British Museum – Nos. 42–43 Russell Square
Planning Submission Statement
Prepared for the British Museum
July 2018

Alan Baxter

British Museum - No.'s 42 - 43 Russell Square

Planning Submission Statement

1.0 Introduction

Terrace houses 42 – 43 Russell Square are owned by the British Museum and are located to the south-west of Russell Square. The buildings were built in the early 1800's and are Grade II listed. The British Museum currently uses these buildings as offices. We are working with PRS Architects and Frankham (M&E engineers) to refurbish and repair these buildings for continued use as offices. We were previously involved on a refurbishment project of House 42 in the 1980's. These notes have been prepared to record the main aspects of the structural engineering refurbishment works.

2.0 Site Investigations and Surveys

Targeted local opening up works have been carried out to date to confirm the general structural arrangement and condition of the existing structure. The findings of these investigations are summarised on the existing structure drawings. The details of the investigations are shown on the drawings in Appendix 3.

During our site visits to look at the opening up works, we noticed some local timber decay to the roof structure of No. 43. A timber survey will be carried out by a specialist at the next stage to confirm the extent of decay in these areas, so that appropriate repair details can be prepared.

We know from our previous involvement in the 1980's with No. 42 that there have been issues in the past with de-lamination of the external walls. There are signs of some bulging to the external walls in places and a survey of the verticality of these has therefore been carried out to confirm their profile.

A CCTV survey of the below ground drainage has also been carried out.

3.0 Summary of the Existing Structure

These buildings were all built at the same time and are typical of late Georgian terraces. They are 4 stories above ground with a basement beneath. There are light-wells at the front and rear, with cellars under the street beyond the front light-well.

The external and party walls and internal basement walls are loadbearing masonry. There are small store rooms centrally in the basements. The internal walls are generally timber above the ground floor.

The floor and roof structures are all timber. At ground level the floors are generally timber joisted and span over the basement walls. There are masonry vaults beneath the ground floor joists above the store rooms and in the cellars under the street. The remaining floors generally comprise primary beams supporting secondary beams that in turn support joists. The primary beams generally span between party walls and take support from the internal stud walls. The roofs are all supported by king post trusses however their layouts vary. There are cantilever stone balconies supported on cantilever stone beams at the front at first floor.

Based on our desk study of available site investigation reports undertaken at the British Museum, the foundations are around 0.6m – 1m deep and founded in gravels. Further details of the existing structure are shown on the drawings in Appendix 1.

Figure 1: View of buildings from Russell Square

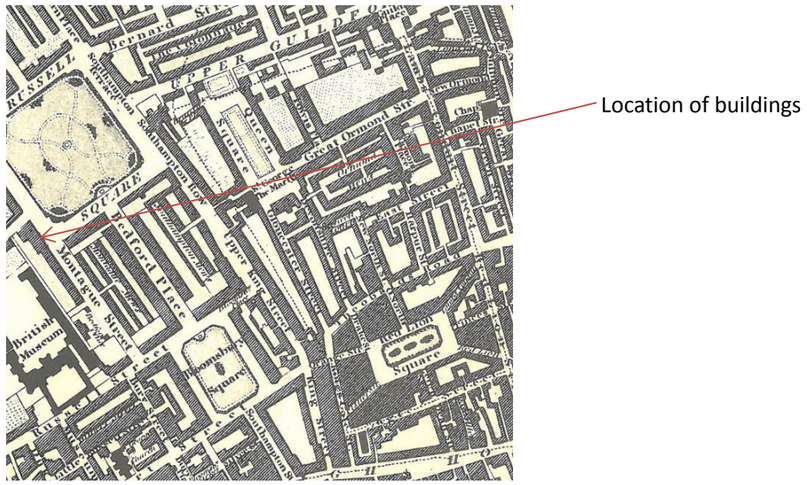


Figure 2: OS map (1824)

3.1 House 42

In the 1980's repair works were carried out to the front and rear elevations, as the facing bricks had separated (de-laminated) from the backing brickwork on the front and rear elevations. The upper levels of the front wall were re-built and the floors were tied to the wall with steel bracing. Concrete elbow ties were installed at the junctions of the external elevations and party walls. For further details refer to the existing structure drawings in Appendix 1.

The roof of property 42 is hipped at the front and rear, and the king post roof trusses span between party walls. There is a flat roof and skylight to the rear of the property, adjacent to property 43.

3.2 House 43

In the basement some internal walls have been removed and new steel beams inserted to support the timber ground floor.

The roof structure consists of two pitched roofs and a central valley beam supporting the roof king post trusses internally. This beam has been strengthened in the past with a steel plate.

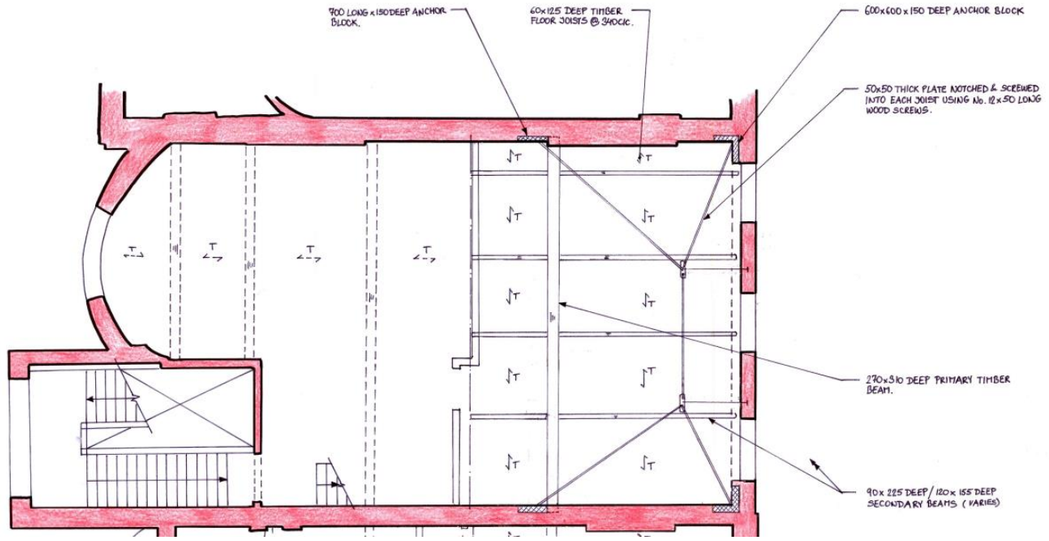


Figure 3: Typical floor in No. 42 with past repairs

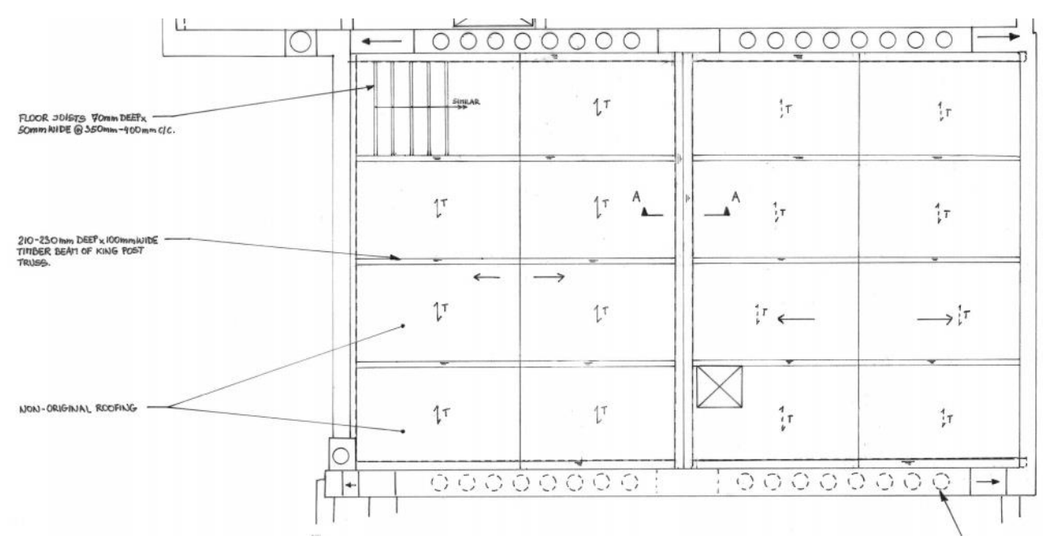


Figure 4: No. 43 roof plan

4.0 Condition and Proposed Repairs

Based on the targeted local opening up works to date, the buildings are generally of a robust construction and are in a satisfactory condition for their age and type of construction. However there are some known defects which will be addressed, in particular to the external walls. These are discussed below in section 4.1 below.

4.1 Walls

Our appraisal of the external walls has found some issues with de-lamination of the outer skin of facing brickwork to House 43. The survey shows significant bulging at the upper levels, as shown on figure 5, which may indicate that the facing brick is separating from the backing brick. These issues need to be addressed in order to reinstate the robustness of these walls.

The proposed repairs to the façade involve pinning the facing brick back to the main body of the wall where practical and where there is limited de-lamination. Where there is significant de-lamination pinning would not be effective, and local areas of re-building may be needed. Existing bricks are to be carefully removed and reused for this.

4.2 Floors

At levels 2 and 3 in the front rooms the floors are notably springy and the levels recorded by the measured survey show these floors are sagging.

The floors are generally stiff where there are internal stud walls providing intermediate support to the primary beams. However, some rooms do not have stud walls to support the primary beams and these are where the floors are springy. Some targeted opening up works are to be undertaken at the start of the works to confirm details and condition of primary timber beams. We will then review and develop any necessary repairs or stiffening works to address defects encountered to improve the stiffness of these floors.

During the opening up works, some other defects were observed. These involve local splits and shakes in timbers, poor connections between timber members and some water ingress in places. Where these defects are encountered they will be repaired as part of the works.

4.3 Roofs

We have noticed local areas of possible timber decay at eaves and valleys. These will be surveyed by a timber specialist and decayed members will be carefully repaired. In principle the approach will be to retain existing fabric where possible and to supplement this with low key additional structure to give a ‘helping hand’ where necessary.

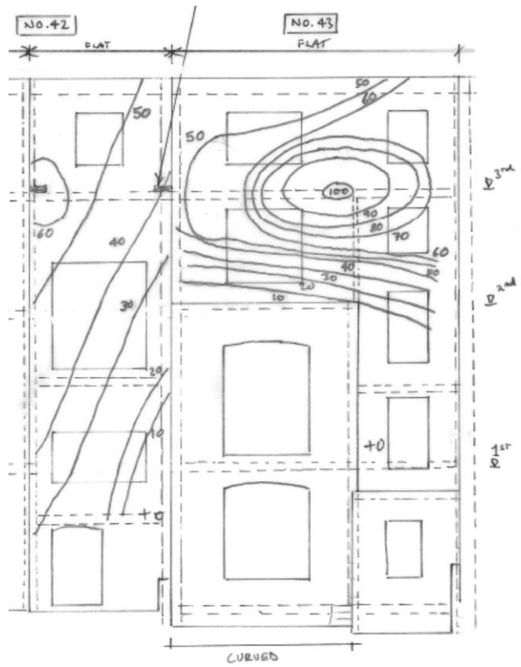


Figure 5: Rear elevations of Houses 42-43, showing movements of walls

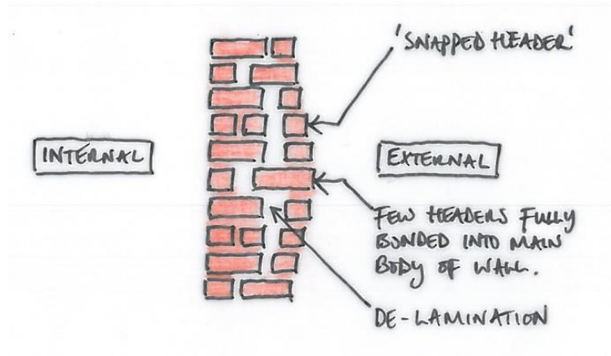


Figure 6: Sketch showing issues with de-lamination

5.0 Proposed Alterations

The proposed scheme involves upgrading the services and forming openings in some walls to create open office spaces, and in general these alterations are minor structurally. The key items are discussed below. Refer to drawings in Appendix 2 for details of proposed structural alterations.

5.1 Services Strategy

The services distribution strategy is to generally avoid altering the existing fabric by re-using existing services routes where this is practical. Elsewhere the integration of new services will aim to work with the grain of the existing structure by passing services between existing timber floor joists and with careful coordination of the routes to limit notching to existing joists. Redundant services openings will be made good. The proposed services integration is summarised in more detail on drawing 1756/705/096 in Appendix 2.

5.2 Openings in Loadbearing Walls

New openings will be formed in the basement masonry walls of House 42. New steel frames will be installed locally to re-support floors above. The steel frames will be supported on reinforced concrete ground beams, which will maintain existing load paths by distributing the loads from the steel frame evenly into the ground at foundation level.

Some openings will be formed in loadbearing stud walls at levels 1 and 2 in both properties. New steel framing will be installed here to provide support to the timber floors above.

5.3 New Skylights

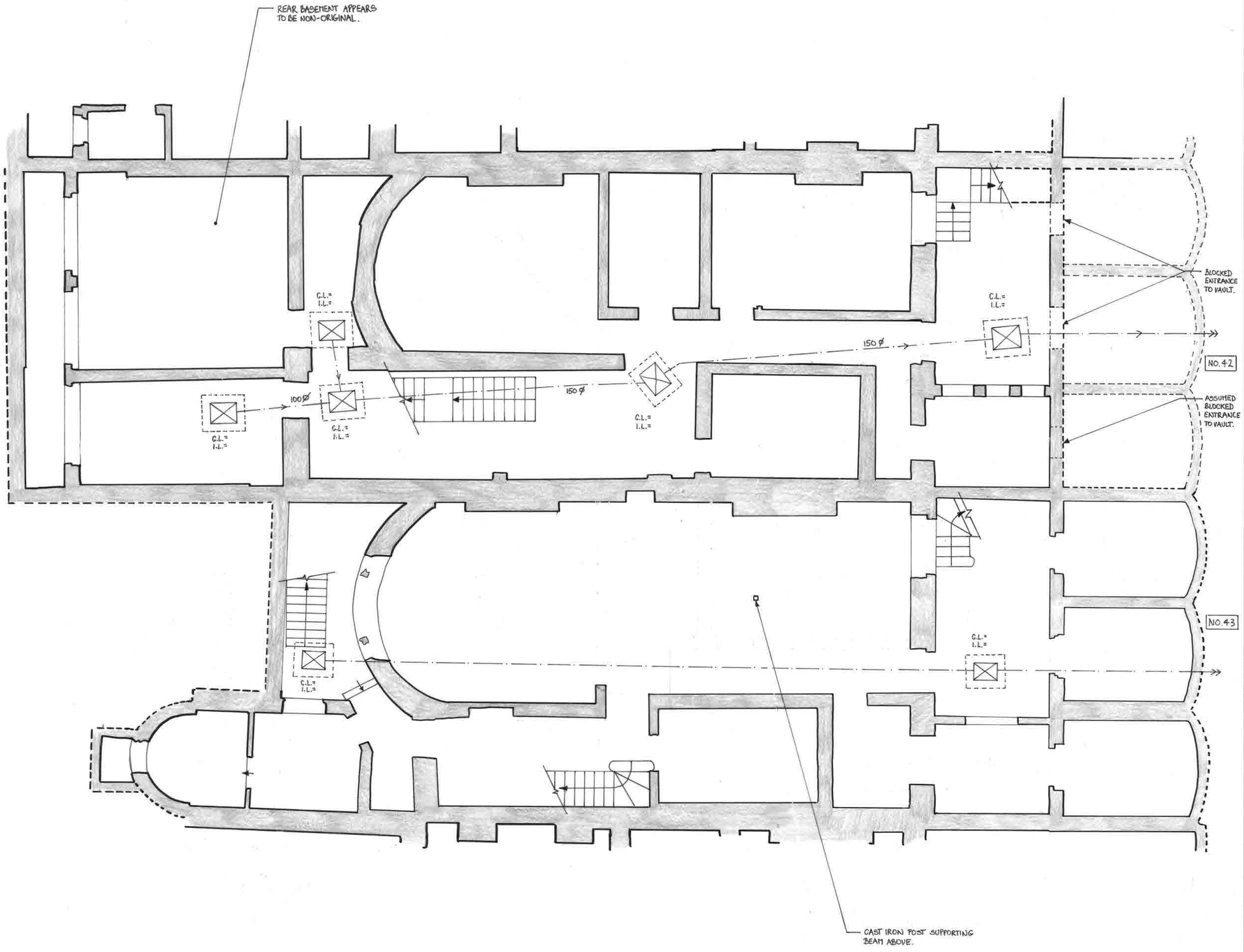
The proposed scheme involves forming a new skylight in the rear light-well of House 42. This will be supported by a new timber joisted roof structure.

6.0 Below Ground Drainage

The existing below ground drainage is a combined foul and surface system in the basements. The manholes are arranged along the length of the building and fall toward the street. The system currently discharges under gravity to the mains sewer in Russell Square. The proposed strategy for the discharge of the drainage into Russell Square will be reviewed following the receipt of the CCTV survey as part of the next design stage.

As part of the proposed scheme the bathroom layouts will be altered and this will involve minor alterations to the below ground drainage system. Where the new bathroom layouts require new connections to the existing manholes, small strips of the basement slab will be broken out to form these. The basement slab will be re-instated and made good. The proposed below ground drainage alterations are shown on the drawings in Appendix 2.

Appendix 1 – Existing Structure Drawings



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BRITISH MUSEUM
42-43 RUSSELL SQUARE
WC1

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EXISTING STRUCTURE
BASEMENT PLAN

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MAR' 18	1:50

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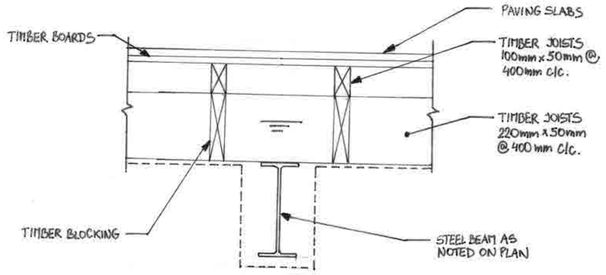

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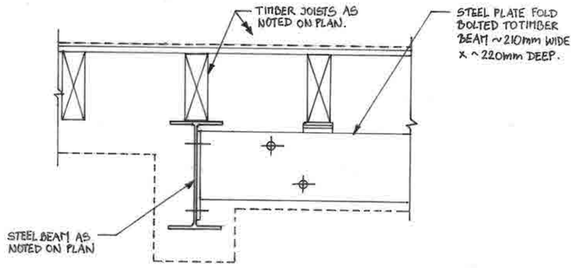

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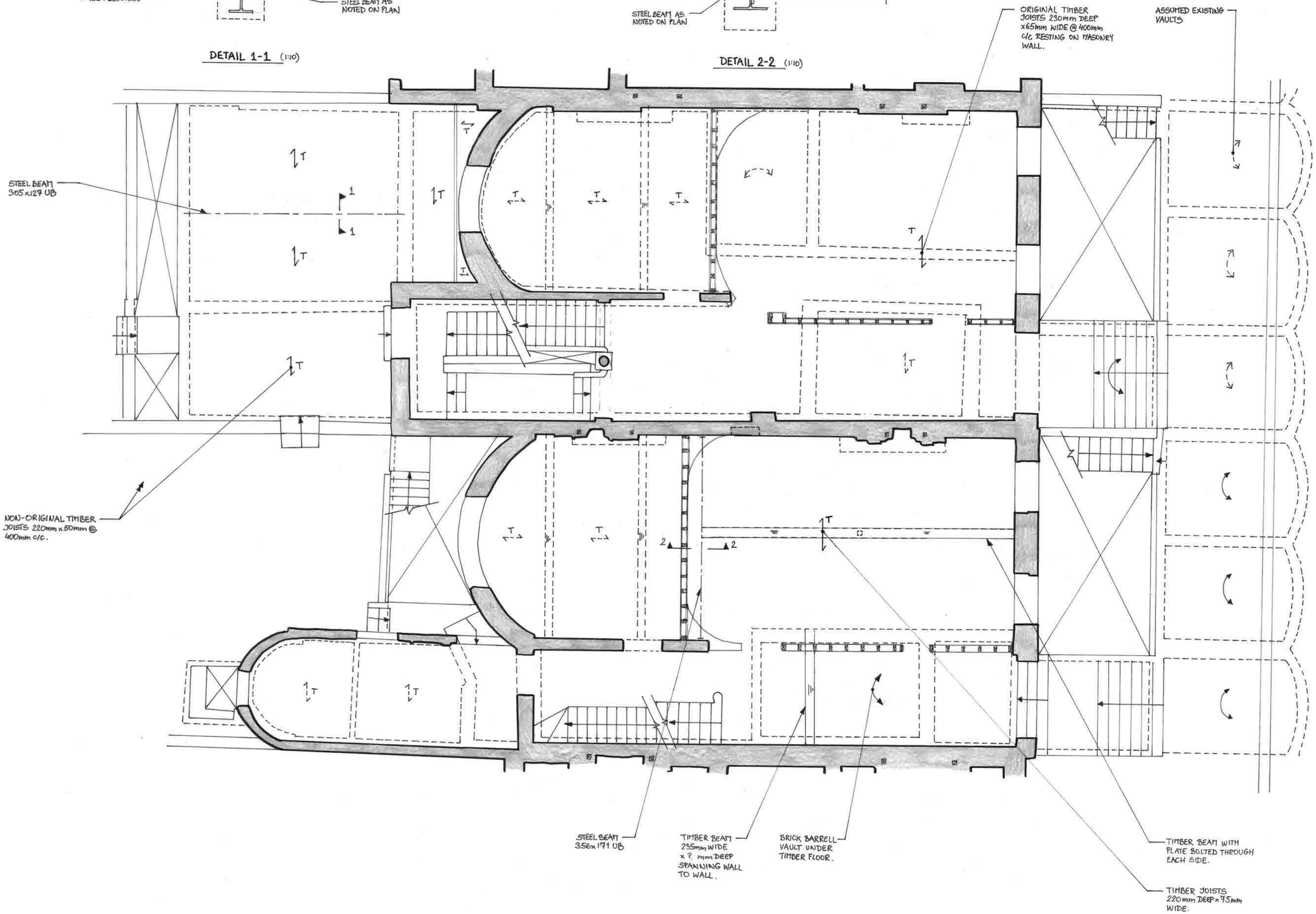

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42-43 RUSSELL SQUARE
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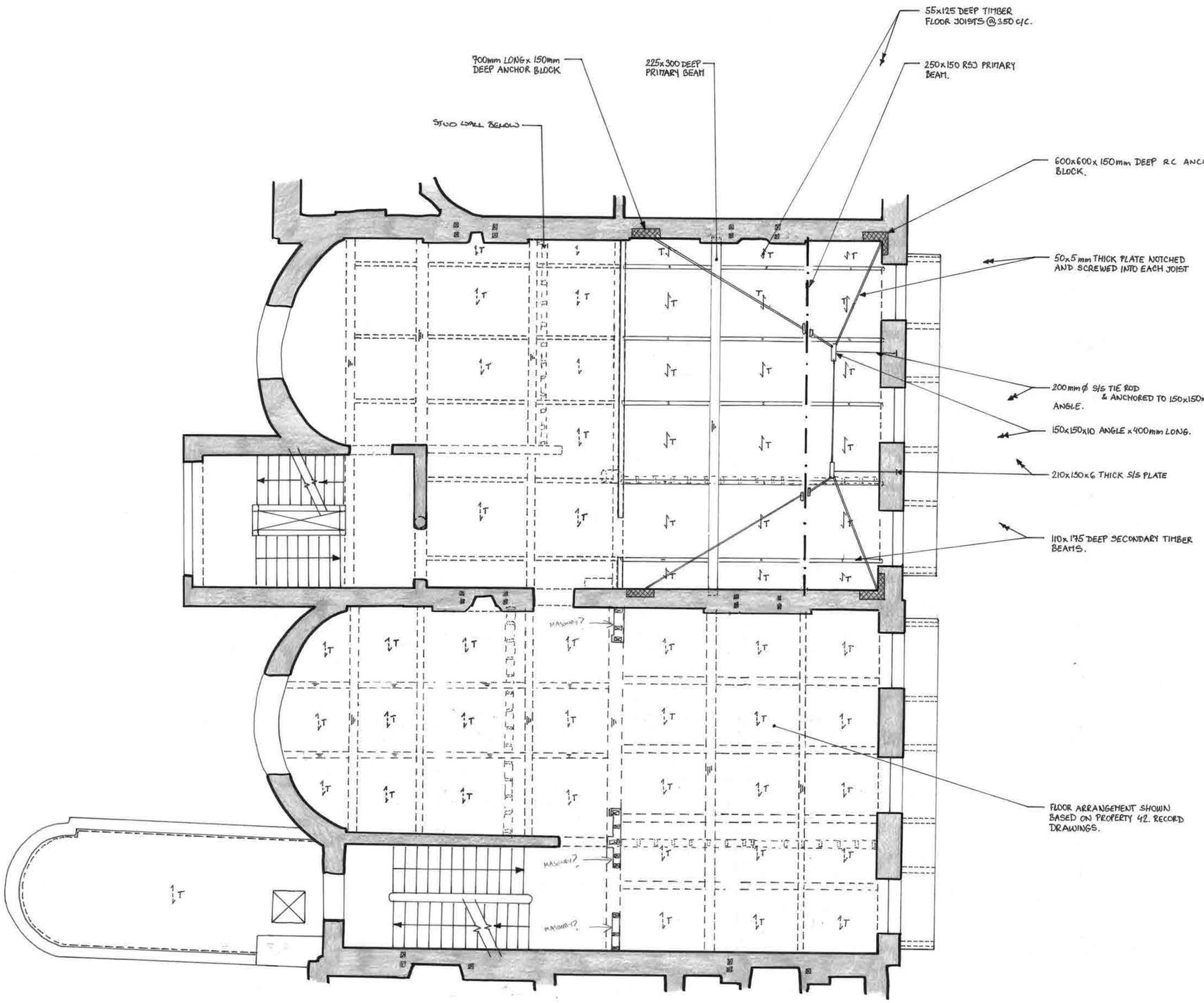

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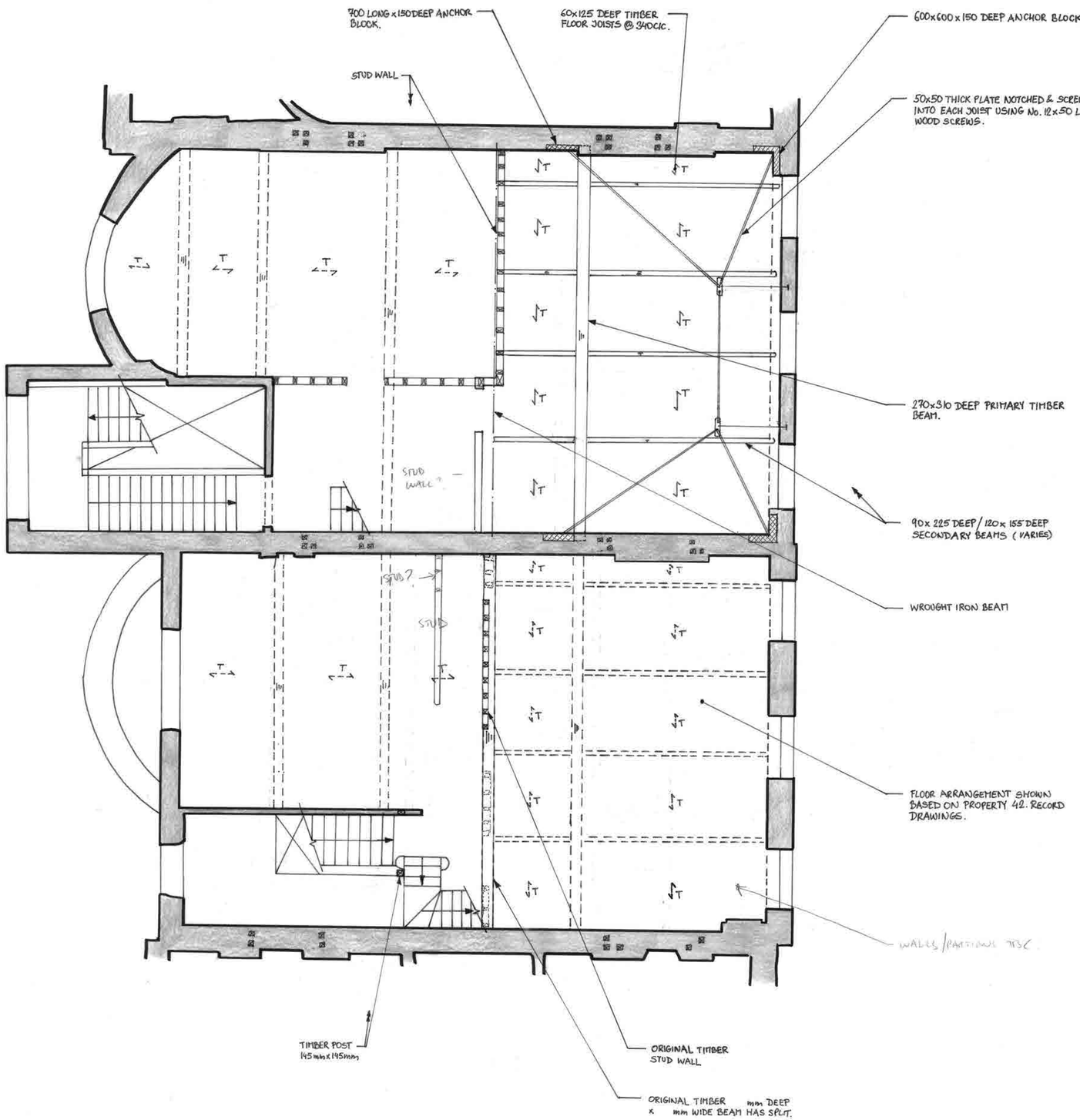

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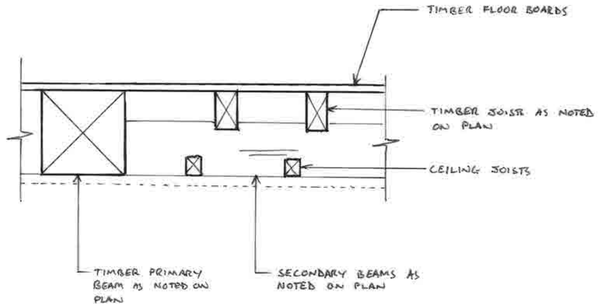

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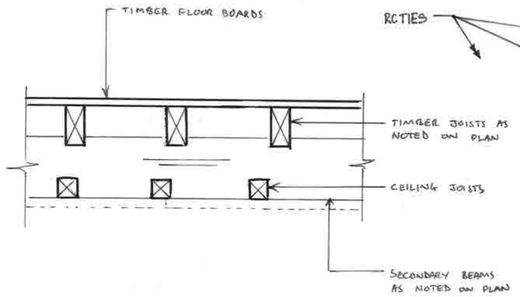

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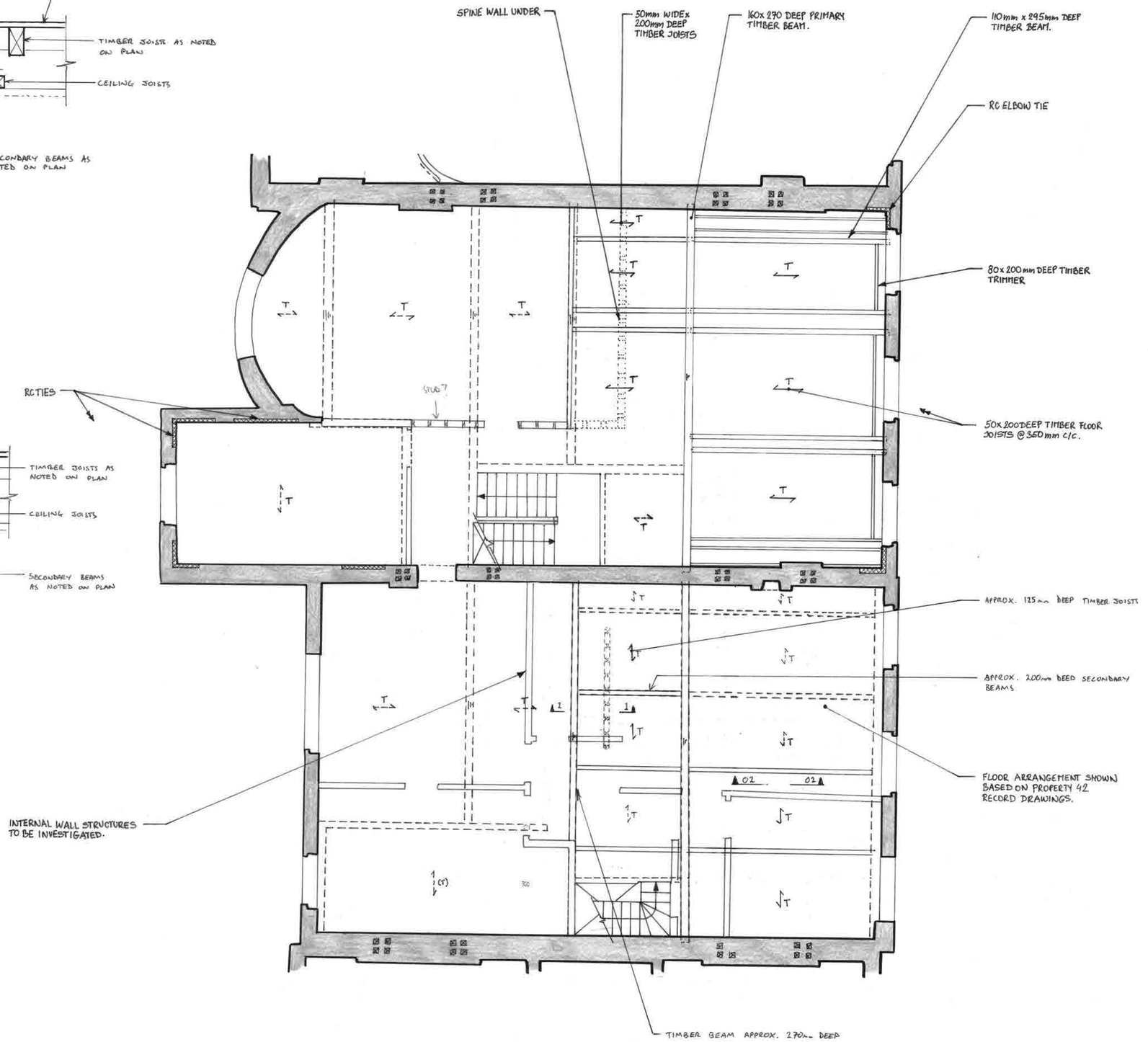

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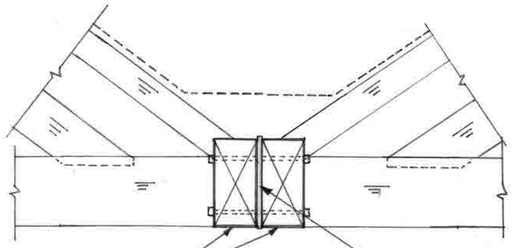

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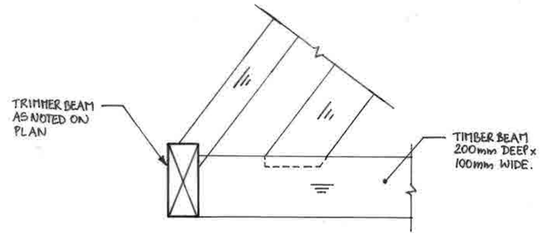

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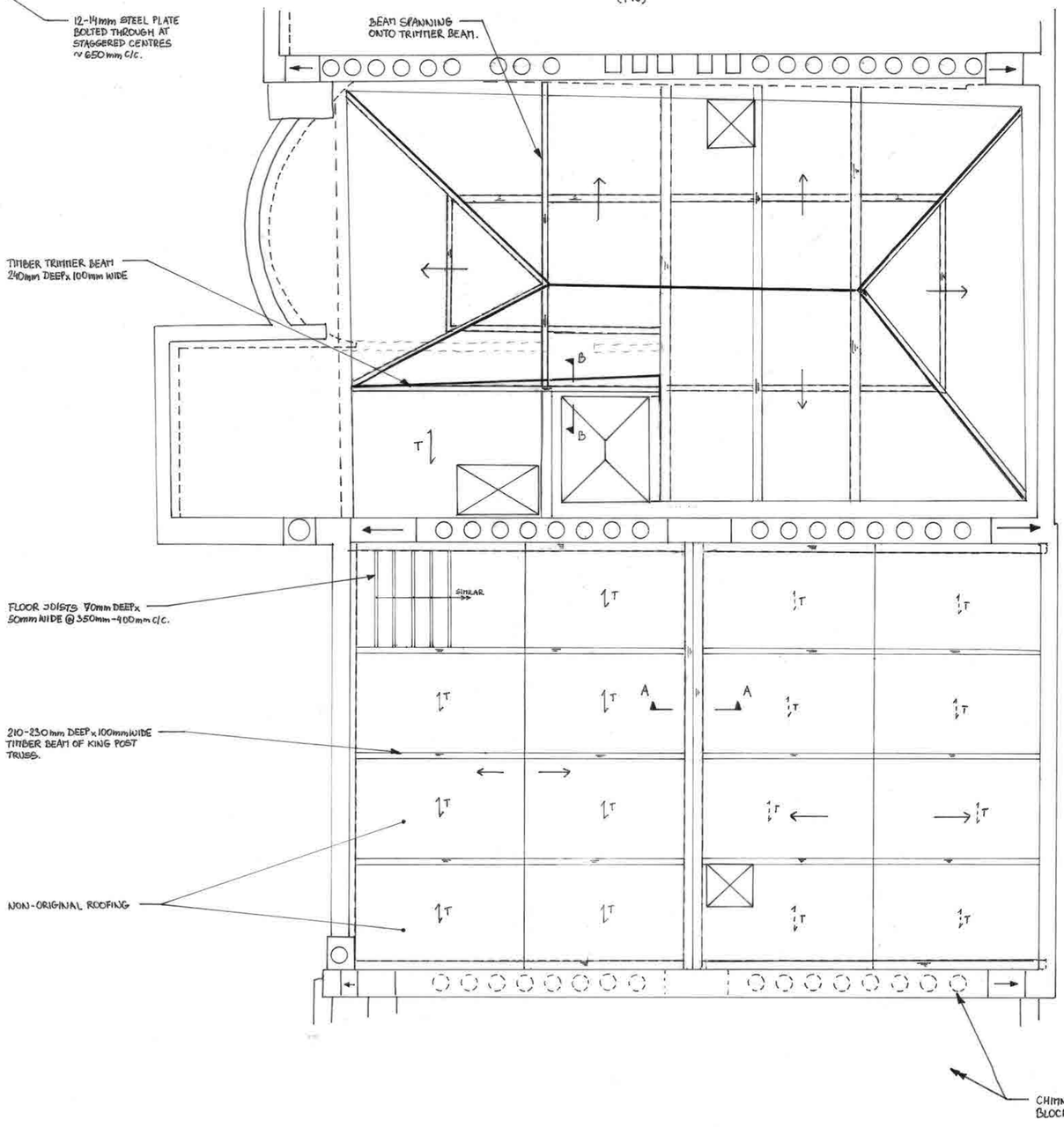

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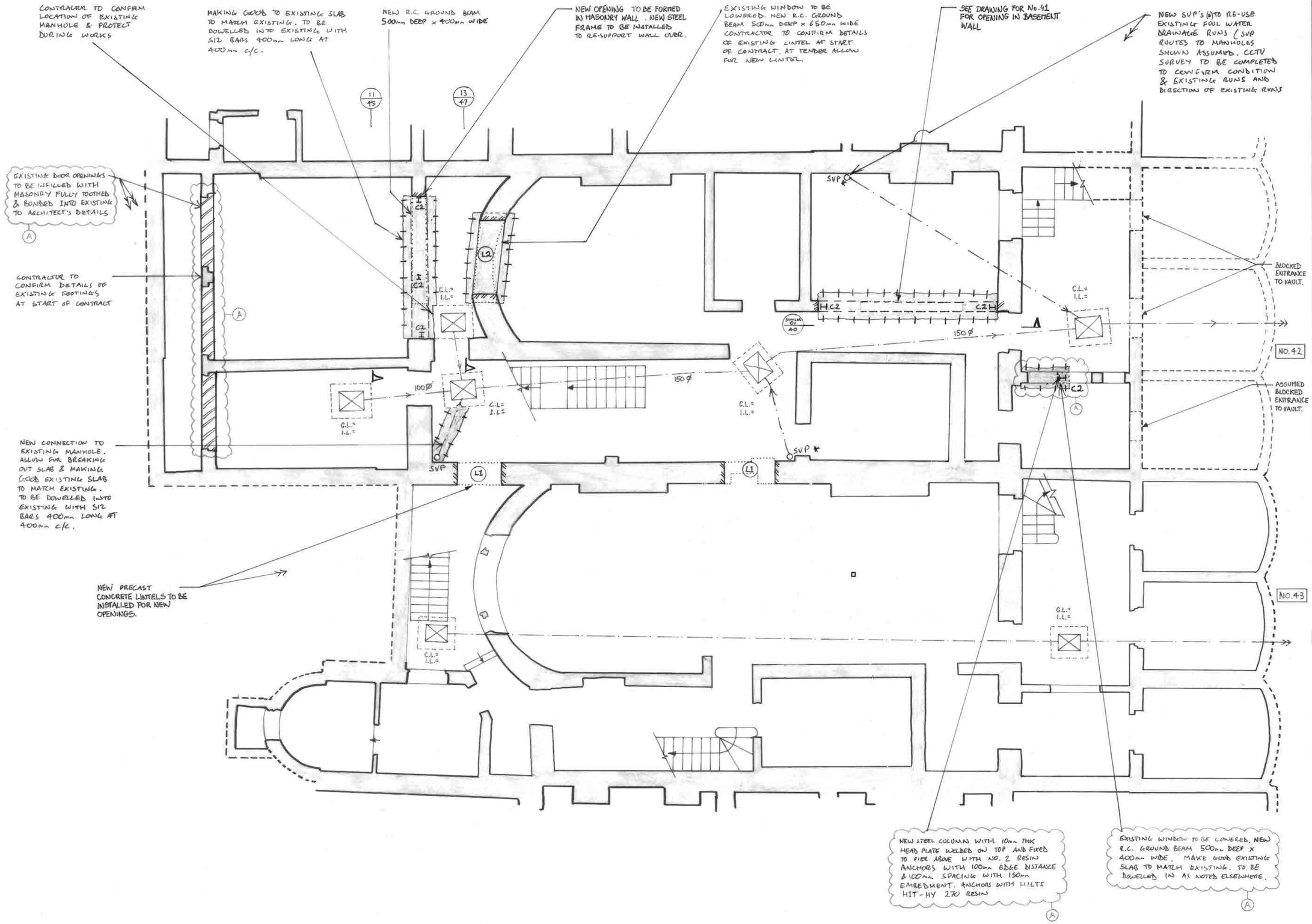
Appendix 2 – Proposed Structure Drawings



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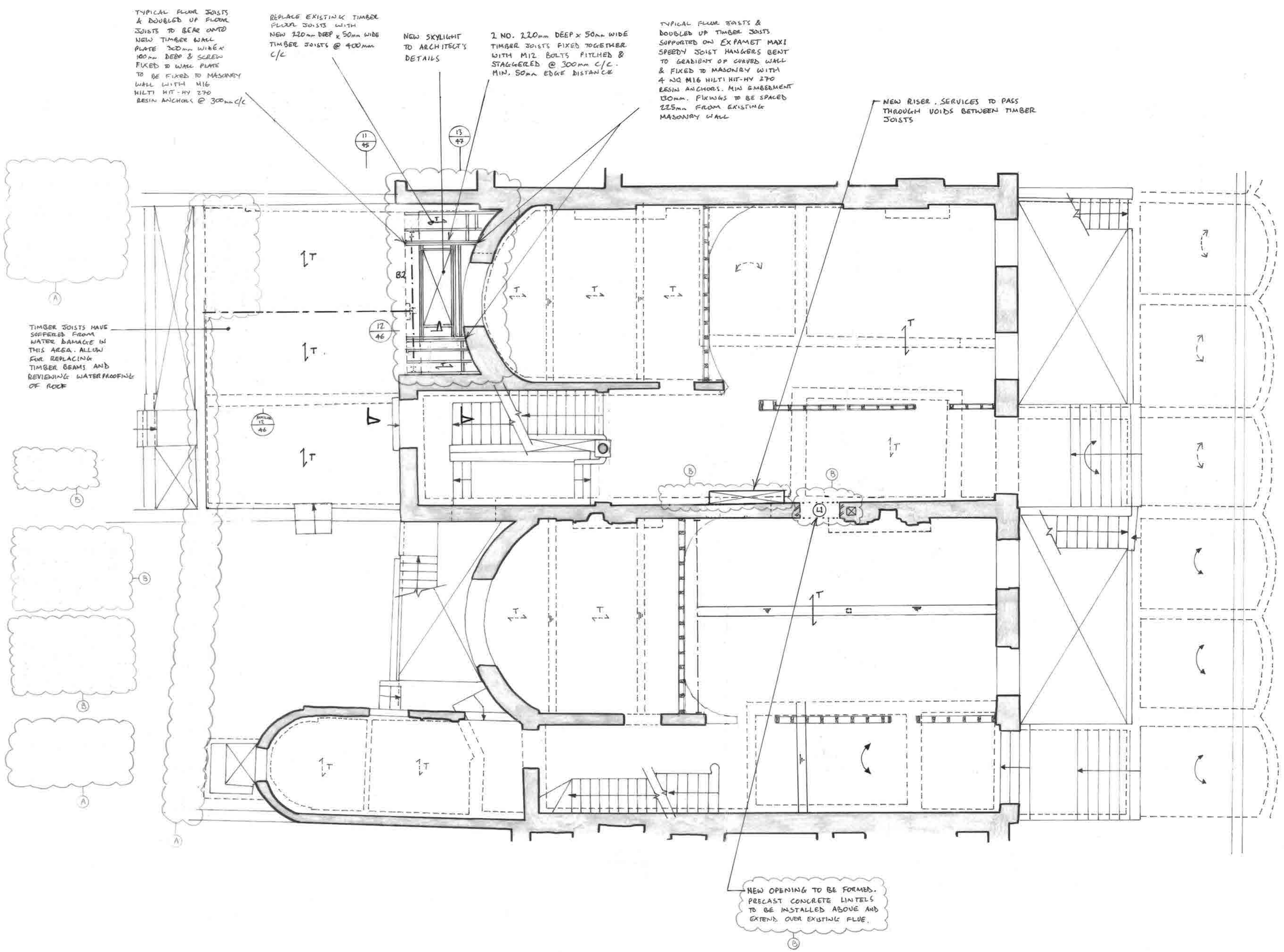

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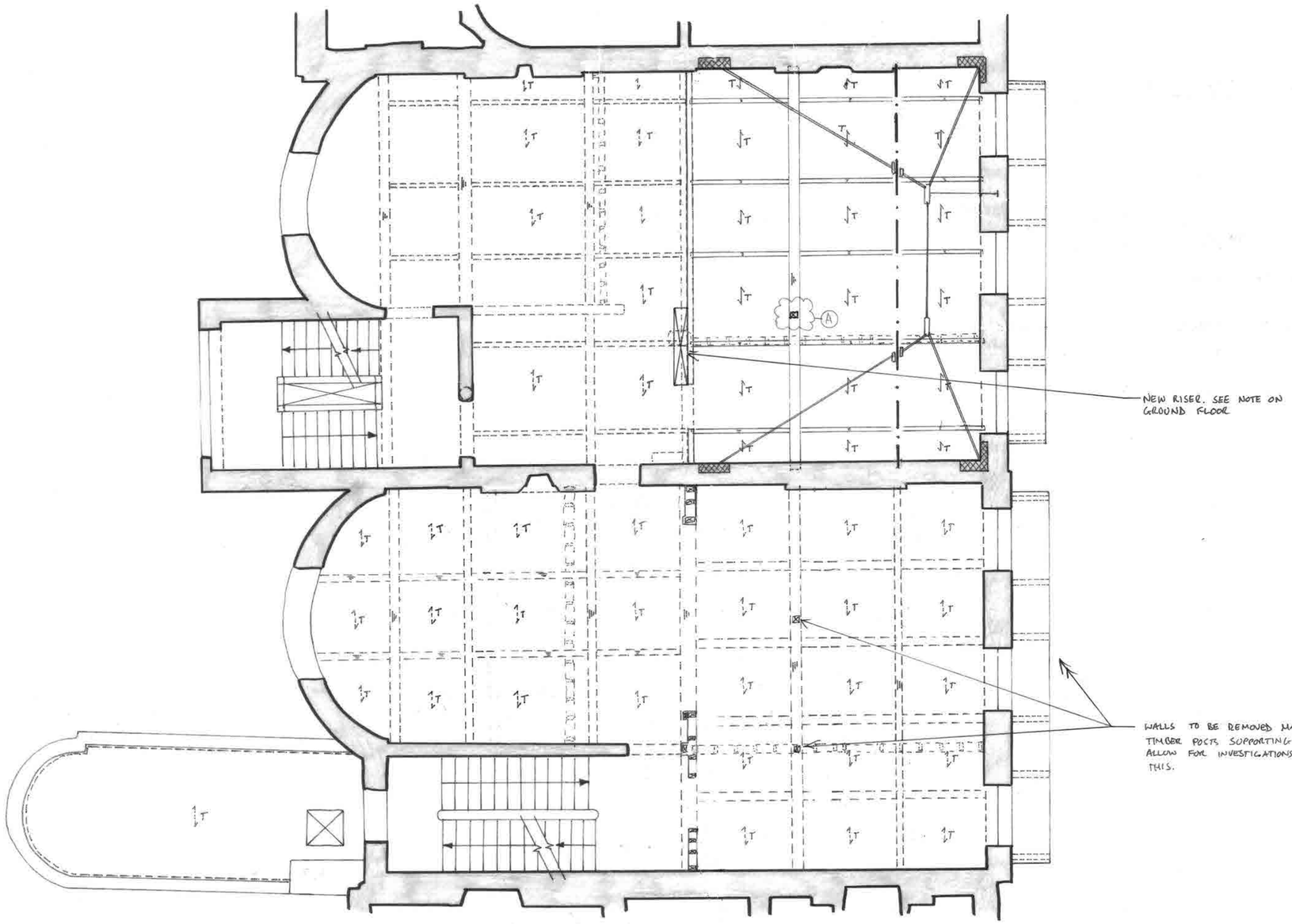

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42-43 RUSSELL SQUARE
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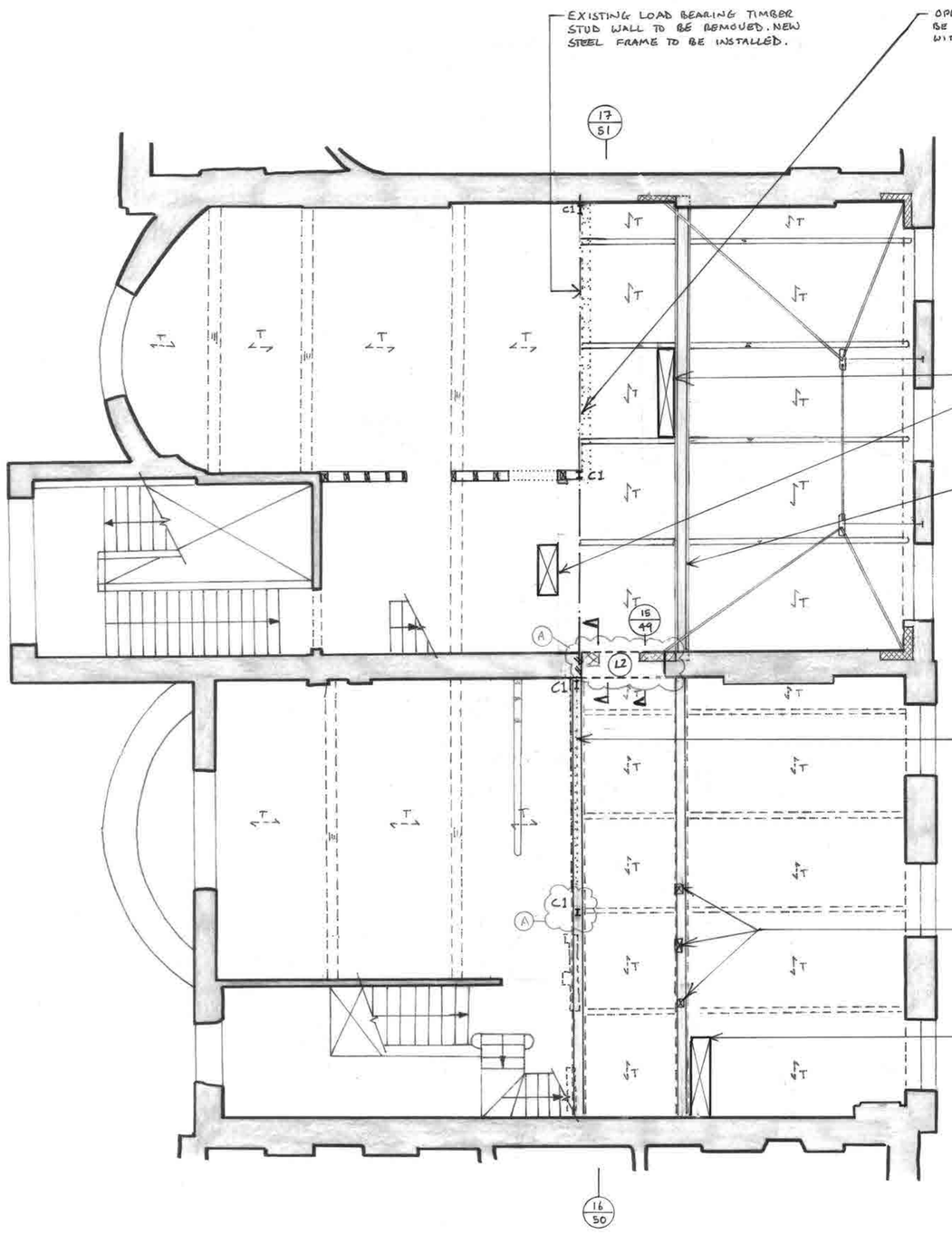

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42-43 RUSSELL SQUARE
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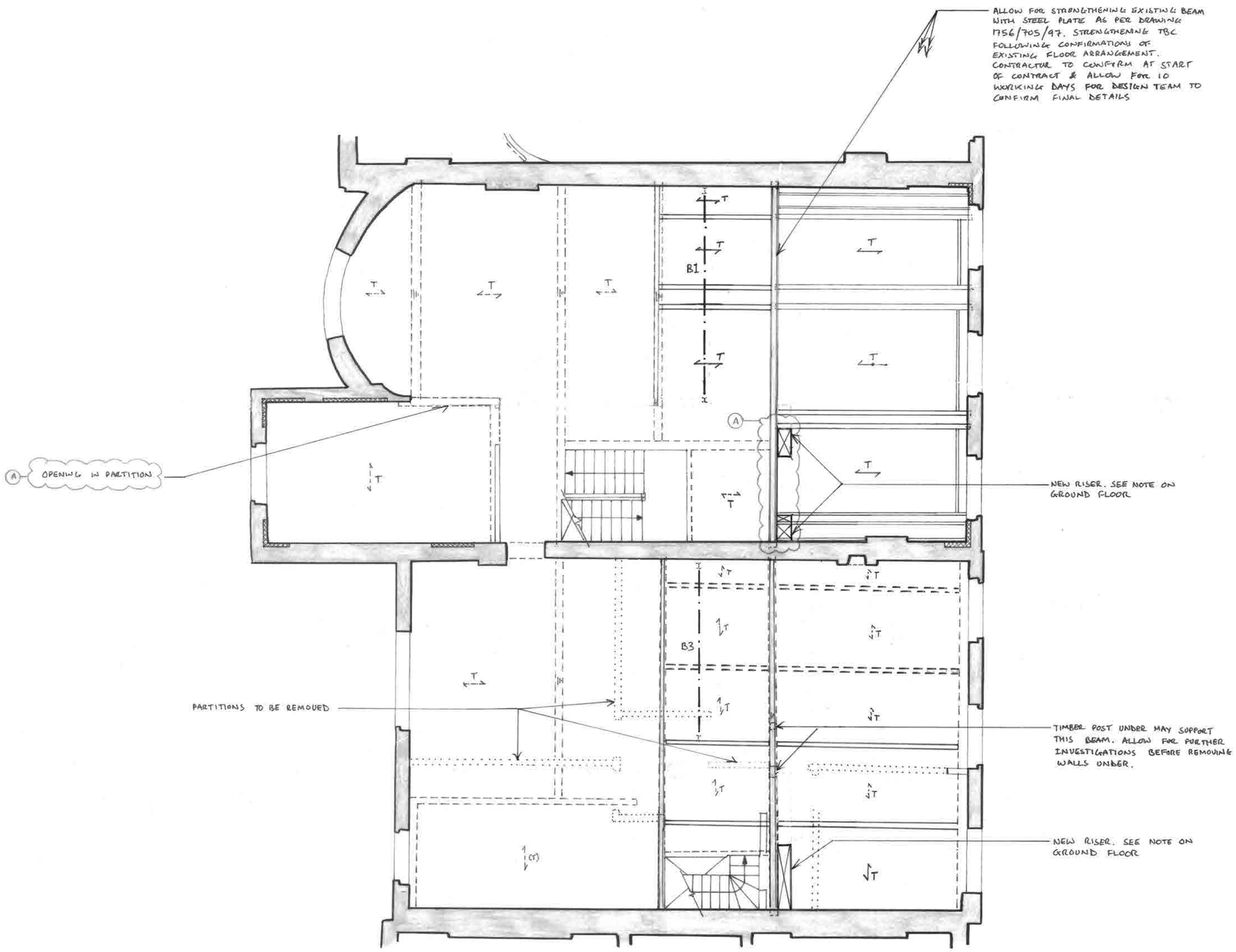

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42-43 RUSSELL SQUARE
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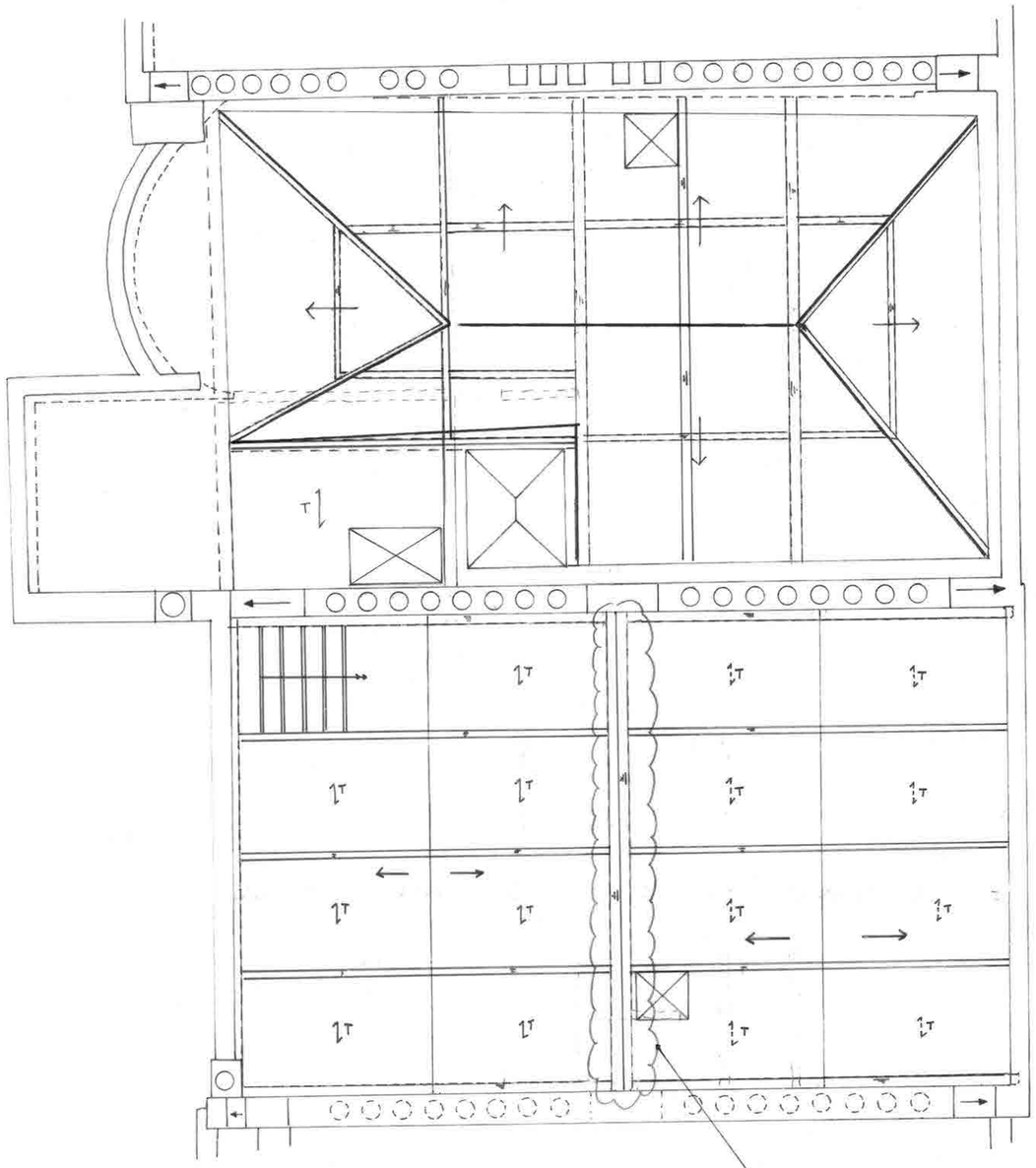

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42-43 RUSSELL SQUARE
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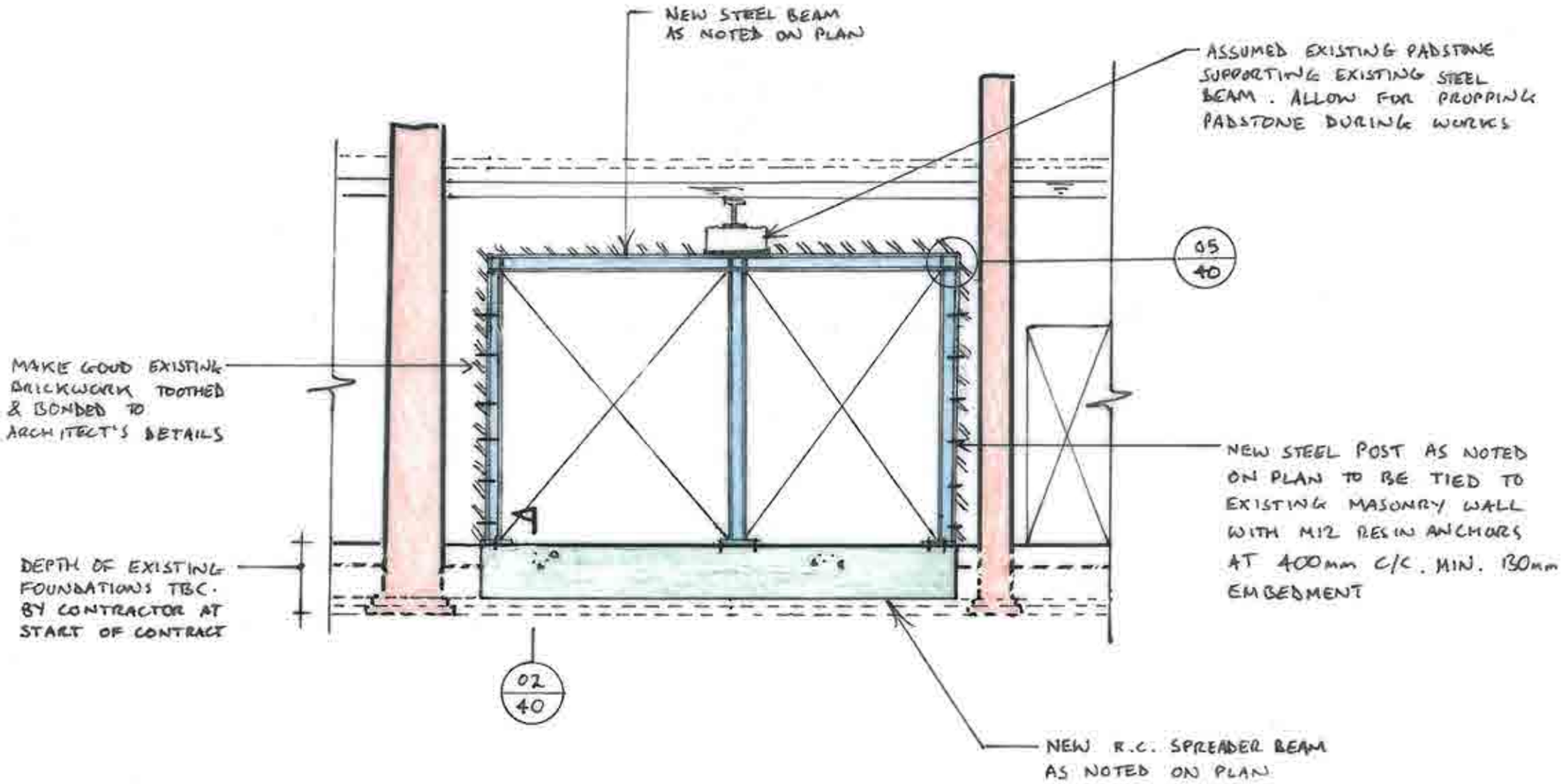

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DETAILS SHEET 6

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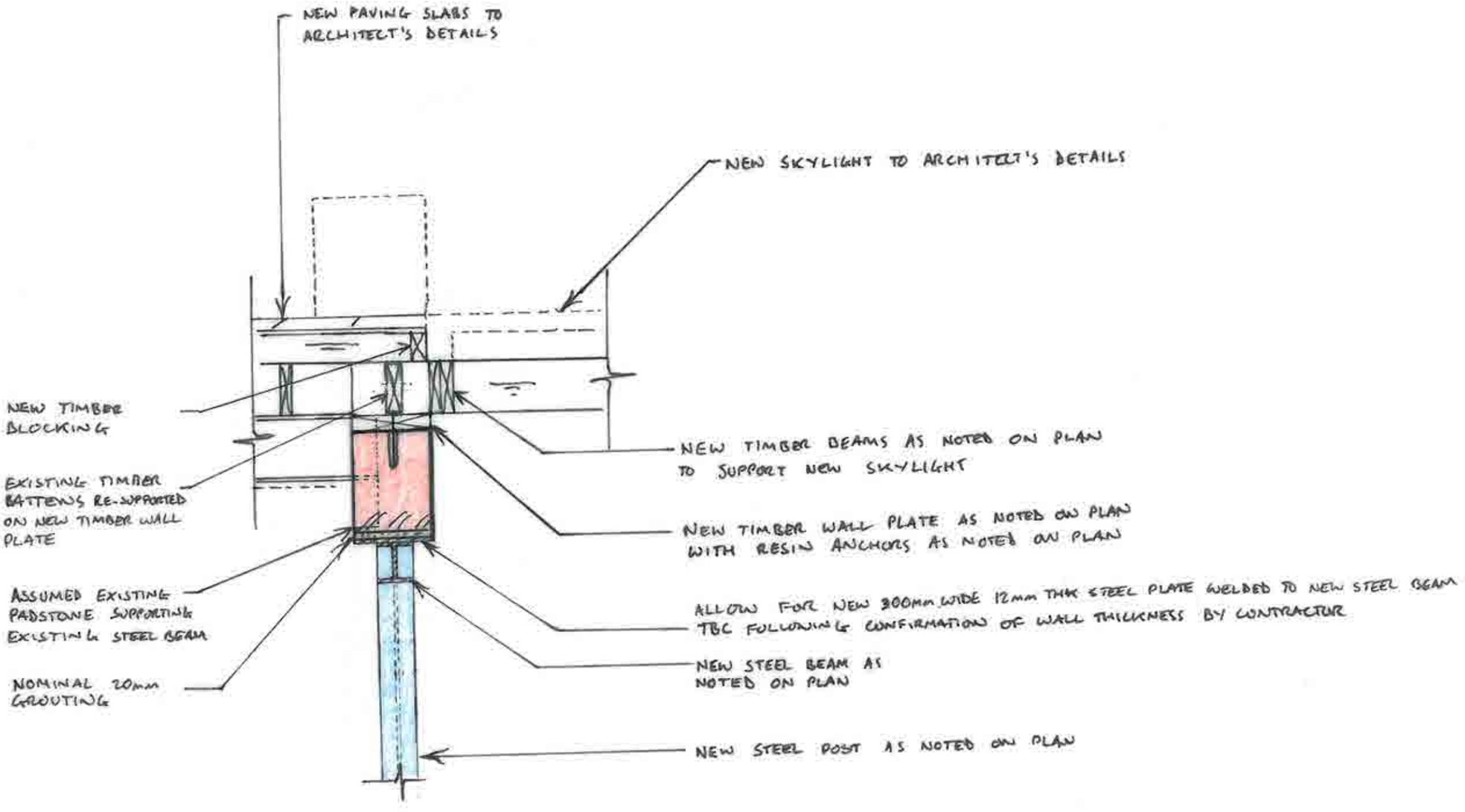

DETAIL 12
(1:20)

notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.

08.06.18	ISSUED FOR INFORMATION	LK

job
BRITISH MUSEUM
42-43 RUSSELL SQUARE

title
DETAILS SHEET 7

drawn: AL | checked: LK
date: MAY '18 | scale (original - A3): 1:20

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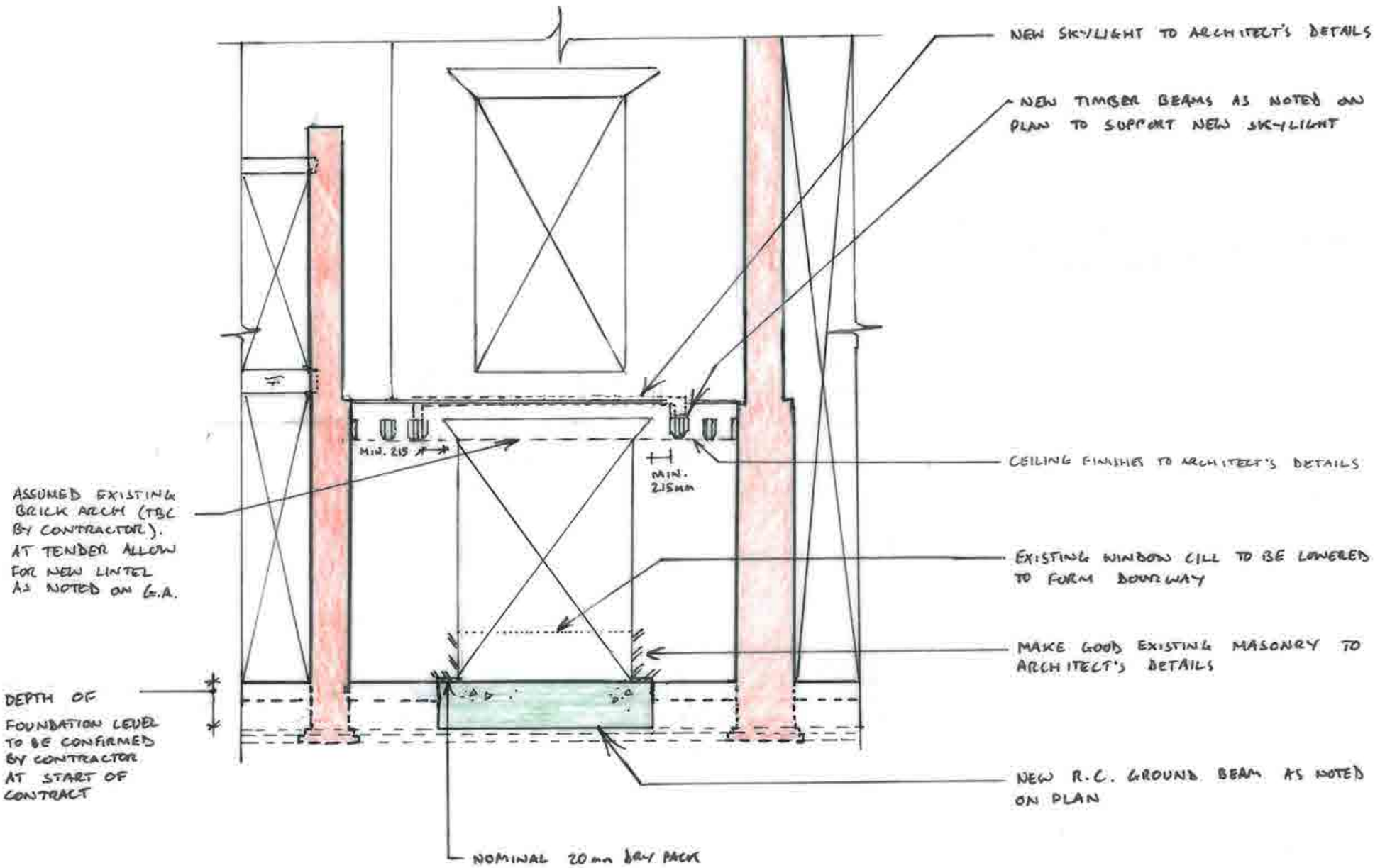

SECTION 13
(1:50)

notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.

08.06.18	ISSUED FOR INFORMATION	LK

job
BRITISH MUSEUM
42-43 RUSSELL SQUARE

title
DETAILS SHEET 8

drawn	checked
AL	LK
date	scale (original - A3)
JUN'18	1:50

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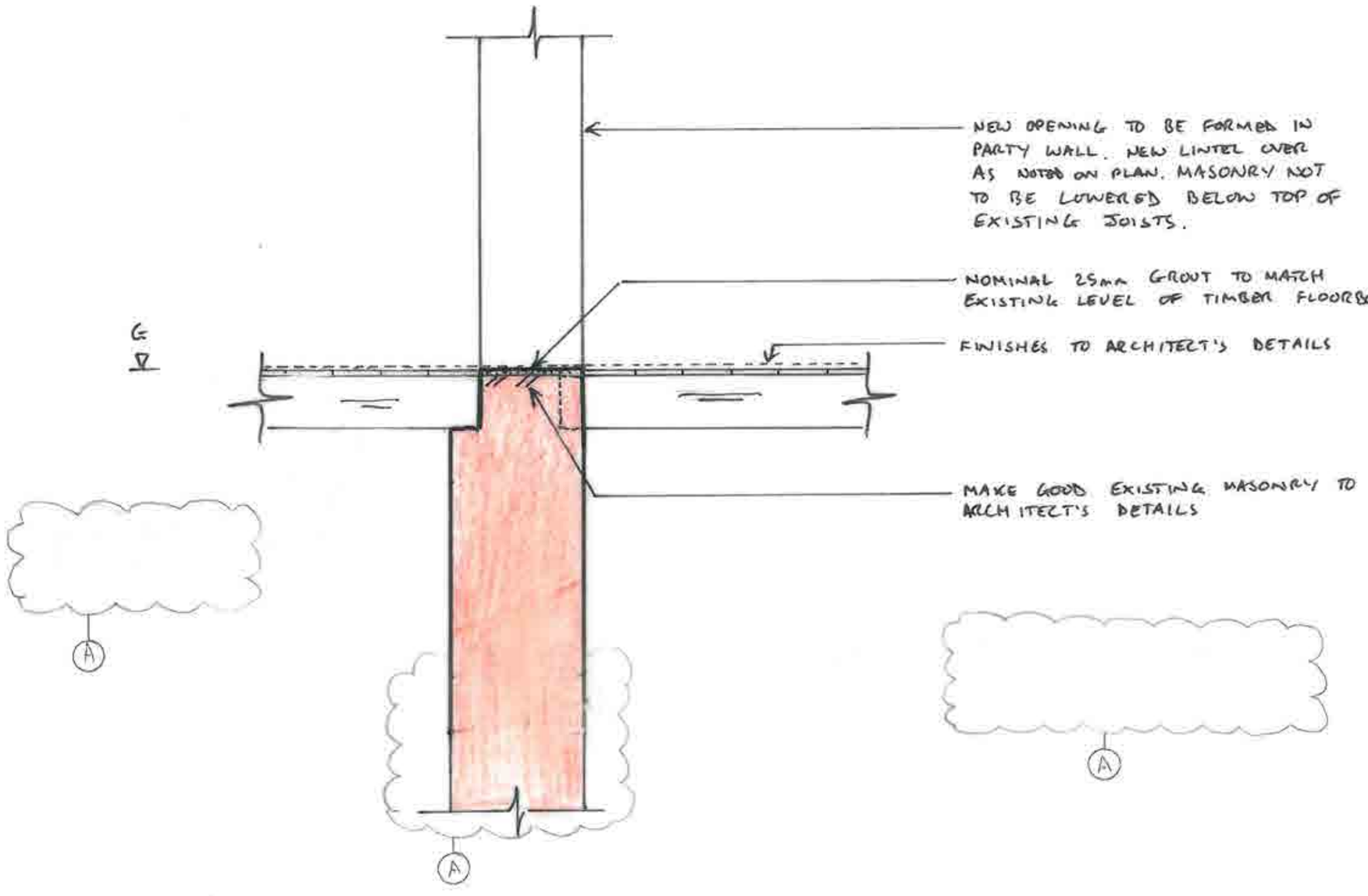

DETAIL 14
(1:20)

notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.

A	27.07.18	DRAWING & NOTES AMENDED TO SUIT NEW OPENING LOCATION	AL
	06.06.18	ISSUED FOR INFORMATION	LK

job
BRITISH MUSEUM
42-43 ROSSELL SQUARE

title
DETAILS SHEET 9

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checked: LK
date: JUN '18
scale (original - A3): 1:20

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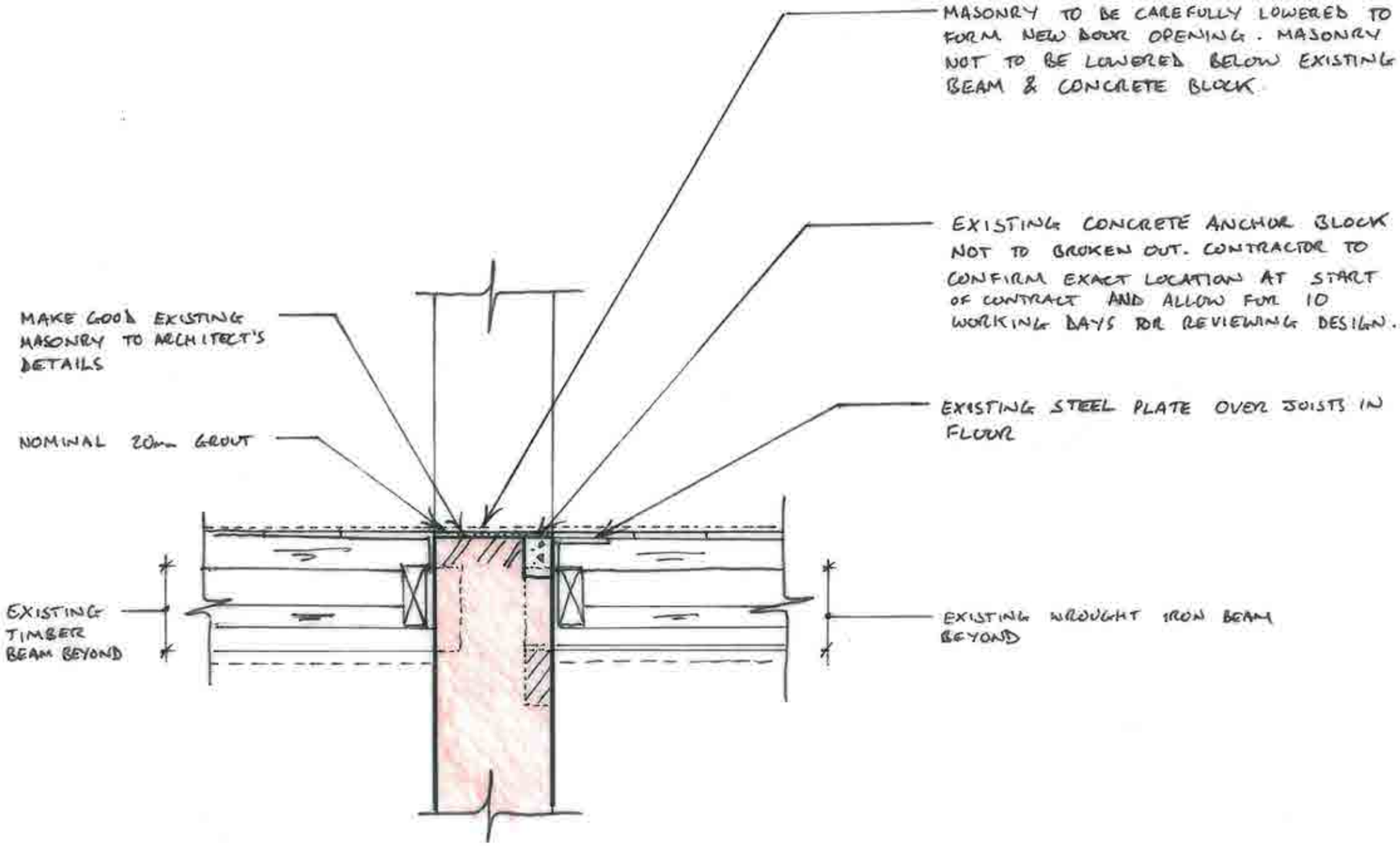

DETAIL 15
(1:20)

notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.

08.06.18	ISSUED FOR INFORMATION	LK

job
BRITISH MUSEUM
42-43 RUSSELL SQUARE

title
DETAILS SHEET 10

drawn	checked
AL	LK
date	scale (original - A3)
JUN '18	1:20

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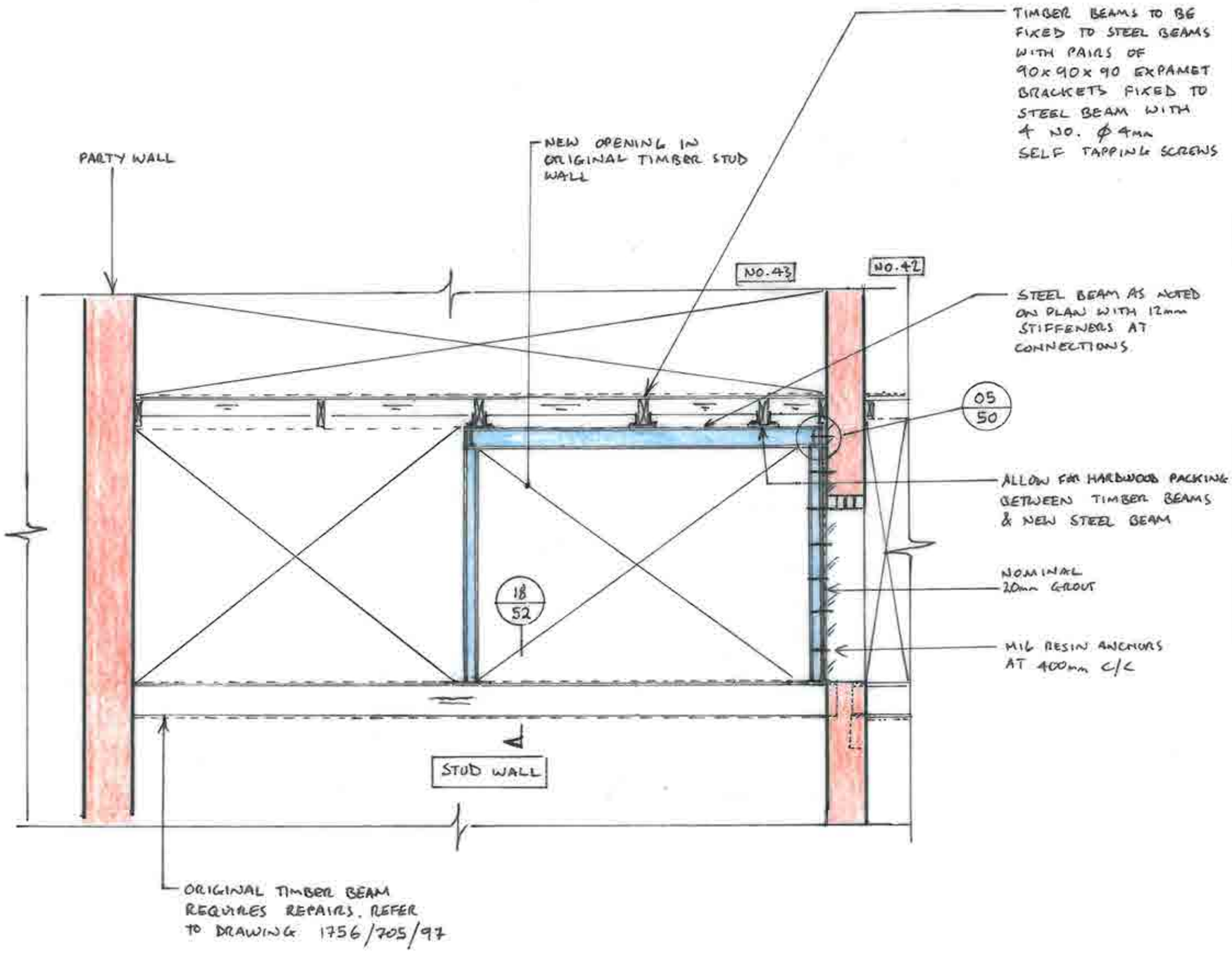
rev.



SECTION 16
(1:50)

notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.

08.06.18	ISSUED FOR INFORMATION	LK

job
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42-43 RUSSELL SQUARE

title
DETAILS SHEET 11

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AL	LK
date	scale (original - A3)
MAY '18	1:50

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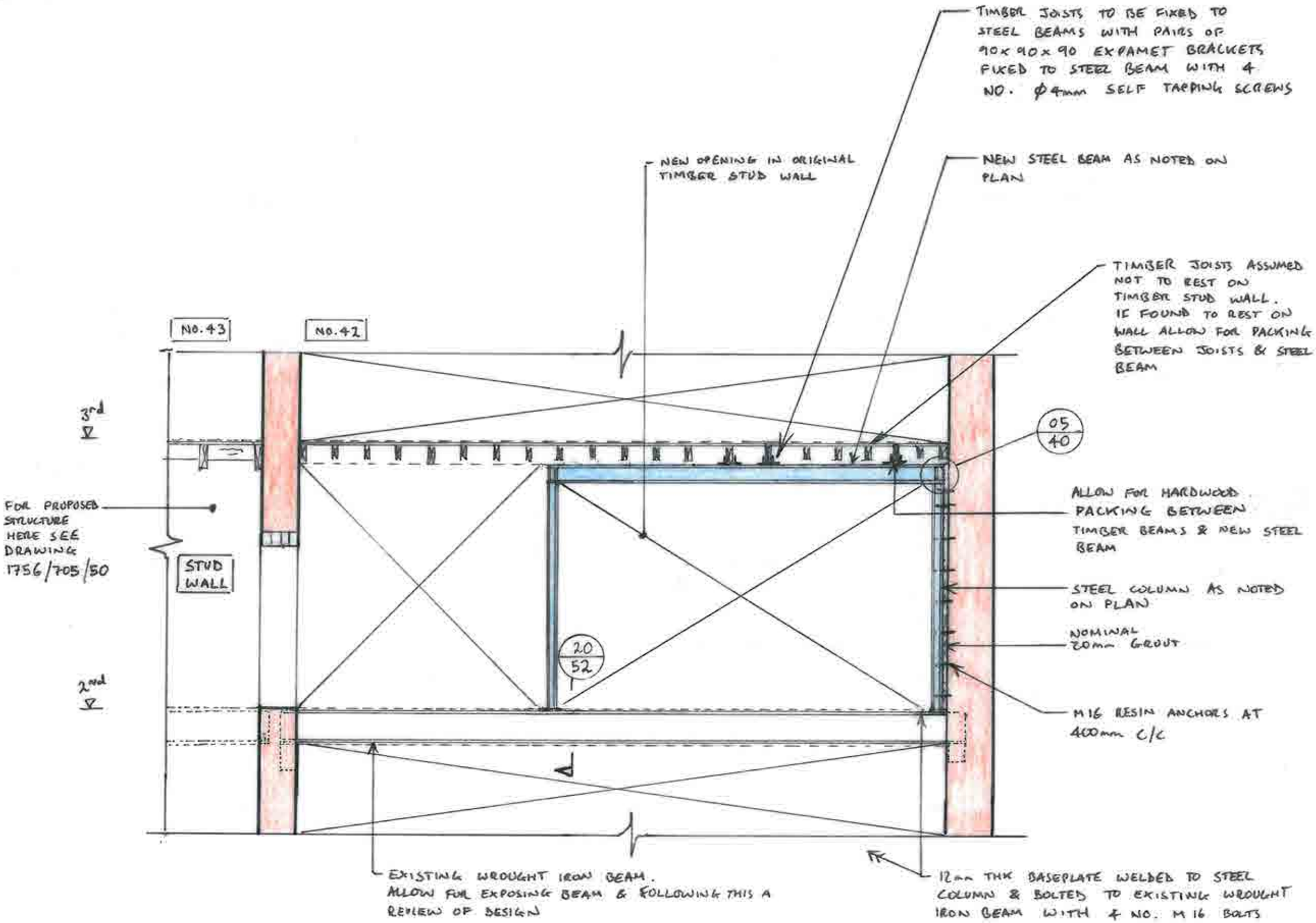
1756/705/50	



SECTION 17
(1:50)

notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.

02.06.18	ISSUED FOR INFORMATION	LK

job
BRITISH MUSEUM
42-43 RUSSELL SQUARE

title
DETAILS SHEET 12

drawn	checked
AL	LK
date	scale (original - A3)
MAY '18	(1:50)

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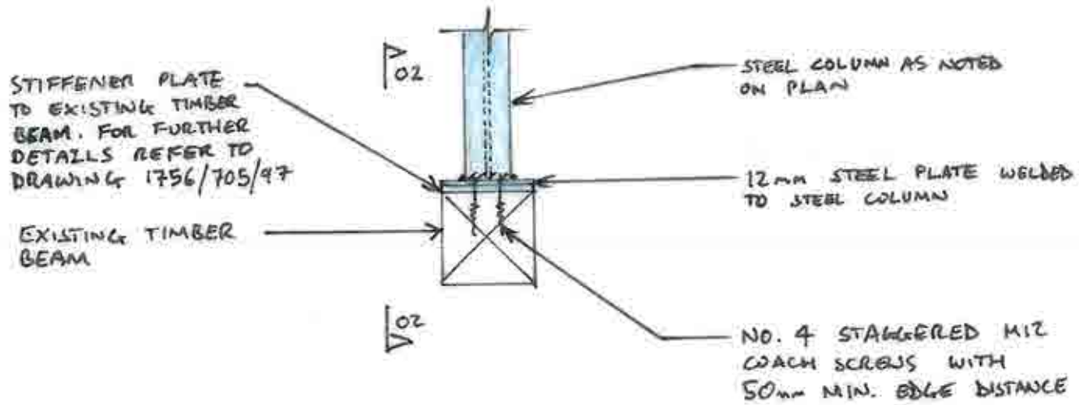

DETAIL 18
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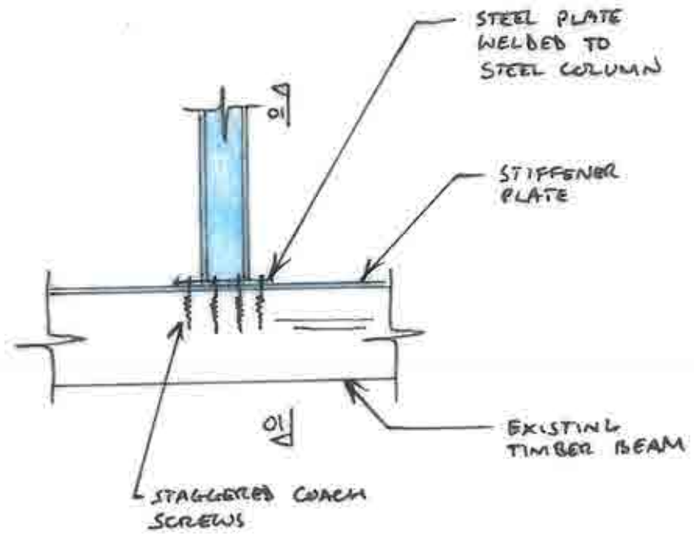

DETAIL 19
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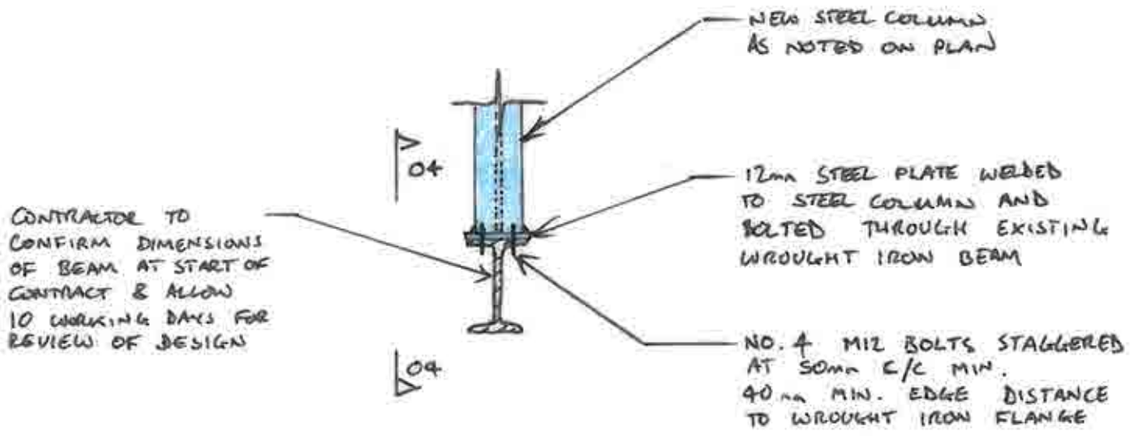
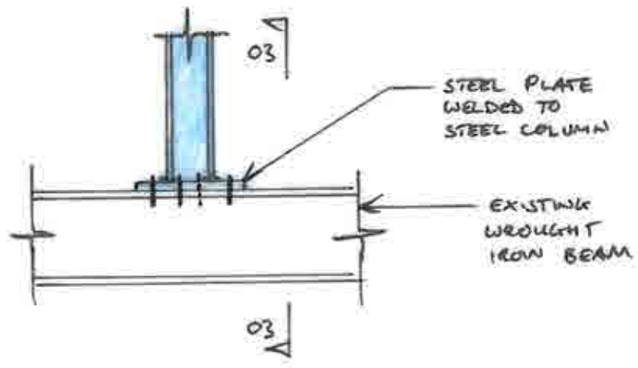


DETAIL 20
(1:20)



DETAIL 21
(1:20)

notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.

05.06.18	ISSUED FOR INFORMATION	LK

job
BRITISH MUSEUM
42-43 RUSSELL SQUARE

title
DETAILS SHEET 13

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AL	LK
date	scale (original - A3)
JUN'18	1:20

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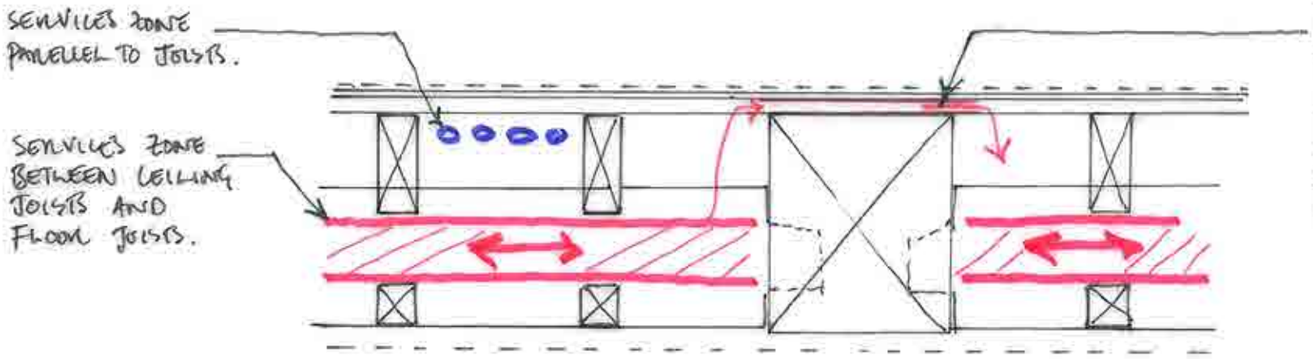
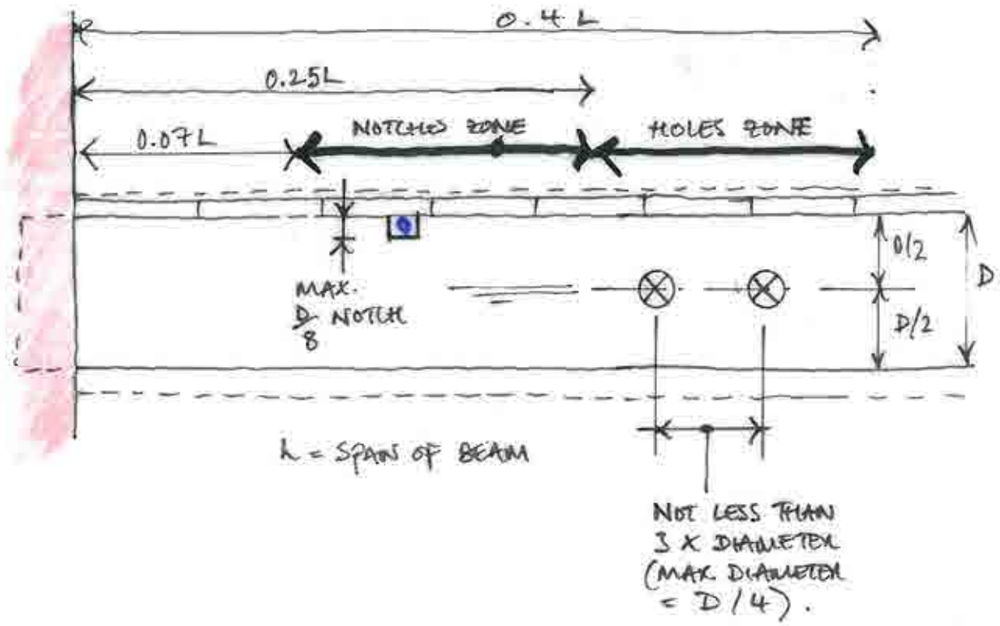


1. SERVICES STRATEGY - TYPICAL FLOOR

- SERVICES TO RE-USE EXISTING ROUTES WHERE POSSIBLE
- NOTCHING OF FLOOR BEAMS TO BE AVOIDED WHERE POSSIBLE AS SHOWN ABOVE FOR PRIMARY BEAMS.



2. SERVICES STRATEGY - SINGLE JOISTED FLOOR

notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS & ENGINEERS DRAWINGS & SPECIFICATIONS.
2. SERVICES ROUTES AND INTEGRATION WITH FLOORS ARE TO BE CONFIRMED WITH M&E ENGINEER FOLLOWING EXPOSURE OF FLOOR ARRANGEMENTS. ALL NOTCHING TO BE AGREED WITH S.E.

3.7.19	ISSUED FOR INFORMATION	LK

job
BRITISH MUSEUM 91-93 RUSSELL SQUARE

title
SERVICES INTEGRATION

drawn LK | checked FN
date July '19 | scale (original - A3) 1:10

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Appendix 3 – Site Investigations

1756/704 THE BRITISH MUSEUM

42/43 RUSSELL SQUARE

SITE INVESTIGATIONS OPENING UP SCHEDULE

THIS IS A GRADE II LISTED BUILDING AND THE WORKS ARE TO BE UNDERTAKEN CAREFULLY TO AVOID DAMAGING LISTED FABRIC

CONTRACTOR TO ALLOW FOR:

- LIFTING FLOOR BOARDS TO EXPOSE APPROXIMATE AREA INDICATED. THIS MAY REQUIRE MORE THAN 1 NO. BOARD TO BE LIFTED. IF BOARDS ARE TONGUE & GROOVE, THE CONTRACTOR IS TO SEEK INSTRUCTION FROM THE CA, PRIOR TO COMMENCING.
- MAKING GOOD ONCE OPENINGS HAVE BEEN RELEASED BY THE DESIGN TEAM. MAKE GOOD TO MATCH EXISTING.
- HIGH LEVEL ACCESS PLATFORMS TO ACCESS SOFFITS WHERE APPROPRIATE.
- ALLOW ABA TO ATTEND SITE 48 HOURS AFTER OPENING UP WORKS ARE COMPLETE. PROTECTION TO BE PROVIDED IN THE TEMPORARY CASE BY THE CONTRACTOR.
- THE BUILDING IS STILL IN USE. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING FOR LIVE SERVICES PRIOR TO OPENING UP.
- ADDITIONAL
  - 2x 0.4m x 0.4m FLOOR OPENING UP
  - 2x 0.4m x 0.4m SOFFIT OPENING UP
  - 1x 0.4m x 0.4m WALL OPENING UP

  TBC BY ABA SUBJECT TO FINDINGS OF THE SCHEDULED OPENING UP

KEY

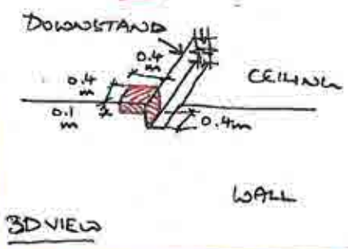
- OPENING UP TO FLOOR. LIFTING FLOOR BOARDS
- OPENING UP TO SOFFIT. REMOVE EXISTING PLASTER FINISHES BUT NOT ANY DECORATIVE FEATURES
- OPENING UP TO WALL. REMOVE EXISTING FINISHES BUT NOT ANY DECORATIVE FEATURES

ALL OPENINGS TO BE 0.4m x 0.4m UNLESS SPECIFIED OTHERWISE

B1

OPEN UP CEILING.
REMOVE CEILING FINISHES.
OVER 400mm x 400mm.
REMOVE CONCRETE TO EXPOSE
STEEL REINFORCEMENT OR
BEAMS. ALLOW FOR O/U TO
BE ENLARGED OR DEEPENED.

B2



OPEN UP CEILING, WALL
AND DOWNSTAND
REMOVE FINISHES
REMOVE CONCRETE TO EXPOSE
STEEL REINFORCEMENT OR BEAMS
IN CEILING.
REMOVE FINISHES FROM WALL
TO EXPOSE MASONRY/CONCRETE.

REMOVE CONCRETE FROM
DOWNSTAND IF NECESSARY
TO EXPOSE STEEL REINFORCEMENT
OR BEAM.

B3

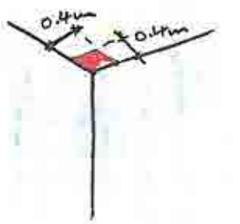
OPEN UP CEILING.
REMOVE CEILING FINISHES TO
EXPOSE STRUCTURE NEXT TO WALL.
IF CONCRETE, REMOVE TO EXPOSE
STEEL REINFORCEMENT/STEEL
BEAMS. OPEN UP 400 mm x 400mm.

B4

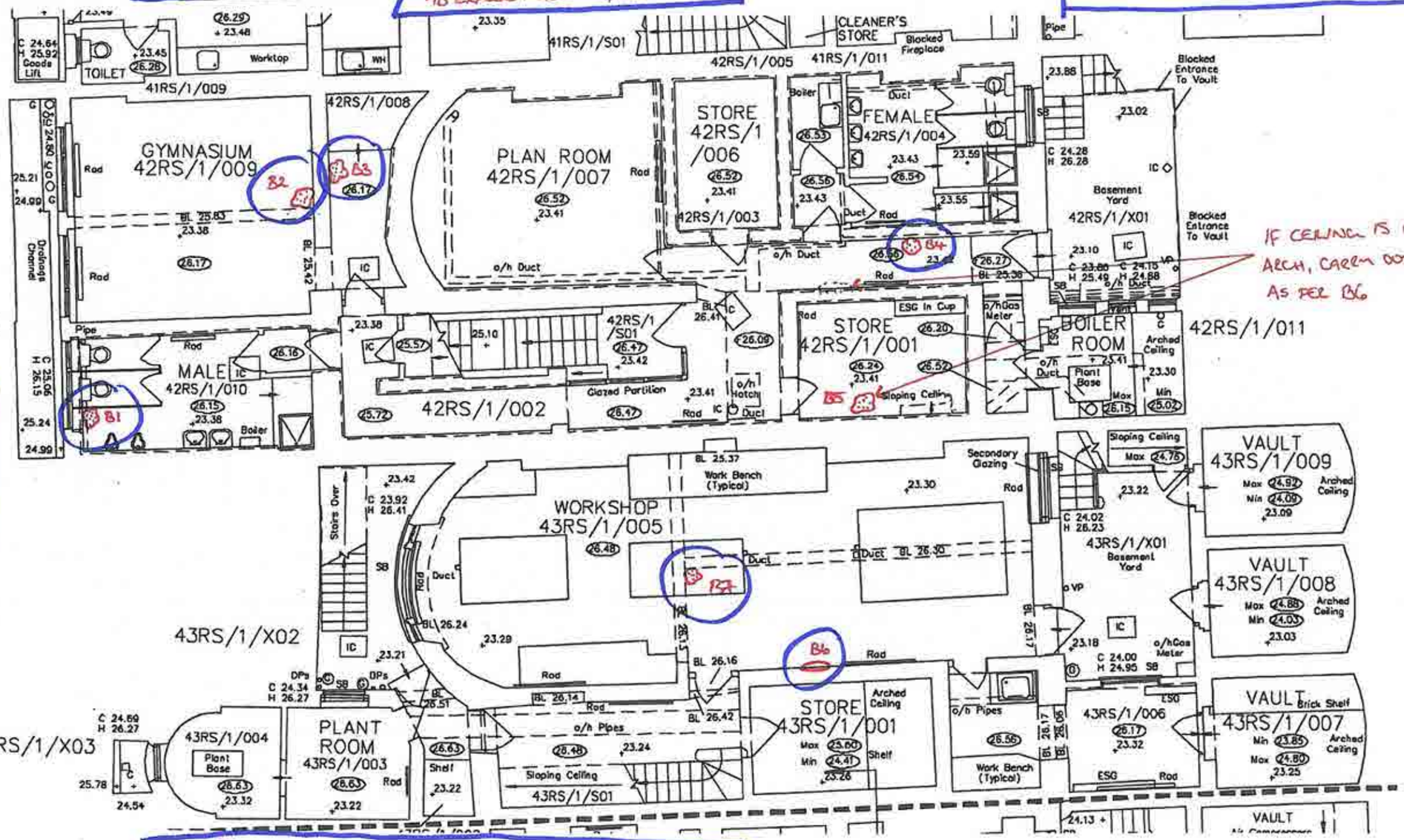
OPEN UP CEILING NEXT
TO WALL TO EXPOSE.
STRUCTURE PASSING OVER/
ON TO WALL. OPENING
400 x 400 mm.

B5

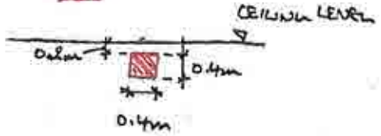
OPEN UP CEILING IN CORNER
OF ROOM. REMOVE CEILING
FINISHES TO EXPOSE STRUCTURE.
REMOVE PLASTERING.



3D VIEW UP AT CORNER
OF CEILING



B6



OPEN UP WALL TO VIEW
VOID BEYOND.
ALLOW FOR O/U TO BE
ENLARGED.

B7

REMOVE BOARD TO SIDES OF
DOWNSTANDS AND ADJACENT
CEILING TO EXPOSE BEAMS
AND CEILING STRUCTURE.

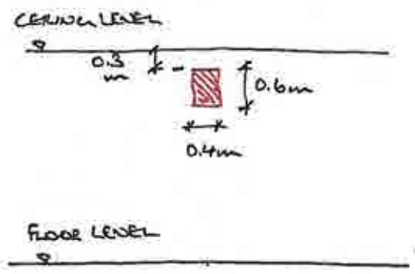
BASEMENT

G1

OPEN UP FLOOR TO EXPOSE STRUCTURAL ARRANGEMENT NEXT TO WALL.

REMOVE 400 mm x 400 mm OF FINISHES AND LIFT FLOOR BOARDS IF PRESENT.

G2



ELEVATION

OPEN UP WALL.

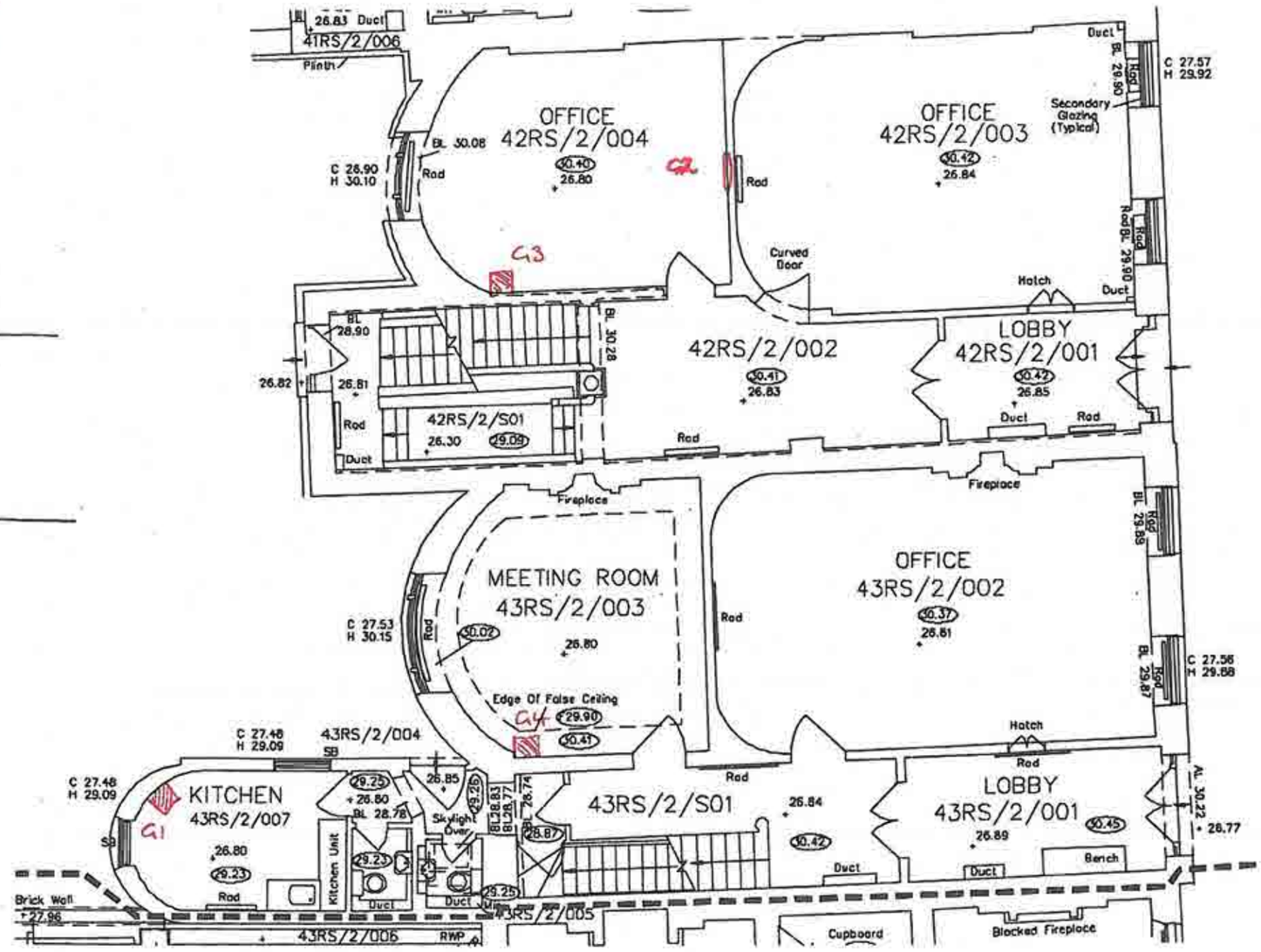
REMOVE FINISHES TO EXPOSE STUDS

G3

AS PER O/U 1.2 ON FIRST FLOOR.

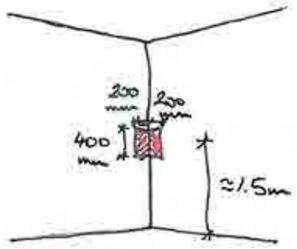
G4

AS PER O/U 1.2 ON FIRST FLOOR.



GROUND FLOOR

1.1

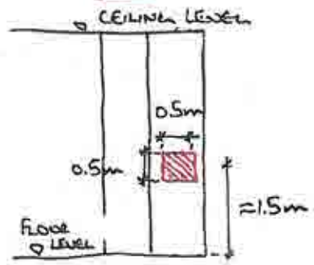


OPEN UP WALL.
REMOVE FINISHES FROM WALL IN LOCALE TO EXPOSE MASONRY.

1.2

OPEN UP FLOOR.
LIFT FLOOR BOARDS TO CREATE 1400mm x 1400mm OPENING IN FLOOR NEXT TO WALL TO EXPOSE FLOOR STRUCTURE IN LOCATION INDICATED. REMOVE PUGGING.

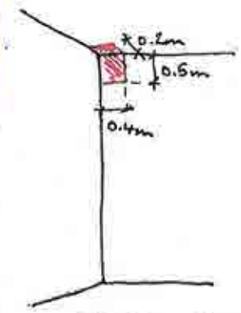
1.3



ELEVATION

OPEN UP WALL
REMOVE FINISHES TO EXPOSE STUDS. ALLOW FOR OPENING UP TO BE ENLARGED.

1.4



3D VIEW OF CORNER

OPEN UP WALL AND CEILING.
REMOVE FINISHES TO EXPOSE STUDS AND JOISTS.
REMOVE PUGGING.
ALLOW FOR OPENING TO BE ENLARGED.

1.6

AS PER D/U 1.2

1.7

AS PER D/U 1.2

1.8

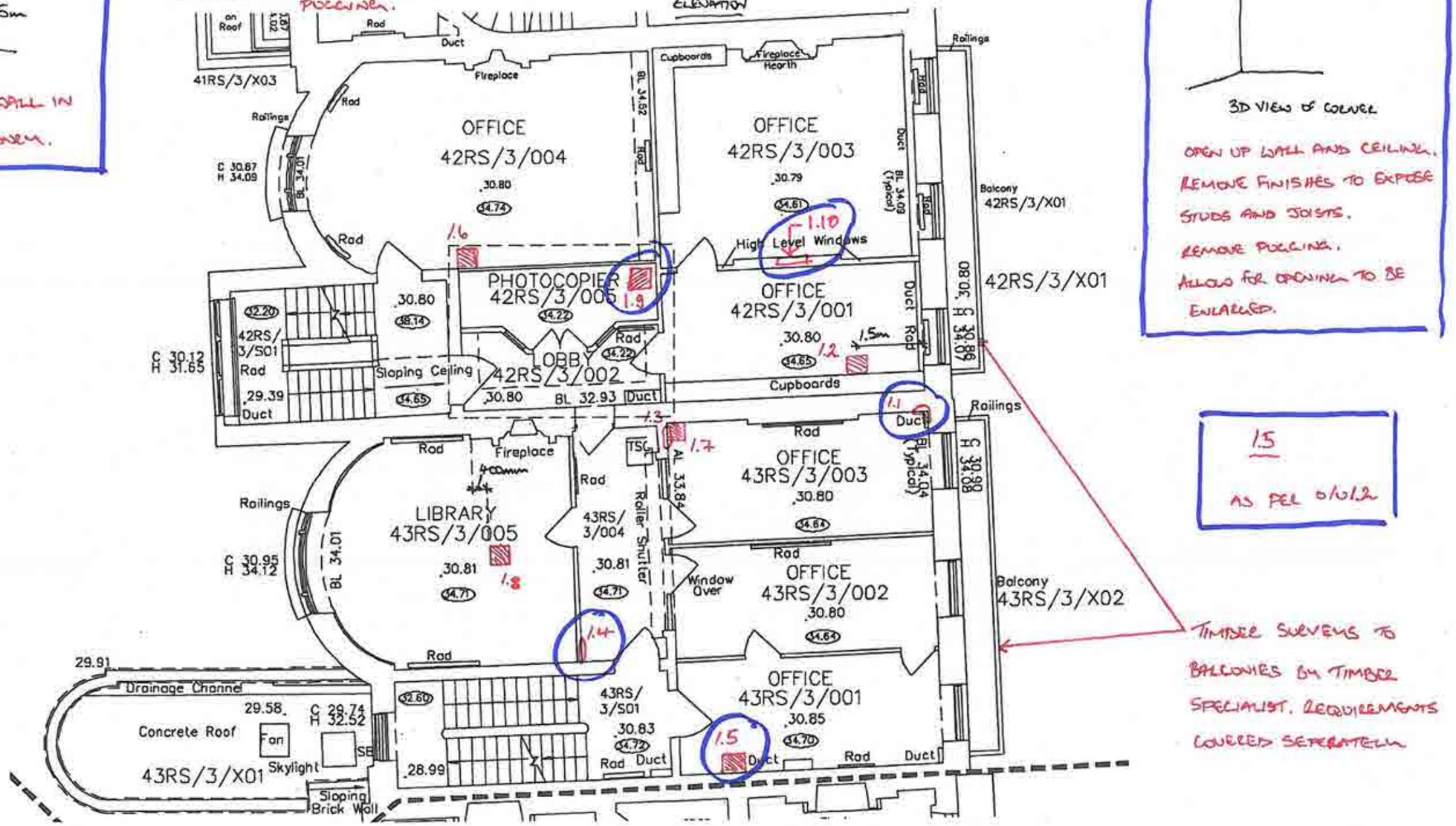
AS PER D/U 1.2 IN LOCATION SHOWN.

1.9

AS PER D/U 1.2 IN LOCATION SHOWN

1.10

AS PER D/U 1.4



1.5

AS PER D/U 1.2

TIMBER SLEEVES TO BALCONIES BY TIMBER SPECIALIST. REQUIREMENTS COVERED SEPERATELY

First Floor

2.1

AS PER O/U 1.2 ON FIRST FLOOR.

2.2

AS PER O/U 1.4 ON FIRST FLOOR

2.3

AS PER O/U 1.1 ON FIRST FLOOR.

2.4

AS PER O/U 1.1 ON FIRST FLOOR.

2.5

AS PER O/U 1.4 ON FIRST FLOOR

2.6

AS PER O/U 1.4 ON FIRST FLOOR

2.9/2.10/2.11

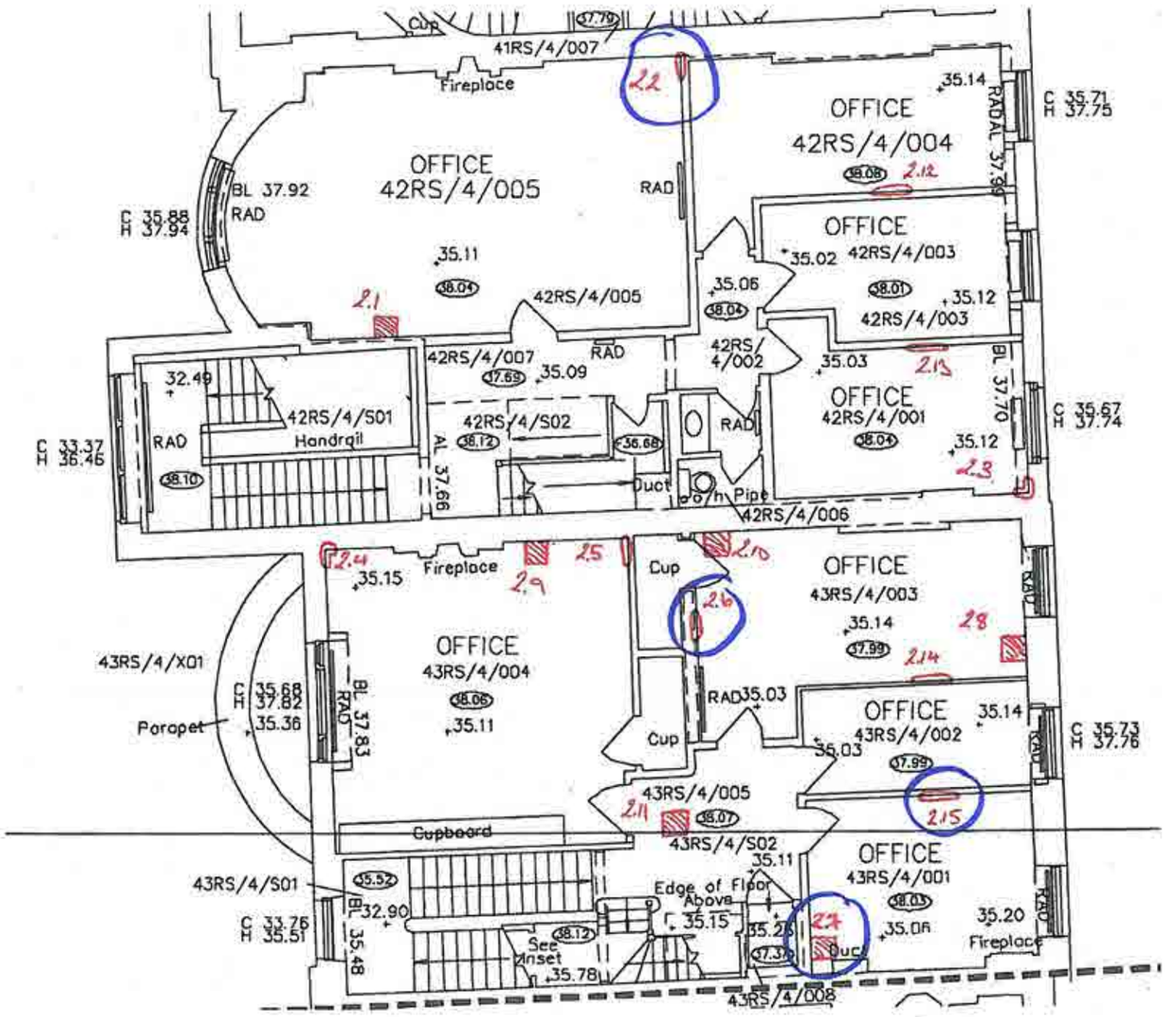
AS PER O/U 1.2 ON FIRST FLOOR IN LOCATION SHOWN.

2.12/2.13/2.14

OPEN UP WALL. REMOVE FINISHES AND EXPOSE TIMBER STUDS. OPENING UP TO BE 600mm WIDE, 300mm HIGH AT MIDHEIGHT OF WALL

2.15

AS PER O/U 1.4



2.7

AS PER O/U 1.2 ON FIRST FLOOR.

2.8

AS PER O/U 1.2 ON FIRST FLOOR

SECOND FLOOR

3.1

OPEN UP CEILING.
REMOVE 400 x 400 mm
OF CEILING FINISHES TO
EXPOSE ROOF STRUCTURE.
NEXT TO WALL

3.2

AS PER O/U 1.4 ON
FIRST FLOOR.

3.3

AS PER O/U 1.1 ON
FIRST FLOOR

3.4

AS PER O/U 1.4 ON
FIRST FLOOR.

3.5

AS PER O/U 1.4
ON FIRST FLOOR.

3.6

AS PER O/U 1.2 ON FIRST
FLOOR

3.7

AS PER O/U 1.1 ON
FIRST FLOOR.

3.8/3.9

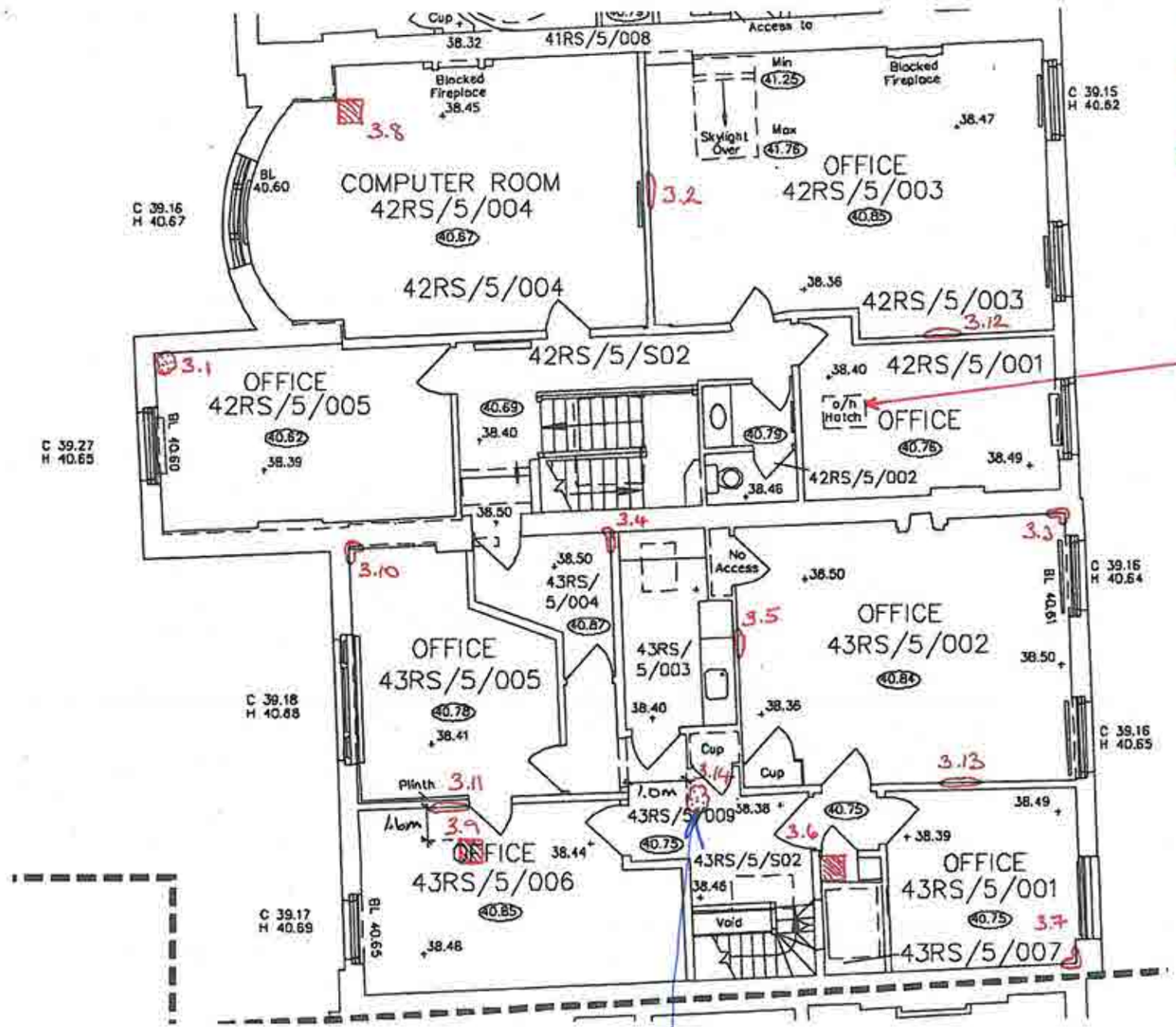
AS PER O/U 1.2 ON
FIRST FLOOR IN LOCATION
INDICATED.

3.10

AS PER O/U 1.1 ON FIRST FLOOR.

3.11/3.12/3.13

AS PER O/U 2.12-2.15 ON
SECOND FLOOR.



3.14

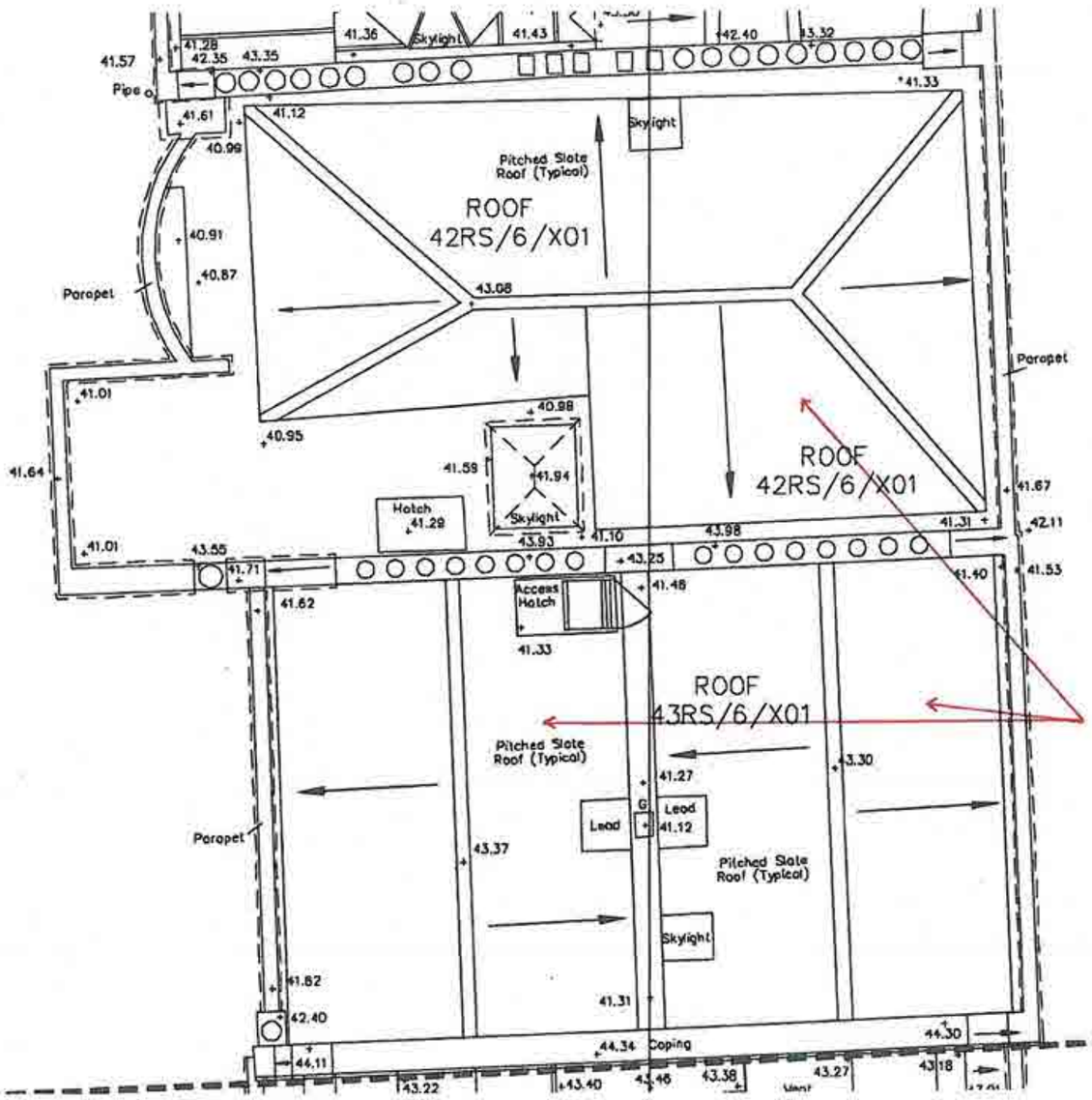
OPEN UP CEILING.
REMOVE 400mm x 400mm OF
CEILING FINISHES TO EXPOSE
ROOF STRUCTURE SUPPORTING ROOF.

- ACCESS TO ROOF SPACE TO BE PROVIDED
- ACCESS TO ROOF SPACE IN No.43 TO ALSO BE PROVIDED.

ALLOW FOR 2 NO.
OPENINGS AS PER 1.4,
TO BE CONFIRMED BY
ABA FOLLOWING
ROOF ACCESS

TBC FOLLOWING ABA ROOF ACCESS

THIRD FLOOR



ACCESS TO ROOF SPACE TO BE PROVIDED

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London EC1M 6EL
tel 020 7250 1555
email aba@alanbaxter.co.uk
web alanbaxter.co.uk