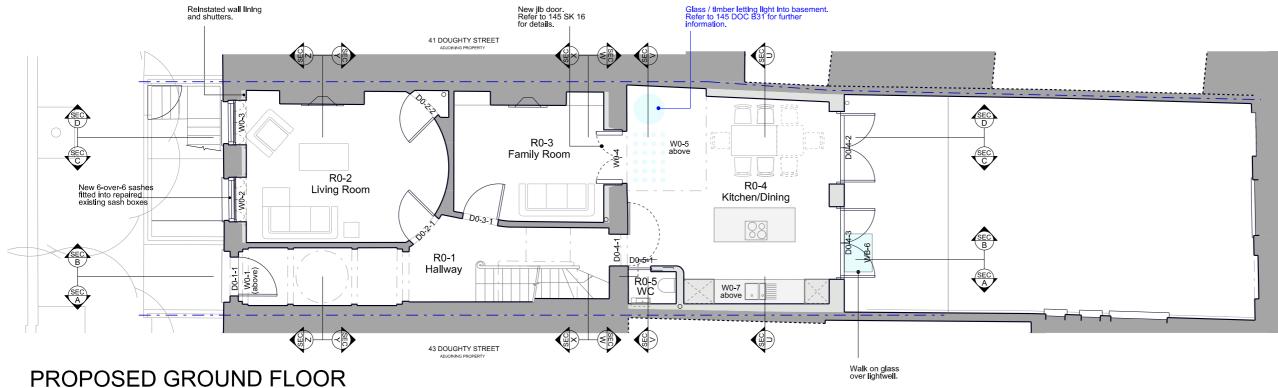




circular cut-outs.

Indicative section of proposed glass/timber floor.





0m 1m 2m

	1. This drawing Is not for construction. Do not scale from this drawing is not for construction. Do not scale from this drawing scalars and that construction must conform to the building regulations, the CDM regulations and the relevant brills codes of practice as appropriate     3. The contractor must verify all side dimensions, drawings, deta specifications and report any discrepandes to the architect beforwith any work.     4. All specified items are to be installed in accordance with the necommendations.     5. The drawing Is to be read in conjunction with the other relevant drawings,     6. This drawing Is copyright of the architect.     Drawing Status:     Planning	oles, a current h or european ils and re proceeding nanufacturer's
	Revision A Client issue	Date 20.11.17
·	B Clent Issue. C Variation of Condition.	24.10.17 08.08.18
	D NMA & LBC application.	21.08.18
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	118a London Wall London EC2Y 5JA 020 7256 2195 rp@ prewettblzley.com www.prewettblzley.com Project	
	42 Doughty Street, London WC1N 2LF	
	Proposed Basement and Ground Floor Plan	ns
	Scale         Date           1:100 @ A3         Aug 2017           1:50 @ A1         Aug 2017	
4m	<sup>Drg.no.</sup> 145 P 00	Revision D