

Heritage Statement

To accompany the Listed Building Application for permission to repair and renovate the existing lightwell staircase at 17 Regents Park Terrace, London, NW1 7ED

08 August 2018



17 Regent’s Park Terrace Listed Building Application
Heritage Statement

Contents

1. Introduction	1
2. Property description.....	1
3. Relevant Policy and Legislation.....	1
4. Property history and significance	2
5. Summary of proposal and justification	2
6. Planning History	3
7. Summary of Relevant Area History	4
Plates	5
Photographs	7
Appendix I – List Entry Summary	10
Appendix II – Extracts of Relevant Planning and Policy Guidance	11

1. Introduction

This Heritage statement accompanies the application for Listed Building Consent to repair and renovate the existing lightwell staircase at 17 Regents Park Terrace, NW1 7ED. Sections 2 & 3 below describe the property and summarise relevant policy and legislation respectively. Section 4 gives a brief history of the property and its significance and Section 5 describes and justifies the proposed works according to the relevant planning policy and guidance. Section 6 lists the available planning history of the property and Section 7 summarises the area history.

2. Property description

- 2.1. 17 Regents Park Terrace is a single-family dwelling house on five floors with brick internal and external load-bearing walls, internal load-bearing partitions, timber floors, slate inverted 'London' roof and joinery doors & windows. It is one of 22 terrace houses built in circa 1840-50. The terrace is located in the Primrose Hill Conservation Area in the London Borough of Camden (see Drawing RPT(L)00). The terrace is listed as a whole, Grade II. Details of the statutory list entry are included in Appendix I.

3. Relevant Policy and Legislation

Note: Extracts of relevant national and local policy documents are listed in Appendix II.

- 3.1. The Planning (Listed Buildings and Conservation Areas) Act 1990
 - a. This is the legislative basis for decision-making on applications that relate to the historic environment. Sections 66 and 72 of the Act impose a statutory duty upon local planning authorities to have 'special regard to the desirability of preserving listed buildings, their settings or any features of special architectural or historic interest which they possess; and to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas'.
- 3.2. The National Planning Policy Framework and Planning Practice Guidance
 - a. This sets out policies on the historic environment that local authorities must satisfy when considering applications for listed building consent. This includes the requirement that local authorities recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance'. Of particular significance to this application, Paragraph 189 states that '... In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.'
 - b. Paragraph 200 of the Framework states that '... Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably. The glossary defines 'Significance (for heritage policy)' as '... The value of a heritage asset to this and

17 Regent's Park Terrace Listed Building Application Heritage Statement

future generations ... Significance derives not only from a heritage asset's physical presence, but also from its setting', which, in turn, is defined as 'The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral'.

- c. Conservation of heritage assets that are in constant daily use, such as the staircase that is the subject of this application, sometimes require small modifications that preserve the significance of the asset while also making it easier to use and/or maintain. The planning practice guidance document, which supports the National Planning Policy Framework includes a sub-section titled 'Conserving and enhancing the historic environment' that advises on enhancing and conserving the historic environment. Paragraph 3 of this section states that '...the conservation of heritage assets ... is a core planning principle ... Conservation is an active process of maintenance and managing change ... In the case of buildings, generally the risks of neglect and decay of heritage assets are best addressed through ensuring that they remain in active use ... Ensuring such heritage assets remain used and valued is likely to require sympathetic changes to be made from time to time.'

4. **Property History and Significance**

- 4.1. 17 Regent's Park Terrace was constructed between 1841 and 1849 as part of the development of the area following the subdivision of the Southampton Estate in 1840. The terrace comprises of yellow-brick houses with rusticated stuccoed lower floors which are a common building type in this area. The special interest of the listed building lies primarily in its external appearance and its contribution to the street scene and wider conservation area. The Grade II heritage listing extends to the metal railings that enclose the lightwell at street level and continue down the lightwell stair.

5. **Summary of Proposal and Justification**

- 5.1. This application seeks Listed Building consent to repair and renovate the existing lightwell stair that gives access to the lightwell and vault area from the street (see Drawings RPT(L)10, 11, 20, 21, 30, 31, 40, 41). This stair is in a serious condition and requires urgent attention. In observance of PH5 of the Conservation Area guidelines (see Appendix II) and following initial informal consultation with the duty planner at Camden Council this application is being submitted. The stairs are in regular use by the occupants including children – it is used daily to access bikes and other storage in the vaults and to transport the large recycling and general waste bins up every week – and given the deteriorated condition of the staircase there is a concern about their safety.
- 5.2. The lightwell stair has 13 treads and risers. Many of these existing treads and risers have patch repairs with concrete (particularly at corners) or have been entirely replaced by concrete. Leading down from the street: the upper 4 treads and risers, cantilever off the brick boundary wall and are unsupported on their free edge; the lower 9 treads are bedded into the front wall of the house at one side and bear onto a single brick wall at the other. This single brick wall returns under the 5th tread from the

17 Regent's Park Terrace Listed Building Application
Heritage Statement

top to form an enclosed space, which suffers from severe damp (see Drawing RPT(L)10,11,21&22 and Site Photographs).

- 5.3. The proposed works involve replacement of broken and concrete treads and risers with new stone treads and risers to match the existing. The existing metal railings, which form part of the heritage listing and all the houses on the terrace have, will be carefully removed and re-installed in the new stone treads and risers, in observance of PH38 & 41 of the Primrose Hill Conservation Area guidelines (see Appendix II), but instead of lead fixings into the stone, which is prone to expansion, this will be replaced with resin as per the specialist contractor's details. The existing asphalt string, that runs that wraps bearings of stone treads in the wall will be renewed.
- 5.4. After consultation with heritage stone conservation specialist contractors the works propose to renovate the entire stair (see Drawing RPT(L)30,31,41&42). The proposed works consist of three parts:
 - a. The look of the original stone staircase will be restored by reusing existing stones as much as possible and only replacing treads and risers with new stone to match the original where required. This is in line with PH10 & 11 of the Conservation Area guidelines (see Appendix II).
 - b. The existing stone coping to the brick party wall will be repaired and/or where necessary replaced. This will stop water getting in to this wall. Since this is a party structure this work would of course be done with relevant consents from neighbouring owners.
 - c. Finally, because of the damp problems related to the brick supporting wall and enclosed space beneath the bottom part of the stair it is proposed to cantilever the lower section of stair. This would not only help to alleviate damp related problems to the front elevation and lightwell but would also be aesthetically pleasing and add to the heritage significance of the property and its setting.
- 5.5. The stair is not immediately visible from the street and the single brick wall supporting the lower half of the stair is barely visible from street level at all. The parts of the staircase that are visible – its' treads and risers – will be restored to the original York stone and their renovation will make a positive impact on the significance of the asset as a whole (in line with Para. 200 of the NPPF (see Appendix II). The small modifications to the original design proposed in this application not only restore the original materiality of the stair by restoring the original York stone treads, but in removing the existing single brick wall that supports the lower half of the stair, thereby addressing the persistent penetrating damp problems to the front elevation of the house, enhance the life of the structure and by freeing up space that was otherwise enclosed make the lightwell more usable now and in the future. This proposal offers a good balance restoration and subtle-intervention and would secure the conservation of the staircase and lightwell area in its optimum viable use, which is that for which it was originally built.

6. Planning History

- 6.1. Ref: 2013/2525/P & 2013/2622/L

17 Regent's Park Terrace Listed Building Application
Heritage Statement

- a. Application for Internal alterations to include alterations to partitions at all levels, external alterations to include addition of opening on rear elevation at lower ground level, installation of 2x roof lights to single dwelling house.
 - b. Granted 19th July 2013.
- 6.2. Ref: 2013/5505/P & 2013/5543/L
- a. Application for replacement of rear external staircase from ground floor to garden level to dwelling.
 - b. Granted 20th November 2013.
- 7. Summary of Relevant Area History**
- 7.1. What is now called the Primrose Hill Conservation Area was from the Middle Ages and after largely made up of open fields with irregular land ownership (see Plate I). By the early 19th century the Conservation area land belonged to Charles Fitzroy, 3rd Baron Southampton. Its development began following completion of the Regents Canal in 1820, and soon after the London and Birmingham Railway line arrived, with a terminus at Chalk Farm, just north of the Southampton Estate. this land was developed for housing. The Southampton estate was sold in freehold portions for development in the 1840's and it was bought by entrepreneurs, wealthy individuals and the Crown Estate. An 1841 plan of the estate shows the land broken up into plots and the development of some semidetached housing along the north end of Gloucester Crescent as well as terraces on Park Street, Grove Street, Wellington Street and James Street (see Plate II).
- 7.2. The 1875-6 OS map shows the extent of development following the sale of the Southampton Estate plots, with the entire east side of Gloucester Crescent developed and new terraced housing erected on the west side of Gloucester Crescent, as well as large semi-detached villas west of Oval Road [Plate III]. In addition, the proximity of the railway and the canal resulted in a number of industrial buildings north of Gloucester Road. Despite the amount of industrial activity, Charles Booth's 1889 poverty map of London described the houses in the area as mostly 'middle class/well to do' and those overlooking Regent's Park as 'upper class'. The Blitz raids of 1941 caused some damage to buildings in this area, including the north end of Oval Road, on Arlington Road and on Inverness Street, but Regents Park terrace was not damaged;
- 7.3. The earliest evidence of Regent's Park Terrace is on an 1849 map of St Pancras [Plate IV]. It shows the terrace on the east side of Oval Road, on the site of the semi-circular green serving the houses on Gloucester Crescent; part of the green is also portioned off to form gardens. It also shows that the houses were set back from the street behind lightwells, with closet wings to the rear, and that No.'s 17-22, to the North of the Terrace, and No.'s. 1-5 on the South side, are set back from the central line comprising no's. 6-16 . The house was listed in 1974 along with the rest of the houses on Regent's Park Terrace as Grade II.

17 Regent's Park Terrace Listed Building Application
Heritage Statement - Plates



Plate 1. John Rocque, Survey of London, Westminster and Southwark (1746)



Plate II. Plan of the Southampton Estate in the vicinity of the Regent's Park (1841)

17 Regent's Park Terrace Listed Building Application
Heritage Statement - Plates

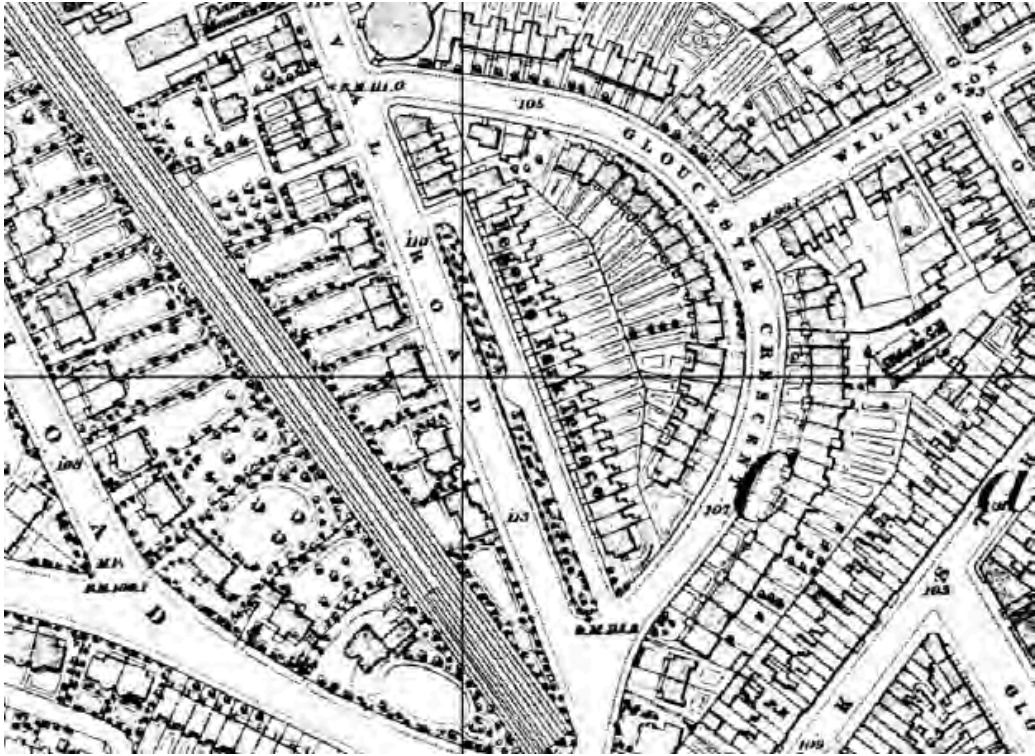


Plate III. London Ordnance Survey Map (1872-3)



Plate IV. Map of St Pancras Parish (1849)

17 Regent's Park Terrace Listed Building Application
Heritage Statement - Photographs

The staircase leads from street level to the vaults at lower ground floor level (see 1 & 2 below).



1.



2.

The first 3-4 treads and corresponding risers cantilever off the party boundary wall with no.16. The remaining treads and risers seem to bear onto the front elevation of the building on one side and a single skin brick wall on the other (see images 3 & 4).



3.



4.

Many of the cantilevered treads and risers show signs of concrete patch repair, especially at the free corners where the balustrade has been leaded in and subsequently expanded and caused the corner to fracture (see images 5 & 6).

17 Regent's Park Terrace Listed Building Application
Heritage Statement - Photographs



5.



6.

A number of the risers are broken and treads don't bear on to the riser below. The stone show obvious signs of flaking and delaminating and in places seems to have lost 1/3 to a 1/2 of its original thickness.



7.



8.

There are severe damp problems in the party boundary wall and in the brick supporting wall caused by cracks in the coping stones. This affects the structural integrity of the wall and corresponding bearing of the stone treads and risers in the wall.

17 Regent's Park Terrace Listed Building Application
Heritage Statement - Photographs



9.

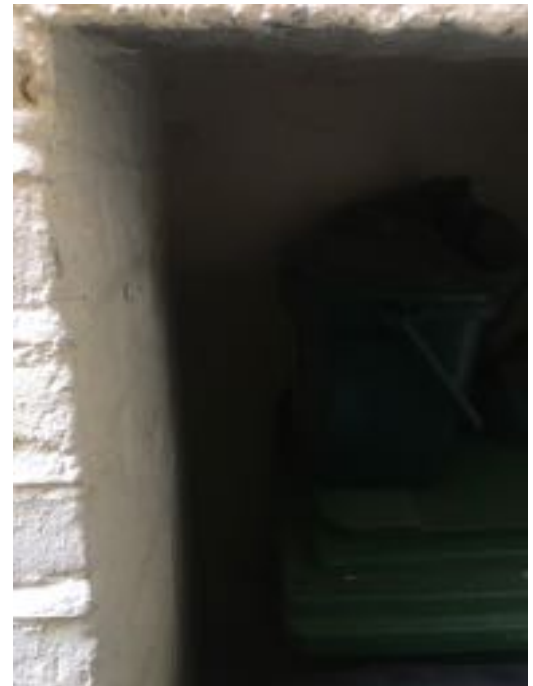


10.

The brick wall that supports the lower half of the stair has a brick return, so it forms an enclosed area. This enclosed space is not properly ventilated and severely damp and is causing damp problems inside the house. There is also penetrating damp through the stair and wall into the lower ground floor of the house.



11.



12.

17 Regent's Park Terrace Listed Building Application
Heritage Statement – Appendix I

1. **List Entry Summary**¹

- 1.1. This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: NUMBERS 1-22 AND ATTACHED RAILINGS

List entry Number: 1330368

Location: NUMBERS 1-22 AND ATTACHED RAILINGS,
1-22, REGENTS PARK TERRACE

County: Greater London Authority

District: London Borough of Camden

Grade: II

Date first listed: 14-May-1974

UID: 477854

National Grid Reference: TQ 28628 83819

1.2. Details

CAMDEN

TQ2883NE REGENT'S PARK TERRACE 798-1/76/1385 Nos.1-22 (Consecutive) 14/05/74
and attached railings

GV II

Terrace of 22 houses. c1840-50. Yellow stock brick with rusticated stucco ground floors. Nos 1-21 form a symmetrical facade with slightly projecting end houses. 4 storeys and basements. 2 windows each. Square-headed doorways with cornice-heads, fanlights and panelled doors. Entrance to No.1 on right hand return with stucco portico having pilasters, cornice and parapet; round-arched door way. Architraved sashes; 1st floor with cornices and continuous cast-iron balconies, 2nd floor with cornices. Plain stucco sill bands to 2nd and 3rd floors. Stucco modillion cornice and blocking course. No.22: rusticated stucco. 2 storeys and basement. 1 window. Projecting stucco portico with balustraded parapet. Cornice with balustraded parapet. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with foliated finials to areas.

¹ <https://historicengland.org.uk/listing/the-list/list-entry/1330368>, last accessed 6/8/2018

1. **Planning (Listed Buildings and Conservation Areas) Act 1990**²

The Act is legislative basis for decision making on applications that relate to the historic environment. Relevant portions of the Act include:

1.1. Chapter 9, Part I, Chapter V, Urgent preservation

54 Urgent works to preserve ... listed buildings

- 2) If it appears to the Secretary of State that any works are urgently necessary for the preservation of a listed building—
 - a. if the building is in England, he shall authorise the Commission to execute any works specified in the authorisation which appear to him to be urgently necessary for its preservation;
- 3) The works which may be executed under this section may consist of or include works for affording temporary support or shelter for the building.

1.2. Chapter 9, Part I, Chapter VI, Special considerations affecting planning functions

66 General duty as respects listed buildings in exercise of planning functions

- 1) In considering whether to grant planning permission [or permission in principle] for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 2) Without prejudice to section 72, in the exercise of the powers of appropriation, disposal and development (including redevelopment) conferred by the provisions of sections 232, 233 and 235(1) of the principal Act, a local authority shall have regard to the desirability of preserving features of special architectural or historic interest, and in particular, listed buildings.

1.3. Chapter 9, Part II, General duties of planning authorities

72 General duty as respects conservation areas in exercise of planning functions.

- 1) In the exercise, with respect to any buildings or other land in a conservation area, of any [functions under or by virtue of] any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

² Source: <http://www.legislation.gov.uk/ukpga/1990/9>, last accessed 6/8/2018

2. National Planning Policy Framework³

The National Policy Planning Framework sets out the Government's planning policies for England and how these are expected to be applied. Section 16 relates to policies for 'Conserving and enhancing the historic environment'.

2.1. Proposals affecting heritage assets

- 192 In determining applications, local planning authorities should take account of:
- a. the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - b. the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
 - c. the desirability of new development making a positive contribution to local character and distinctiveness.

2.2. Considering potential impacts

193 When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

200 Local planning authorities should look for opportunities for new development within Conservation Areas ... and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

3. National Planning Practice Guidance⁴

The planning practice guidance supports the National Planning Policy Framework. The sub-section titled 'Conserving and enhancing the historic environment' advises on enhancing and conserving the historic environment. Paragraph 3 states:

'The conservation of heritage assets ... is a core planning principle ... Conservation is an active process of maintenance and managing change ... In the case of buildings, generally the risks of neglect and decay of heritage assets are best addressed through ensuring that they remain in active use ... Ensuring such heritage assets remain used and valued is likely to require sympathetic changes to be made from time to time.'

³ Source:

https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/728643/Revised_NPPF_2018.pdf, last accessed 06/08/2018

⁴ Source: <https://www.gov.uk/guidance/conserving-and-enhancing-the-historic-environment>, last accessed 06/08/2018

4. Camden Conservation Area Statement – Primrose Hill

4.1. Regent's Park terrace falls within Sub-area 4 'Gloucester Crescent'. The sub-section that covers the Terrace states '...Regent's Park Terrace consists of 22 houses, dating from c1840-50. Nos.1-21 Regent's Park Terrace form a rigidly designed symmetrical façade with slightly projecting end houses. Each property is four storeys high, with basements, narrow lightwells and railings. Decorative features include rusticated stucco at ground and basement levels, stucco surrounds and brackets to windows, continuous first floor balcony, railings and prominent cornices.'

4.2. Guidelines

a. Listed Buildings

PH3 Under Section 7 of the Planning (Listed Buildings & Conservation Areas) Act 1990, listed building consent is required for demolition of a listed building, and for any works of alteration or extension which would affect its character as a building of special architectural or historic interest.

PH4 The requirement for listed building consent is distinct from the need for planning permission and 'permitted development' rights do not apply to listed building consent. Listed building consent is not normally required for maintenance and like for like repairs but, if repairs result in a significant loss of historic fabric or change to the appearance of the building, consent would be required.

PH5 Works required to be carried out to a listed building as a matter of urgency would require listed building consent just as in any other case, even if the works are required by a dangerous structures or any other legal notice.

b. Materials and Maintenance

PH10 In all cases, existing/original architectural features and detailing characteristic of the Conservation Area should be retained and kept in good repair, and only be replaced when there is no alternative, or to enhance the appearance of the building through the restoration of missing features. Original detailing such as door/window pediments and finials, porches, ironwork (window cills, railings), timber framed sash windows, doors, tiled footpaths, roof slates and tiles, decorative brickwork, timber shopfronts, where retained, add to the visual interest of properties. Where these features have been removed, replacement with suitable copies will be encouraged.

PH11 The choice of materials in new work is important and will be the subject of control by the Council. Original, traditional materials should be retained wherever possible and repaired only if necessary. Generally routine and regular maintenance such as unblocking of gutters and

17 Regent's Park Terrace Listed Building Application
Heritage Statement - Appendix II: Extracts of relevant Planning Policy and Guidance

rainwater pipes, the repair of damaged pointing, and the painting and repair of wood and metal work will prolong the life of a building and prevent unnecessary decay and damage. Where replacement is the only possible option, materials should be chosen to closely match the original. Generally the use of the original (or as similar as possible) natural materials will be required, and the use of materials such as concrete roof tiles, artificial slate and PVCu windows would not be acceptable.

c. Basement Lightwells, Railings and Vaults

PH38 The majority of properties within the Conservation Area have lightwells surrounded by railings to the front elevation. A number of villa properties also have lightwells surrounded by railings to the side elevations. Where original lightwells, railings and vaults exist, these should be retained. Where altered or lost, the Council will seek the reinstatement of these features.

PH41 The erection of a staircase within an existing lightwell may be acceptable where this is an established characteristic of the building group and where the lightwell is sufficiently wide. Staircases should be constructed in painted metal or stone with appropriately detailed handrails, according to the established pattern of construction. Gates within railings should be detailed to match the existing railing pattern and should have discreetly designed hinges and catches. Original fabric should be reused where possible and all new materials should match existing. Plinths should be cut and rounded to allow for access.