

101 Camley Street, Camden

Section 73 Minor Material Amendments Application to the London Borough of Camden

July 2018



Document Control:

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-	24.07.2018	First Issue	TW

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01.00

Introduction

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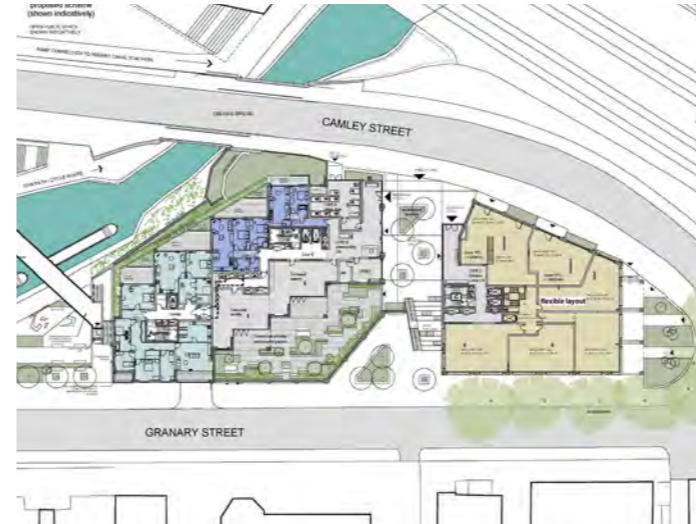
01.01 Overview



A Mixture of Site and Aerial Photographs.

This document has been produced to track the main amendments to the design between the Minor Material Amendments Application in December 2016 and the completion of the Stage 04 Detailed Design. These amendments have been necessary to implement in order to make the scheme technically viable.

01.02 Original Planning Application

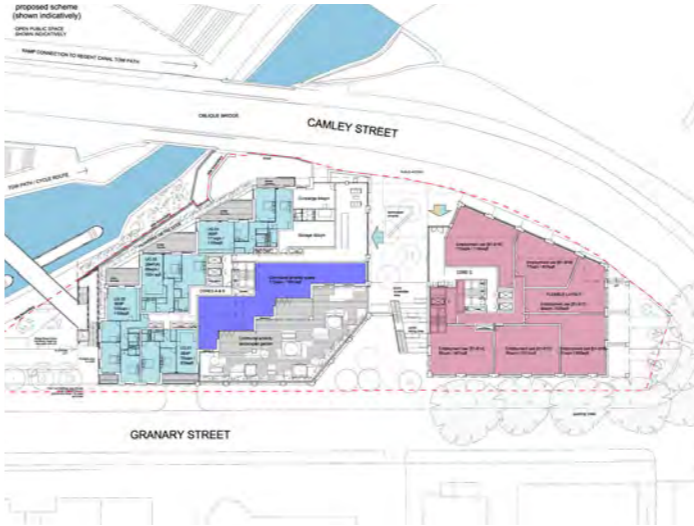
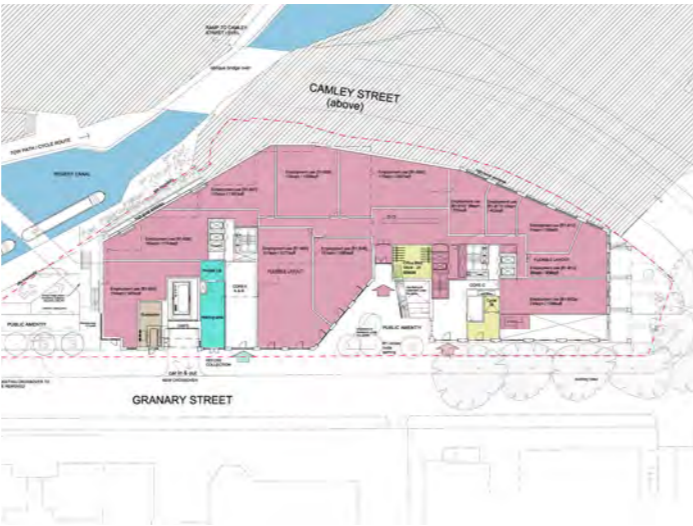


Drawings and CGI's from the Consented Planning Application

Planning permission for 101 Camley Street was obtained in March 2015. The part ten, part thirteen storey mixed use development is adjacent to the King's Cross Masterplan and within the Regent's Canal and King's Cross Conservation Areas. The consented scheme is; 121 apartments including 25% affordable housing, 3,090sqm GIA of flexible commercial

space, a new canal footbridge and a range of public and residents' landscaped amenity areas.

01.03 Minor Material Amendment Application December 2016



A Mixture of Drawings Included as part of the Minor Material Amendment.

A Minor Material Amendment application was submitted in December 2016 relating to revised tenure splits and changes to the internal layout of each block. Changes to the external elevations were limited to minor amendments to door locations and locations of metal spandrel panels around the penthouse.

02.00

Design Development Overview

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02.01 Proposed Amendments Summary

	List of Amendments	Proposed Change	LBC Responses	Action Taken Following Response
Landscape & Public Realm	01. General updates.	Planting areas have been increased, creating green gateways to the development whilst resolving level changes.	No specific response	
	02. External stairs design.	The seating steps have been removed due to concerns over their suitability for rough sleeping, the stairs have been realigned to remove the taper which simplifies the structural solution.	No specific response	
Facade Development	03. Spandrel Panel Depth.	Removal of the glazed openings in the last two bays due to the street levels at Camley Street and unification of UG level spandrel panels across the scheme.	No specific response	
	04. Insertion of Fire Door.	Opening added at LG level South Block following the requirements for the employment areas fire strategy.	No specific response	
	05. Residential Lobby Glazing.	The arrangement of the glazing has been improved to suit the new internal layout. The metal spandrel panels have also been replaced with glazed units.	No specific response	
	06. Residential Entrance Canopies.	Addition of a 1200mm canopy to provide a protected area as required by Building Regulations.	No specific response	
	07. Protruding Window at South Block.	This window type will be replaced with the standard residential window used across the scheme in order to provide appropriate ventilation and light levels.	No specific response	
	08. Window to North West Elevation South Building.	The window will be removed following the relocation of the employment core as part of MMA.	No specific response	

The table above lists out the main design development changes that have occurred since the MMA application was submitted, and which are being presented in this document. The following pages identify the locations of the above amendments around the scheme in plan and elevation.

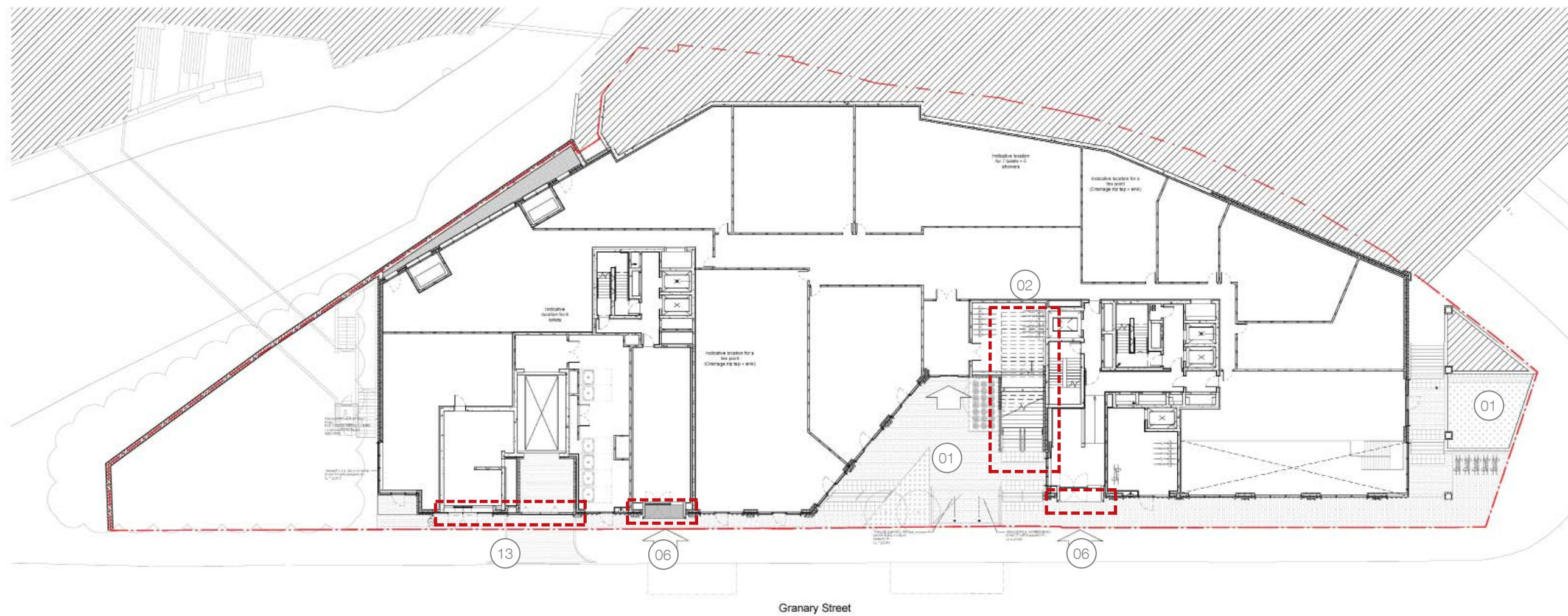
Items no longer included within this application following consultations with LBC are as follows:

- Reveal in NE windows unchanged.
- No increase in size to Upper Ground terrace units amenity, separation distance to pavement unchanged.
- Timber walls of balconies retained.
- Landscape works outside the boundary line at Camley St junction.
- Balcony glazing recess.

Proposed Amendments Summary

	List of Amendments	Proposed Change	LBC Responses	Action Taken Following Response
Terraces & Balcony Development	09. Metal Profiles Around Balconies and Elevation Recess Edges.	Depth of profiles increased for the inclusion of the different construction layers such as insulation to prevent thermal bridging and RC beams located along the balcony edges.	Changes harm the aesthetics of the approved building. Original profile preferred. Emphasises heaviness of the balconies and upsets the rhythm of the building.	Different solutions were researched in order to reduce the overall depth but none were successful. The main driver for the increase, the structural beams, can not be reduced from the current 325mm depth proposed by the structural engineers.
	10. Terrace Edge Protection.	Due to safety legislation, the perimeter built in planting, currently located behind the parapet edge protection, will be replaced by planters within the terrace demise.		The planting has been moved within the edge protection. An internal 900mm railing to the planter removes and stepping opportunities and this arrangement now does not require any person to lean over the 1100mm high edge protection to maintain the planting, removing their risk of falling. It also increases the amenity space.
	11. Parapet connection to glazed corners.	Parapet connection to corner glazing improved resulting in the line of the balustrade moving closer to the edge in order to continue the same detail and relationship around the entire terrace. Balustrade design changed to 1100mm high railings	Satisfied with Option 1 [1100mm high metal railings] as it satisfies our main issues.	The low level wall with glass balustrade above is to be replaced with an 1100mm high metal railing, positioned so as to tie in with the corner post of the adjacent glazed corner windows.
Building Services	12. Acoustic Enclosures at Roof Level	Enclosure around the condenser units added at roof level following acoustic consultation..	An alternative should be sought. If there is no alternative the enclosure would need to be lowered, set in from the edges and shown that it wouldn't be disruptive from views..	The enclosures have been positioned in the centre of the roof area so that they are set back as far as possible from the edges. We have carried out a comparison exercise with the consented verified views in order to see the potential impact
	13. Substation Decorative Screens.	To add a secondary bespoke screen in front of the standard Sunray doors required by UKPN.	We don't like the details. Better details are required. A bespoke and decorative solution should be sought.	Further details and images have been included in this report however, the final design will need to be the subject of a condition.

02.02 Location of Amendments - Plans

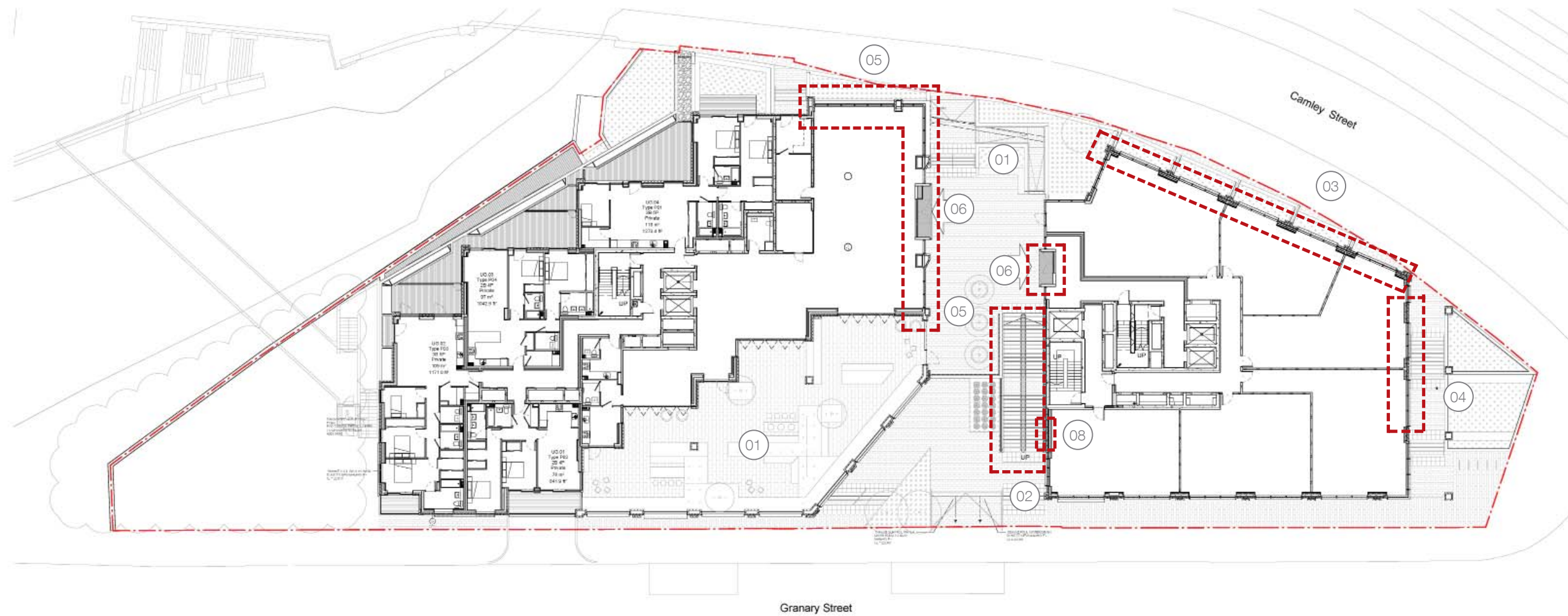


Lower Ground Floor Plan. Scale 1:200 at A3.

- Outline of affected areas.
- 01. Landscape general updates.
- 02. Change to external staircase.
- 06. Residential entrances canopies.
- 13. Substation decorative screens.



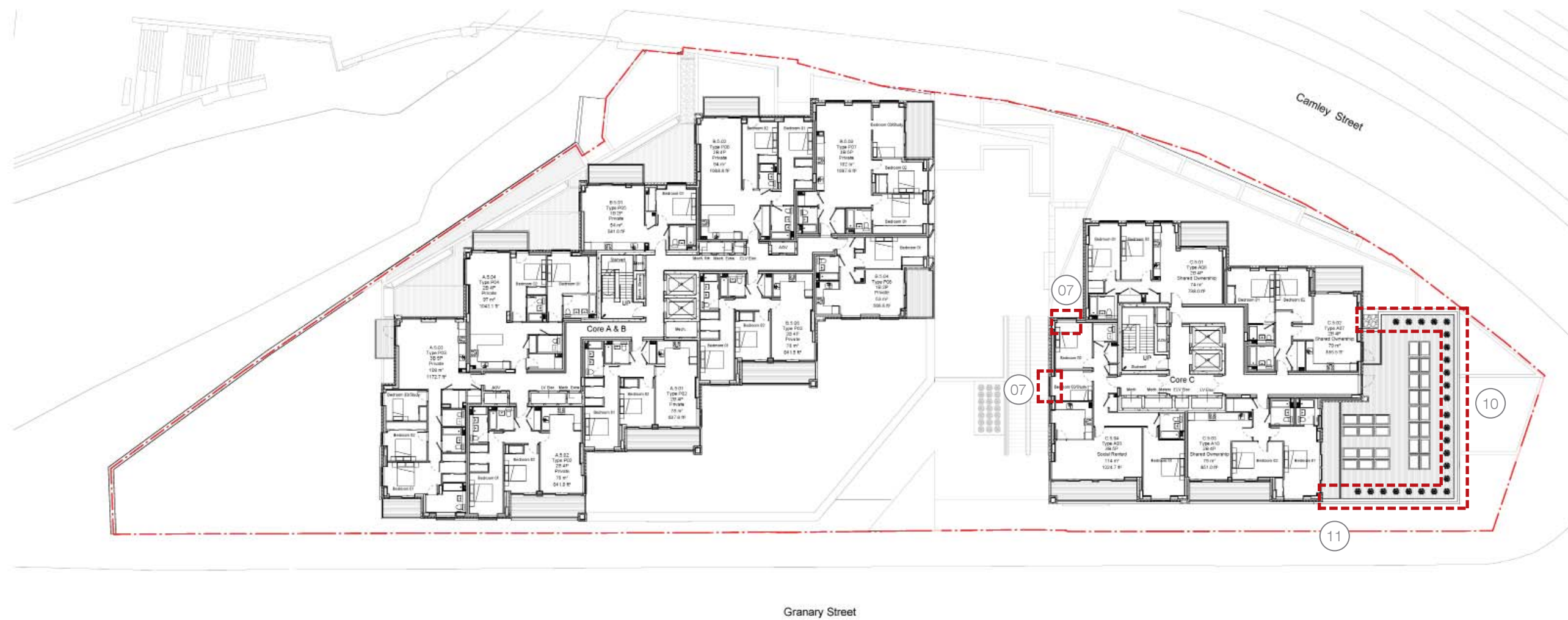
Upper Ground Floor Plan



Upper Ground Floor Plan. Scale 1:400 at A3.

- Outline of affected areas.
- 01. Landscape general updates.
- 02. Change to external staircase.
- 03. Upper ground level spandrel panel depth.
- 04. Insertion of fire door.
- 05. Residential lobby glazing.
- 06. Residential entrances canopies.
- 08. Window to NW elevation South Building.

Typical Floor Plan

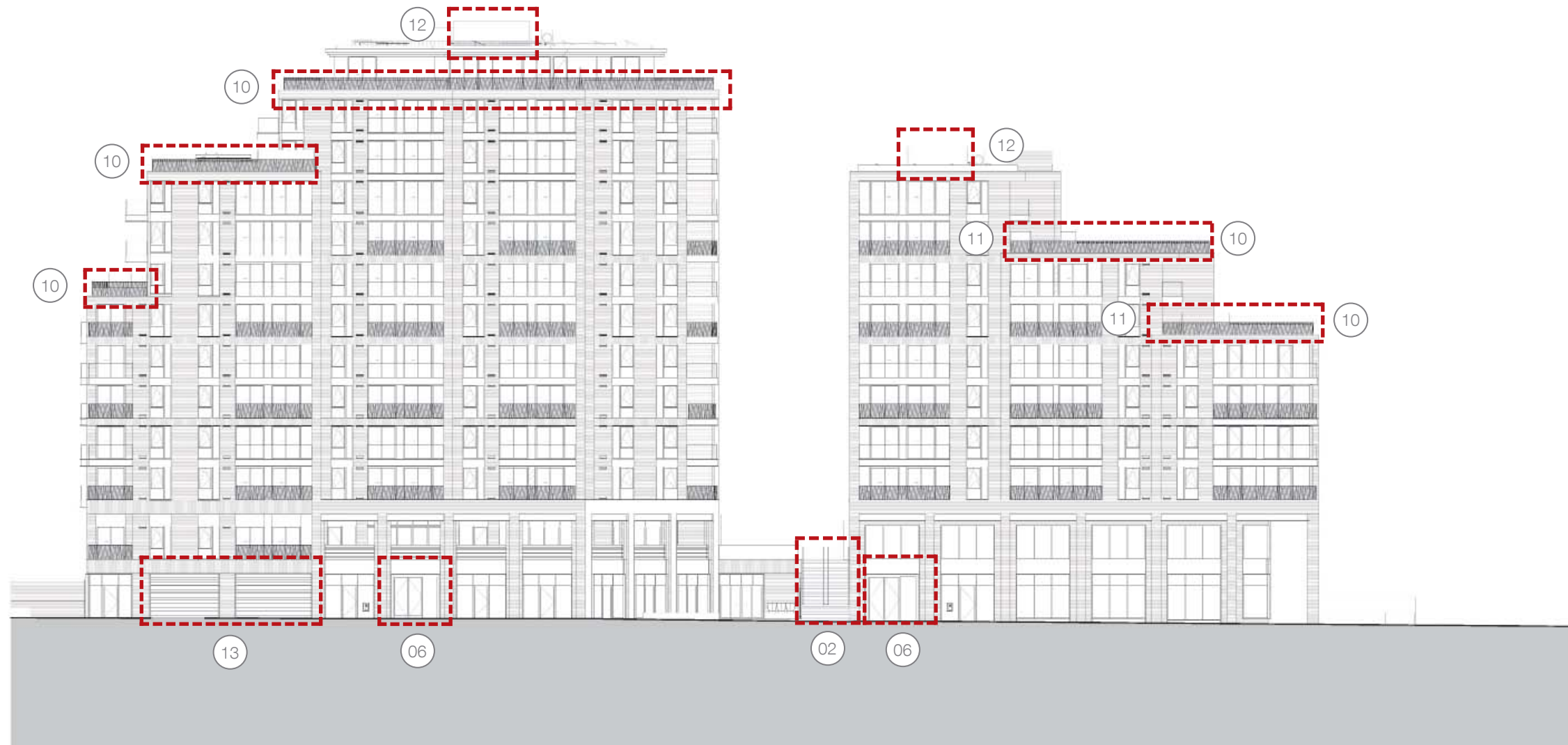


Typical Ground Floor Plan. Scale 1:400 at A3.

- Outline of affected areas.
- 07. Protruding window at South Block.
- 10. Terrace edge protection.
- 11. Parapet connection to glazed corners.



02.03 Location of Amendments - Elevations



SW Elevation. Scale 1:400 at A3.

- Outline of affected areas.
- 02. Change to external staircase.
- 06. Residential entrances canopies.
- 10. Terrace edge protection.
- 11. Parapet connection to glazed corners.
- 12. Acoustic enclosures at roof level.

13. Substation decorative screens.

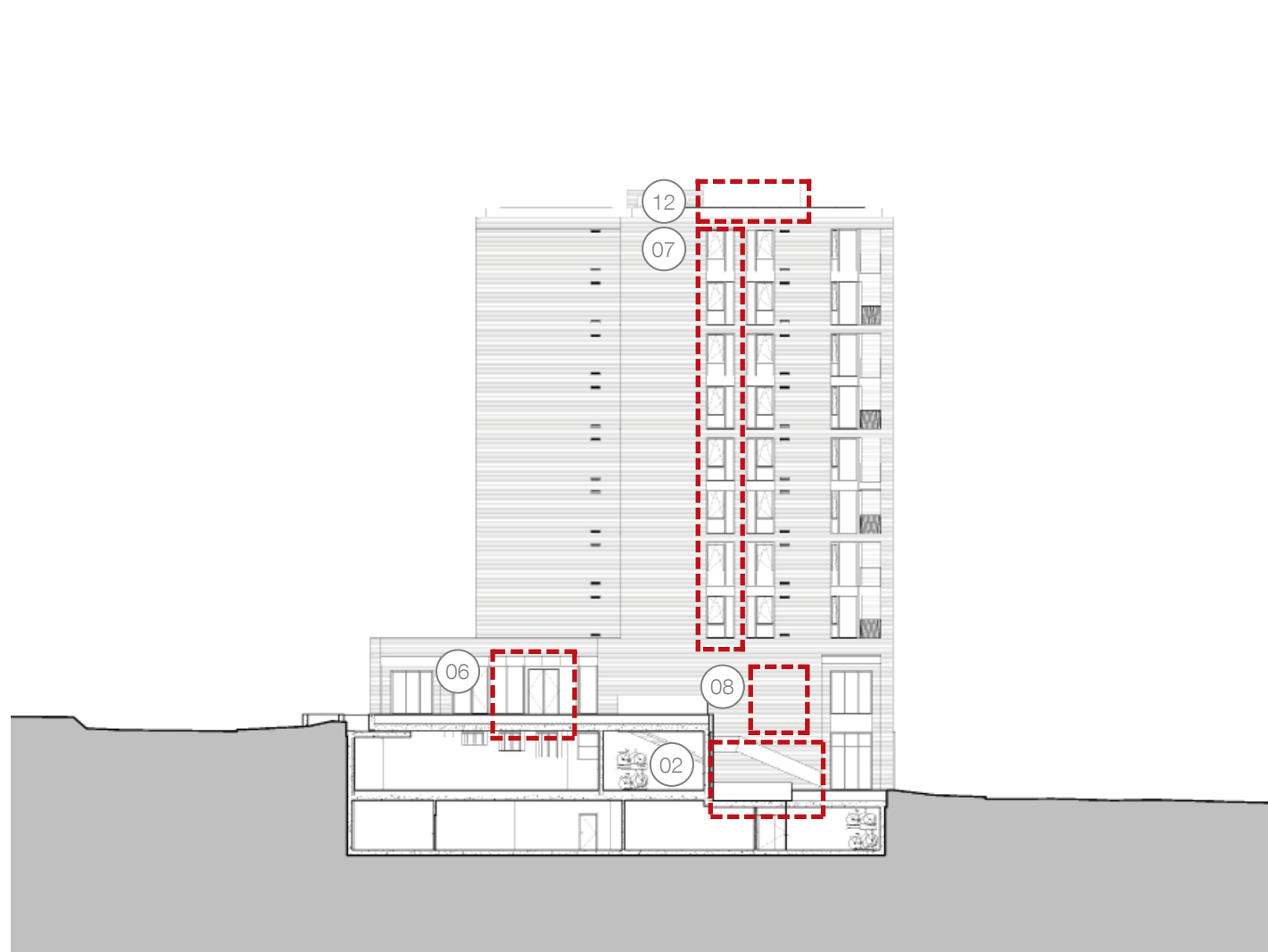
North East Elevation



NE Elevation. Scale 1:400 at A3.

- Outline of affected areas.
- 03. Upper ground level spandrel panel depth.
- 05. Residential lobby glazing.
- 10. Terrace edge protection.
- 11. Parapet connection to glazed corners.
- 12. Acoustic enclosures at roof level.

North West Elevations to North and South Blocks



NW Elevation South Block. Scale 1:400 at A3.

- Outline of affected areas.
- 02. Change to external staircase.
- 06. Residential entrance canopies.
- 07. Protruding window at South Block.
- 08. Window to NW elevation South building.
- 12. Acoustic enclosures at roof level.



NW Elevation North Block. Scale 1:400 at A3.

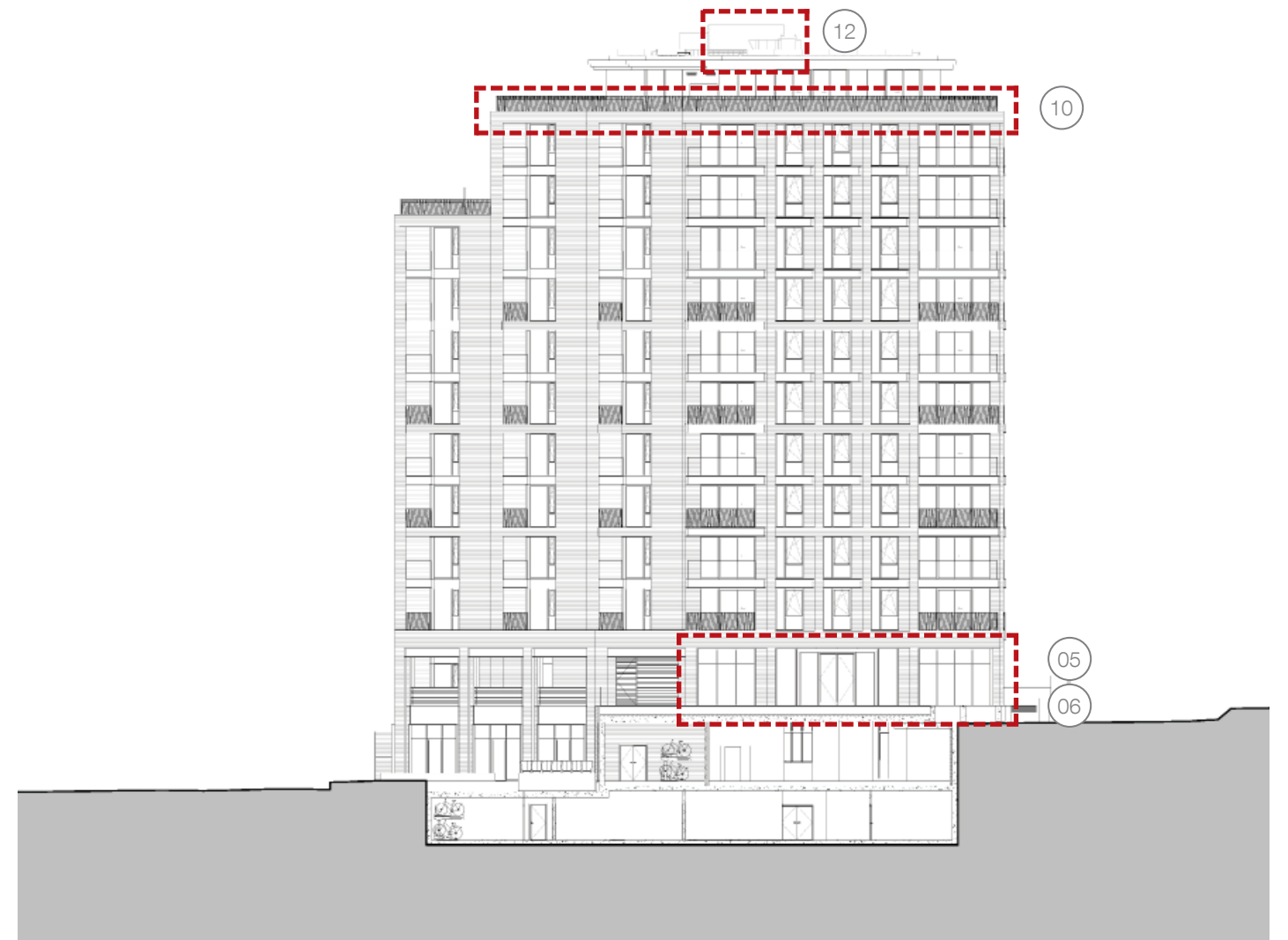
- Outline of affected areas.
- 11. Parapet connection to glazed corners.
- 12. Acoustic enclosures at roof level.

South East Elevations to North and South Blocks



SE Elevation South Block. Scale 1:400 at A3.

- Outline of affected areas.
- 03. Upper ground level spandrel panel depth.
- 04. Insertion of fire door.
- 10. Terrace edge protection.
- 12. Acoustic enclosures at roof level..



SE Elevation North Block. Scale 1:400 at A3.

- Outline of affected areas.
- 05. Residential lobby glazing.
- 06. Residential entrances canopies.
- 10. Terrace edge protection.
- 12. Acoustic enclosures at roof level.

02.04 Scheme Areas

Option	No. of Units	Private Residential GEA	Affordable Rent and Shared Ownership Residential GEA	Shared Residential Ancillary Area (Plant, Vehicle Access and Parking) GEA	Total C3 Residential GEA	B1 Office GEA	Total GEA
Consented Scheme	121	11,397m ² 73.7%	4,076m ² 26.3%	1,380m ²	16,853m ²	3,342m ²	20,195m ²
Proposed Scheme	121	11,397m ² 73.7%	4,076m ² 26.3%	1,380m ²	16,853m ²	3,342m ²	20,195m ²

Gross External Area Comparison Table

Option	No. of Units	Private Residential GIA	Affordable Rent and Shared Ownership Residential GIA	Shared Residential Ancillary Area (Plant, Vehicle Access and Parking) GIA	Total C3 Residential GIA	B1 Office GIA	Total GIA
Consented Scheme	121	10,563m ²	3,737m ²	1,213m ²	15,513m ²	3,090m ²	18,603m ²
Proposed Scheme	121	10,563m ²	3,737m ²	1,213m ²	15,513m ²	3,090m ²	18,603m ²

Gross Internal Area Comparison Table



As indicated above, as a result of the proposed amendments the overall GEA remains the same.

03.00

Development of Landscape & Public Realm

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03.02 Interior and Exterior Connections



Overview of Interior and Exterior Spaces and Connections

Through the design development of the interiors it became apparent that the relationship between the new interior spaces and the exterior areas needed to be reinforced. The proposed landscape design provides stronger related spaces to each of the three main communal areas of the Upper Ground floor, as indicated above.



Connection between Interior and Exterior Spaces

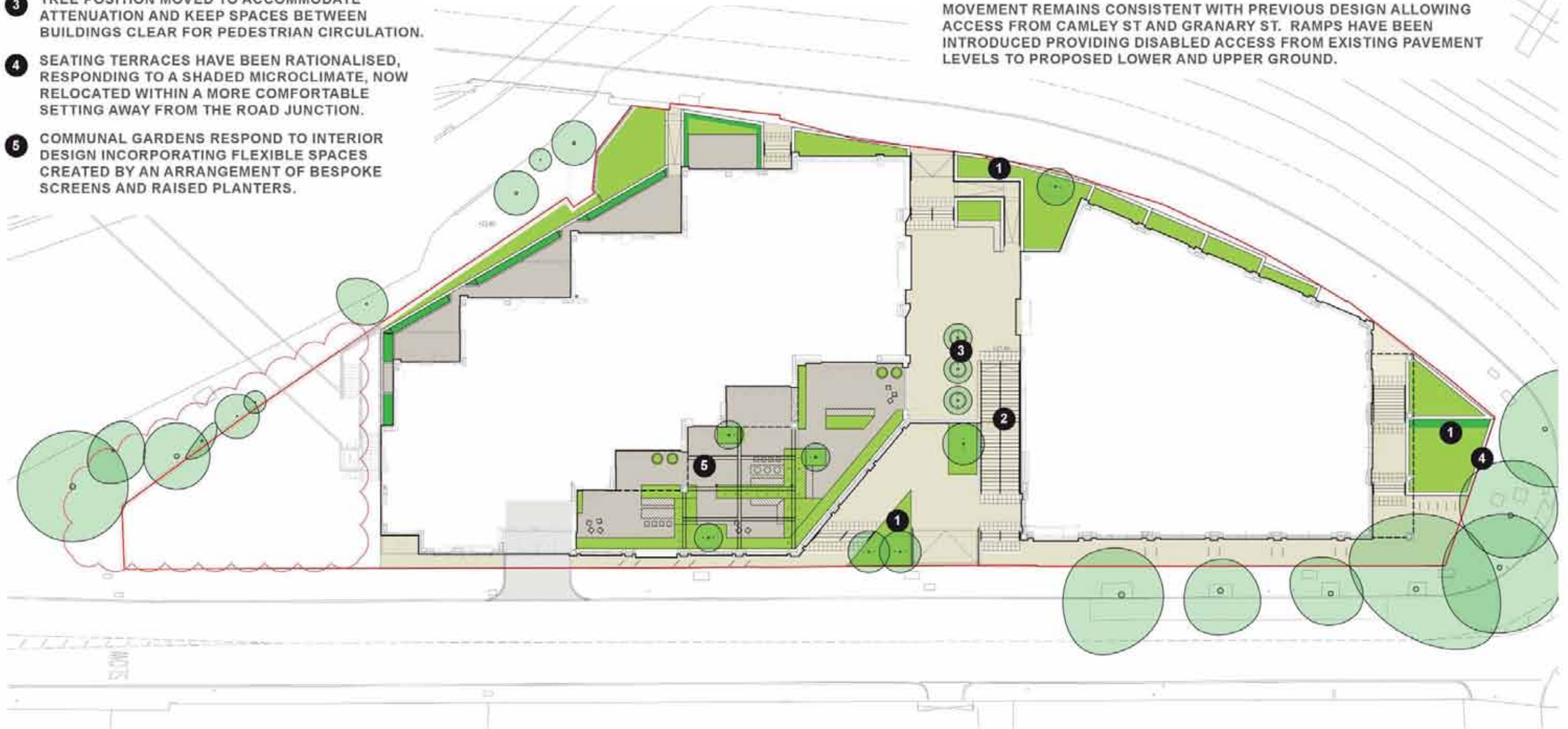
03.03 Proposed Landscape Scheme

- 1 PLANTING AREAS HAVE BEEN INCREASED, CREATING GREEN GATEWAYS TO THE DEVELOPMENT WHILST RESOLVING LEVEL CHANGES.
- 2 STEPS FROM LOWER TO UPPER GROUND FLOOR HAVE BEEN MADE WIDER AND SEATING UNITS HAVE BEEN REMOVED TO RESPOND TO SHADED MICROCLIMATE.
- 3 TREE POSITION MOVED TO ACCOMMODATE ATTENUATION AND KEEP SPACES BETWEEN BUILDINGS CLEAR FOR PEDESTRIAN CIRCULATION.
- 4 SEATING TERRACES HAVE BEEN RATIONALISED, RESPONDING TO A SHADED MICROCLIMATE, NOW RELOCATED WITHIN A MORE COMFORTABLE SETTING AWAY FROM THE ROAD JUNCTION.
- 5 COMMUNAL GARDENS RESPOND TO INTERIOR DESIGN INCORPORATING FLEXIBLE SPACES CREATED BY AN ARRANGEMENT OF BESPOKE SCREENS AND RAISED PLANTERS.

-  GRANITE BENCH WITH RECESSED LIGHTING
-  TIMBER BENCH
-  DIRT FLOWERPOT PLANTER
-  FLOWERPOT PLANTER
-  PLANTING MIX - UPPER AND LOWER GROUND LEVELS
-  PLANTING MIX - COMMUNAL GARDENS
-  PLANTING MIX - WOODLAND BORDER
-  CLIPPED HEDGE
-  PROPOSED SPECIMEN TREE PLANTING



MOVEMENT REMAINS CONSISTENT WITH PREVIOUS DESIGN ALLOWING ACCESS FROM CAMLEY ST AND GRANARY ST. RAMPS HAVE BEEN INTRODUCED PROVIDING DISABLED ACCESS FROM EXISTING PAVEMENT LEVELS TO PROPOSED LOWER AND UPPER GROUND.



UPPER AND LOWER GROUND FLOOR



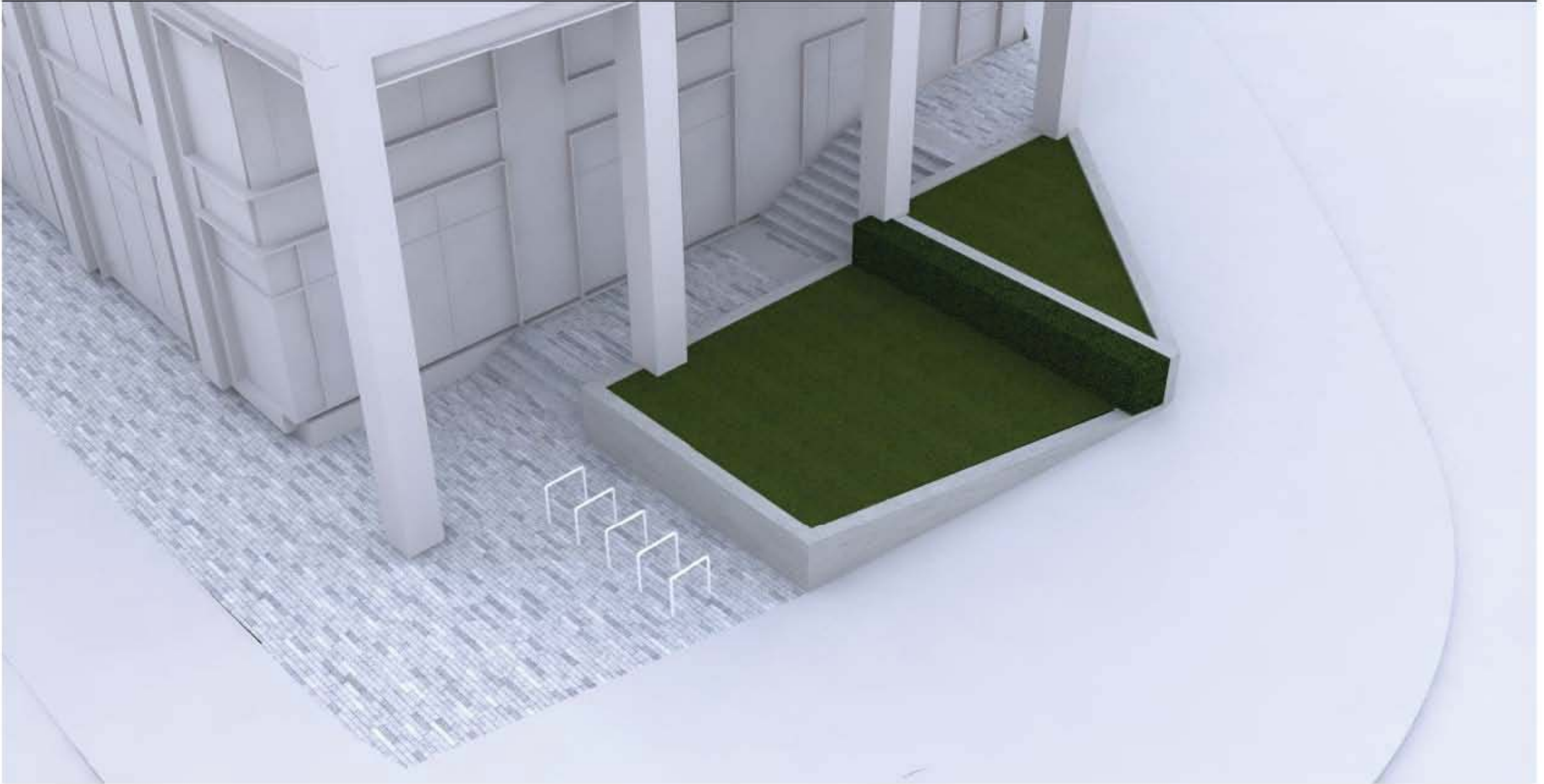
GRANARY STREET ENTRANCE: STEPS TO UPPER GROUND FLOOR HAVE BEEN WIDENED AND SEATING TERRACES REMOVED DUE TO SHADED MICROCLIMATE MAKING LIKELIHOOD OF PEOPLE SITTING HERE IMPROBABLE. RAMPED ACCESS AND STEPS INTRODUCED TO ACCOMMODATE LEVEL CHANGE BETWEEN EXISTING PAVEMENT LEVELS AND PROPOSED LOWER GROUND FLOOR.

CAMLEY STREET



CAMLEY STREET ENTRANCE: STEPPED ACCESS TO UPPER GROUND FLOOR. TO ACCOMMODATE LEVEL CHANGE BETWEEN THE EXISTING PAVEMENT AND PROPOSED UPPER GROUND FLOOR, RAMPED ACCESS HAS BEEN INTRODUCED TO PROVIDE ROUTE FOR DISABLED USERS. PLANTING AREA HAS BEEN ENLARGED CREATING A SOFTER GATEWAY INTO THE DEVELOPMENT.

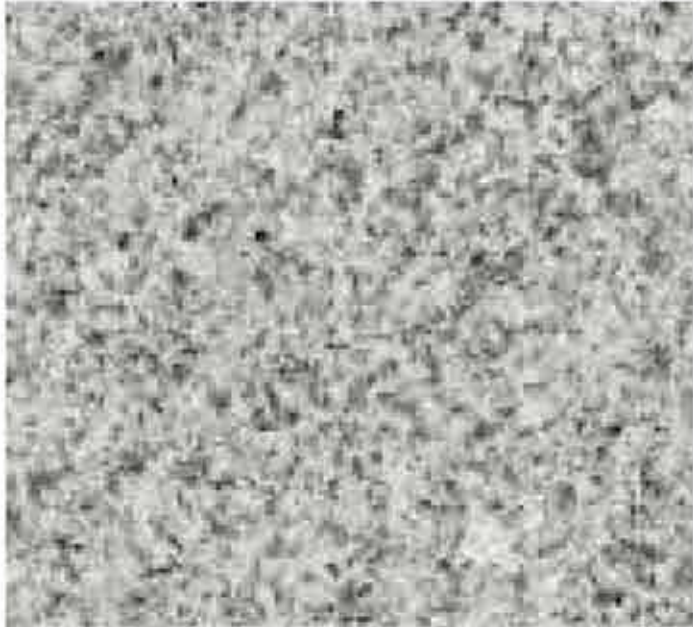
CAMLEY STREET – OPTION B



TERRACED GARDEN: (SHOWN WITHOUT EXISTING TREES FOR CLARITY) RESPONDS TO STEEP GRADIENT OF EXISTING LANDFORM, INCORPORATING MIXED WOODLAND PLANTING DELINEATED BY FORMAL CLIPPED HEDGE AND TERRACED WALLS.

CAMLEY STREET - SURFACING

GRANITE PAVING



Royal White - Flamed



Jinan Blue - Flamed



Violet Pearl - Flamed

MATERIAL: Mixed Granite Paving Setts

LOCATION:

- Upper and Lower Ground Floor

DETAILS:

- Material: Granite
- Colour: Mixed setts of Royal White, Jinan Blue and Violet Pearl granite
- Finish: Varies Flamed
- Size: 150mm x Random Length (300 - 450mm)

SUGGESTED SUPPLIERS (OR EQUIVALENT AGREED):

- Hardscape Ltd, Eagley House, Deakins Business Park, Egerton, Bolton BL7 9RP

COMMUNAL GARDENS



Venice Grey



Venice Moka

MATERIAL: Concrete Effect Porcelain Tiles

LOCATION:

- Communal Gardens

DETAILS:

- Material: Porcelain Tiles
- Colour: Venice Grey and Moka
- Size: 260mm x 900mm

SUGGESTED SUPPLIERS (OR EQUIVALENT AGREED):

- Kinley, Northpoint, Compass Park, Staplecross, East Sussex, TN32 5BS
- Contact: 01580 830 688 www.kinley.co.uk

CAMLEY STREET - PLANTING

PLANTING PALETTE



Asarum europaeum



Asplenium scolopendrium



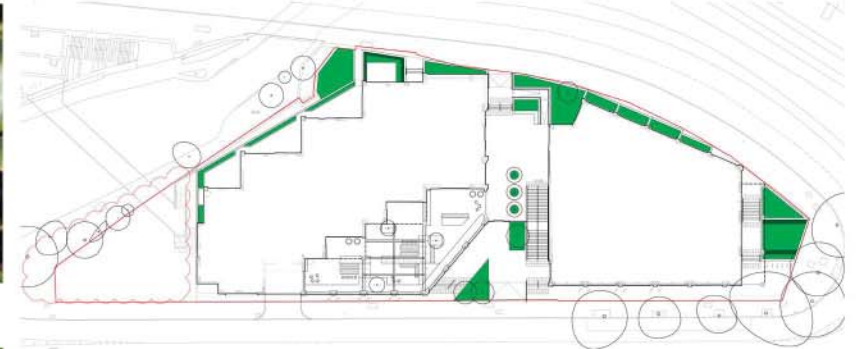
Astrantia 'Shaggy'



Matteuccia struthiopteris



Bergenia 'Bressingham White'



Polystichum tsus simense



Epimedium x yougianum 'Niveum'



Blechnum spicant



Tiarella cordifolia



Asplenium trichomanes



REFERENCE IMAGES



PLANTING REFLECTS WILDNESS OF LOCAL SURROUNDINGS NOTABLY CAMLEY STREET NATURAL PARK, CREATING A BEAUTIFUL AND ECOLOGICALLY RICH SERIES OF PLANTED SPACES.

COMMUNAL GARDENS - PLANTING

PLANTING PALETTE



Hydrangea paniculata 'Limelight'



Astrantia 'Shaggy'



Camellia sasanqua 'Narumigata'



Astilbes



Alchemilla mollis



Epimedium x yougianum 'Niveum'



Asarum europaeum



Tulips



Geranium phaeum 'Album'



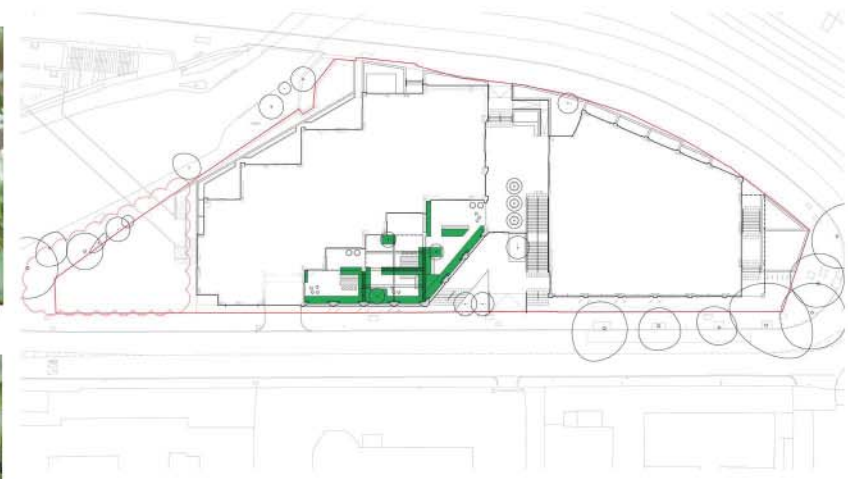
Lazula nivea



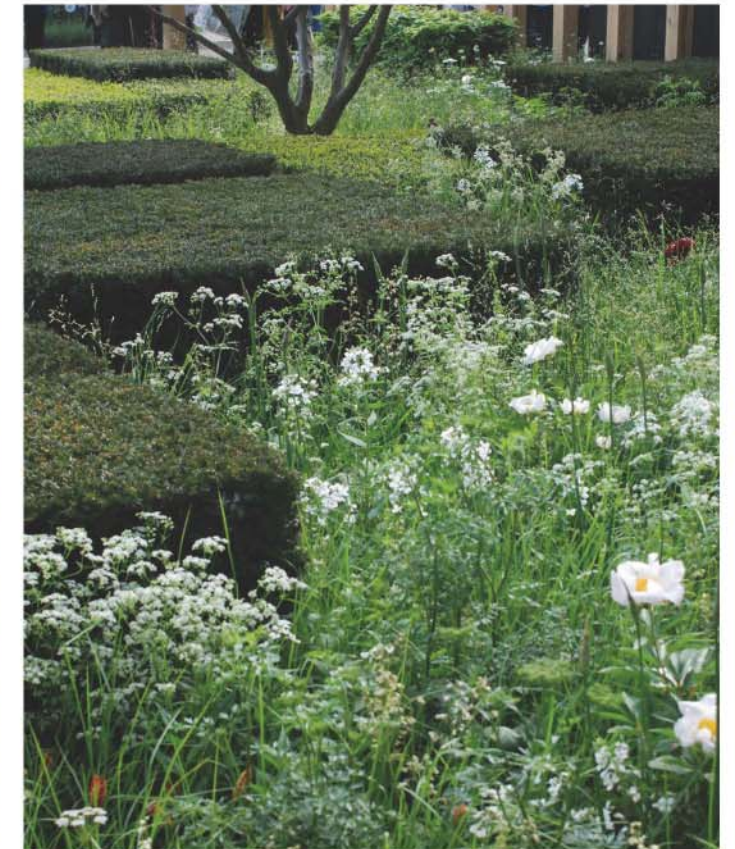
Taxus baccata



Helleborus argutifolius



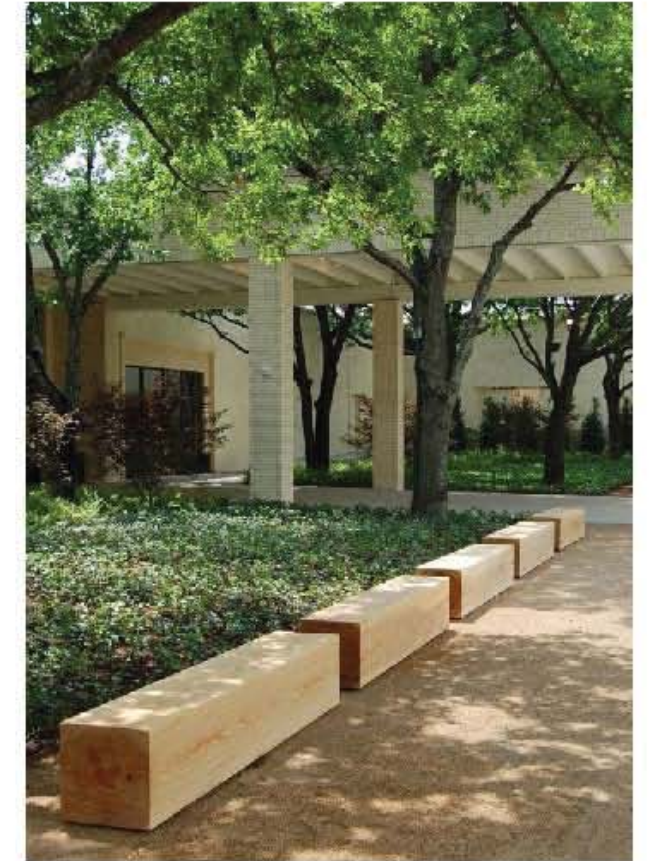
REFERENCE IMAGES



PLANTING REFLECTS WILDNESS OF LOCAL SURROUNDINGS INCLUDING CAMLEY STREET NATURAL PARK, CREATING A BEAUTIFUL AND ECOLOGICALLY RICH SERIES OF PLANTED SPACES.

COMMUNAL GARDENS - FURNITURE

REFERENCE IMAGES



MATERIALITY AND FURNITURE RESPONDS TO INDUSTRIAL CONTEXT OF KING CROSS.

COMMUNAL GARDENS - TRELLIS STRUCTURE

REFERENCE IMAGES



MATERIALITY AND FURNITURE RESPONDS TO INDUSTRIAL CONTEXT OF KING CROSS.

COMMUNAL GARDENS - PERGOLA STRUCTURE

REFERENCE IMAGES



MATERIALITY AND FURNITURE RESPONDS TO INDUSTRIAL CONTEXT OF KING CROSS.

COMMUNAL GARDENS



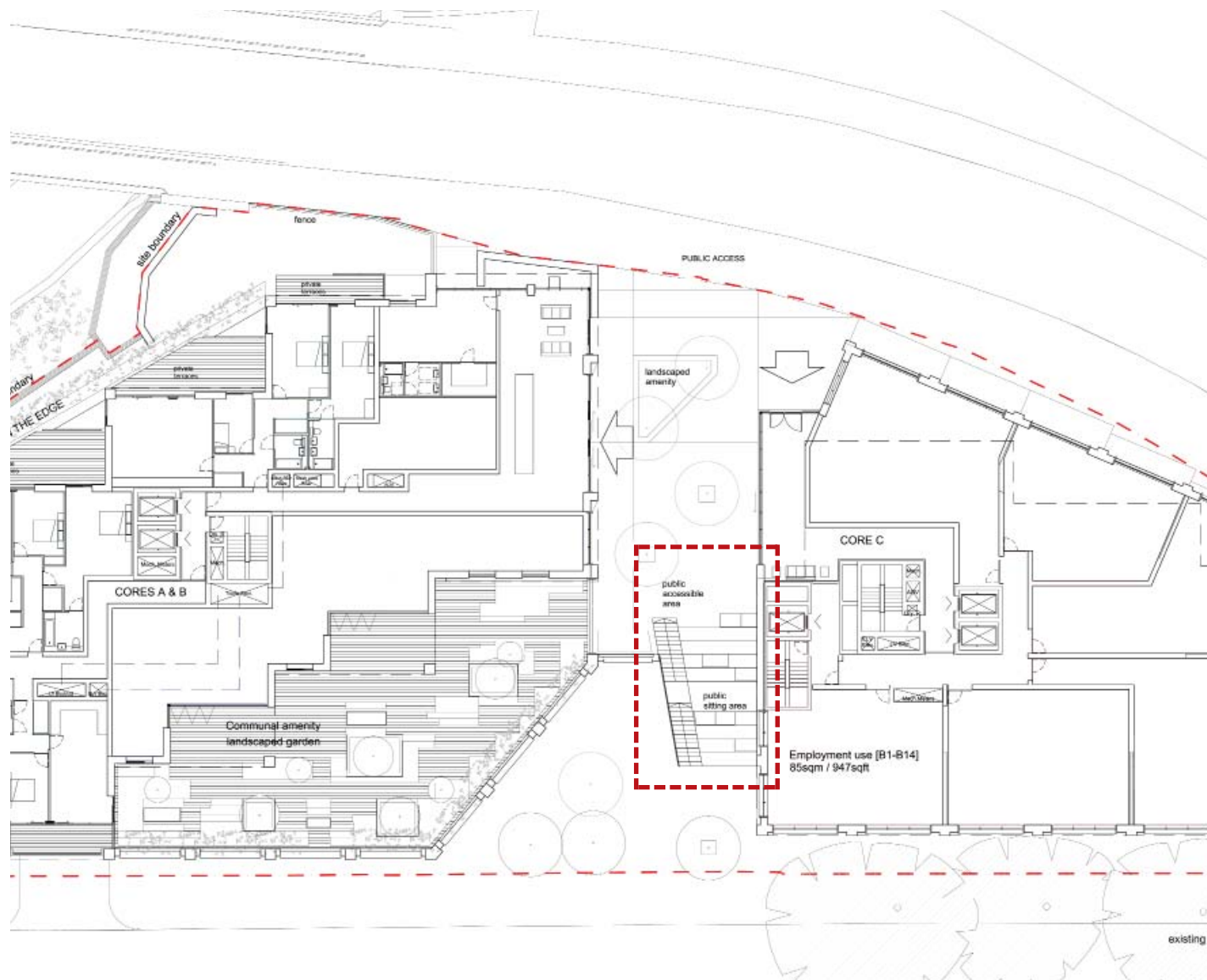
VISUALISATION OF COMMUNAL GARDENS

COMMUNAL GARDENS



VISUALISATION OF COMMUNAL GARDENS

03.04 Change to External Staircase

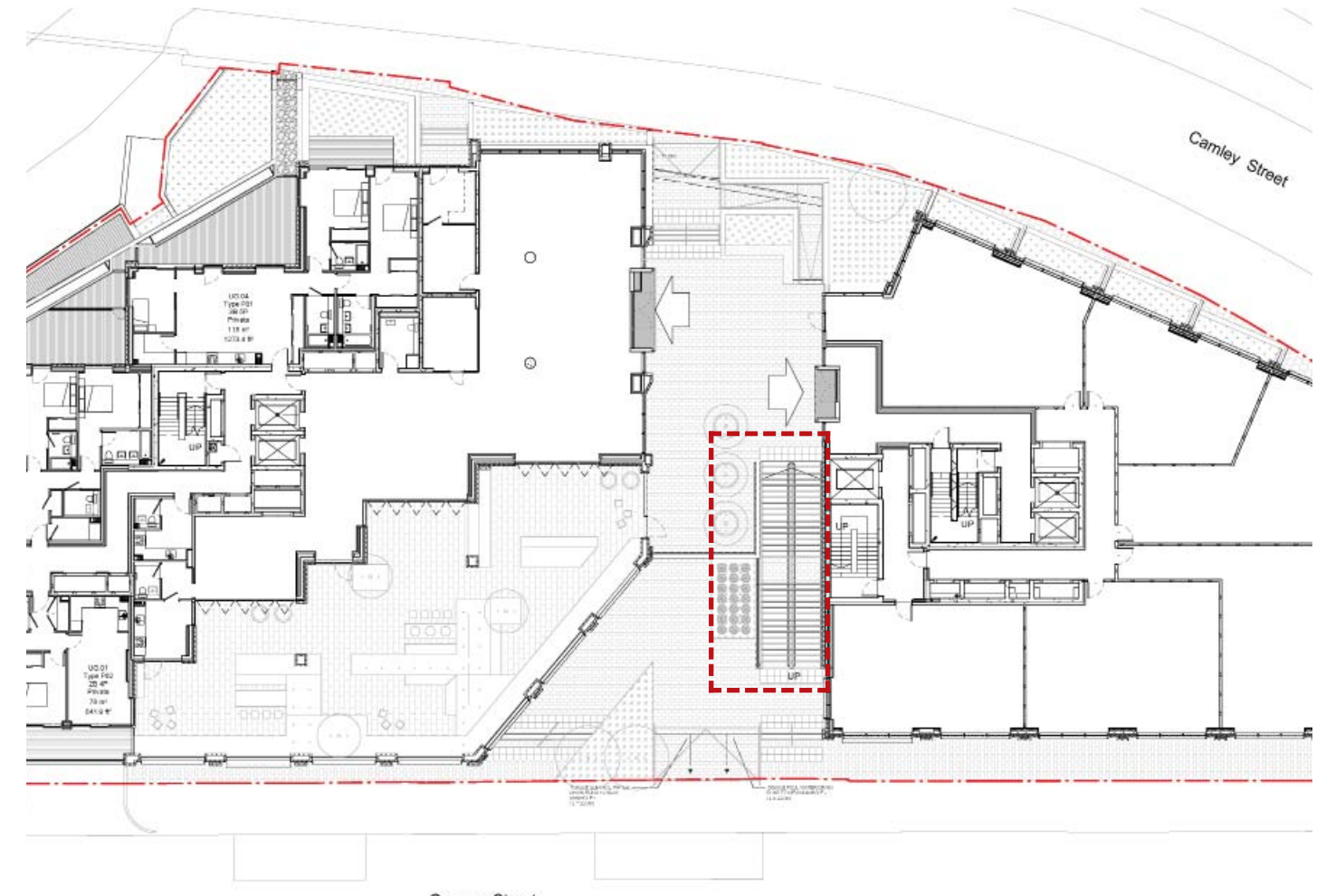


Scheme Submitted as part of Minor Material Amendment Application. Scale 1:400 at A3.

The revised staircase design has increased the width of the flights increased the permeability between Camley Street and Granary Street. The seating steps have been removed due to concerns over their suitability for rough sleeping, the stairs have also been realigned to remove the taper which also improves the buildability and simplifies the structural solution.

Technical Reasons for Change

- To improve permeability of the scheme.
- To prevent rough sleeping.
- To improve structural practicalities.



Proposed Scheme at End of Stage 04. Scale 1:400 at A3.

--- Outline of Affected Area