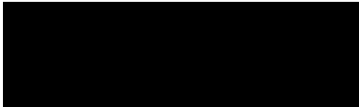

From: Mark Pender [REDACTED]
Sent: 12 June 2018 16:55
To: Lester, Robert
Cc: Chaim (Freed Constuction UK); [REDACTED]
Subject: Re: 2018/1696/P - Former 59-61 Leighton Road

Hi Robert.

Noted. I'll liaise with the architect.

Regards

Mark Pender
PPM Planning



185 Casewick Road
West Norwood
London
SE27 0TA

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> On 12 June 2018 at 16:53 "Lester, Robert" <Robert.Lester@camden.gov.uk> wrote:
>
>
> Good afternoon Mark,
>
> I have reviewed this application following the site visit.
>
> It is noted that the existing staircase is only part completed and the plans show that it would be painted
and that safety rods would be installed.
>

> However, there are some safety issues regarding the staircase which have come to light through the consultation process which will need to be resolved in this application. These matters mainly relate to finishing off of the stairs and resolving the safety issues. I include a list of matters to be resolved below.

>

>

> · The number of steps in the staircase does not match the submitted plans. The first step is also a different height to the existing.

>

> · Some of the steps are loose and need to be fitted more securely and with waterproof fixing materials.

>

> · There are cables on the staircase which need to be boxed in.

>

> · The gaps in the balustrading between the end of the ironwork railings and brickwork need to be resolved.

>

> · The exposed wood which needs covering with a metal flashing or render to avoid water penetration. It is noted that painting the staircase may resolve this issue.

>

>

> I understand that some of these matters are building control issues. However, I would be grateful if the plans could be amended / annotated to show that these matters would be addressed. I will then condition your approval to require the completion of the staircase within an agreed timescale in accordance with the plan.

>

> The residents are also concerned about being able to access their flats during construction works so I would be grateful if you explain how access would be maintained.

>

> Regards

>

> Robert Lester

> Planning Officer

> Regeneration and Planning

> Supporting Communities

> London Borough of Camden

>

> Telephone: 0207 974 2188

> Email: Robert.Lester@Camden.gov.uk

> Web: <http://www.camden.gov.uk/>

> 2nd Floor

> 5 Pancras Square

> London N1C 4AG

>

> From: Mark Pender [REDACTED]

> Sent: 01 June 2018 12:10

> To: Lester, Robert <Robert.Lester@camden.gov.uk>

> Cc: Chaim (Freed Constuction UK) [REDACTED]

> Subject: RE: 2018/1696/P - Former 59-61 Leighton Road.

>

> Hi Robert,

>

> Thank.

>

> Most of the comments relate to the existing (as built) staircase which is now subject to this application. However, a number of improvements were identified by you and your colleagues which will be