

# 39 Sarre Road



Design and Access Statement

19th July 2018  
0101\_A\_500 Rev A

Mario Pilla Architects



## Introduction

This report has been produced by Mario Pilla Architects on behalf of our clients Mrs Allison Bright & Mr Patrick Bright. The report aims to describe the scheme for the proposed rear extension to 39 Sarre Road London NW2 3SN, supporting the planning application drawings being submitted to the local planning authority.

### Site:

39 Sarre Road  
London  
NW2 3SN

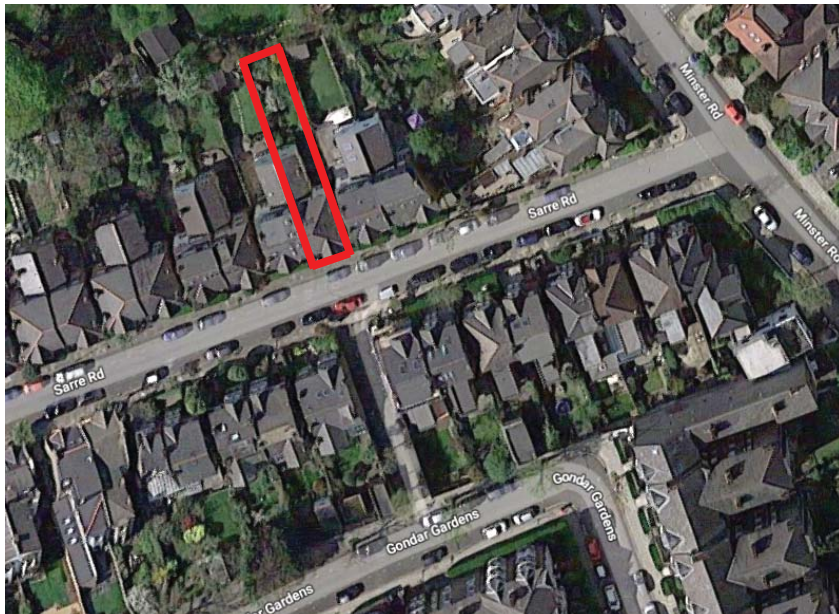
### Architects

Mario Pilla Architects  
50 Tollington Park  
London  
N4 3QY  
T: 0207 686 4864  
M: 07932 181212  
E: info@mariopillaarchitects.com

## Analysis of Building and Context:

### Location

No. 39 Sarre Road is a typical two-storey Edwardian semi detached property situated within the London borough of Camden. The property sits on the North side of the road with a small garden to the front and a larger garden to the rear.



Aerial view from above



Aerial view of the rear

## Building Condition & Site Photographs

No. 39 Sarre Road is an Edwardian semi-detached property, comprising of 2 storeys of accommodation + a loft addition. Typical of many houses of this period, with the front and rear constructed in brickwork. The fenestration comprises of the original timber sliding sash windows to the front and rear. The property is broadly in its original layout and form and has not been extended materially to the rear in the past save for a small utility room.



Front of the property



Rear of the property



## **Introduction**

This statement accompanies the application for planning permission for a rear single storey extension.

## **Location and context.**

39 Sarre Road is an existing two-storey + loft, semi-detached residential property located within the London borough of Camden.

The site is not within a conservation area and the existing building is not listed.

The main access to the property is from Sarre Road

## **Planning history.**

The property has no recent applicable planning history, as a single residential dwelling.

Historic planning ref: 16250 from 1973 & planning ref: 15328 from 1972, are no longer relevant as these dealt with exploration of converting the property into multiple residential units.

## **Description of proposal**

The appearance of the front of the property will not be changed, the proposed rear extension will not be visible from any public highway.

Our aim is to open the house towards the garden. The extension is designed as a contemporary addition and is clearly readable as such. The proposed new extension enhances the line between old and new and makes it clearly distinguishable.

The proposal is for a single storey side extension to existing closet wing, approx. 3m wide. The proposed extension for its bulk and scale will be subservient to the original building and proportionate in terms of size and scale, and provides approx. 17sqm GEA. additional floor area to the ground floor,

The internal layout of the property remains broadly unchanged, with the extension providing an appropriately scaled kitchen / dining room to the rear of the property (expected of a property of this size) and an additional WC serving the ground floor.

## **Materials and proposed finishes**

The concept envisages the use of traditional materials combined with carefully introduced modern elements.

The proposed walls of the extension will be executed in London stock brick to tie in with the rear walls of the original parts of the building.

All external alterations to the existing house which might be necessary will be executed in reclaimed brick to blend in with the historic fabric. The scheme has been carefully designed to tie in with the existing structure in order not to overpower the existing house and also to entirely connect with the garden

## **Access and Parking.**

Access to the house and parking provisions do not change and will not be affected by the proposal.

## **Daylight and sunlight.**

The proposed extension sits to the rear and side of the 39 Sarre Rd, and faces south west, and therefore sits within the solar shadow of the neighbour No.37. The scale and volume has been carefully considered to minimize its impact to its environment.

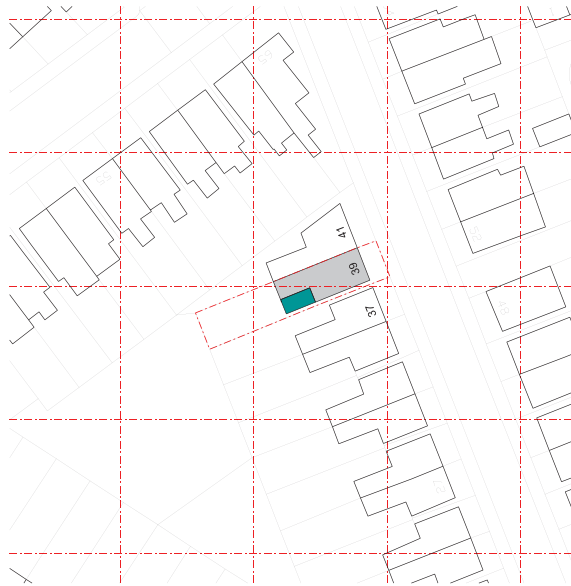
## **Structural Survey**

No structural survey has been prepared as the proposal does not involve substantial demolition.

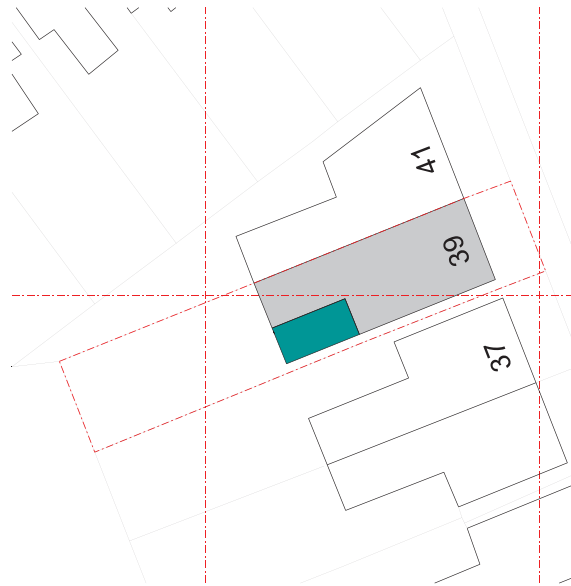
## **Trees/Landscaping**

No trees of significance protected / TPO's in either to the front or to the back of the building are affected by the proposal.

The proposed scheme does not make any material changes to the rear garden save for the provision of a paved area to the rear of the proposed extension to provide an external patio area; boundary treatments beyond the extension are proposed as new replacement high quality contemporary timber fences



01 Location Plan



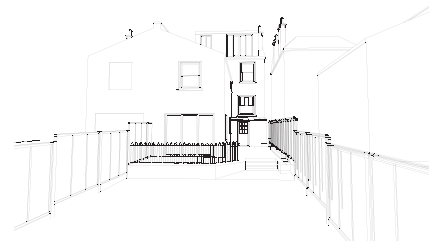
02 Block Plan



03 Existing front Elevation



04 Existing Rear Elevation



05 REAR VIEW 3D SURVEY



06 VIEW ALONG SARRE ROAD



VIEW ALONG SARRE ROAD



07 SITE PHOTOGRAPHS

© COPYRIGHT

The copyright in this drawing is vested in Mario Pilla Architects and no license or assignment of any kind has been or is granted to any third party whether by implication or otherwise of the drawings or otherwise unless otherwise agreed in writing.

DO NOT SCALE FROM THIS DRAWING

The contractor shall check and verify all dimensions on site and report any discrepancies in writing to Mario Pilla Architects before proceeding with work.

FOR ELECTRONIC DATA ISSUE

Electronic data / drawings are based on "best only" and should not be interpreted for precision or accuracy. All dimensions and levels should be read, only from those values stated on the drawings.

AREA MEASUREMENT

The areas are approximate and can only be verified by a detailed dimensional survey of the completed building. Any decisions to be made on the basis of these measurements, whether as to pricing, liability, completion, lease agreements or for any other purpose, shall be the responsibility of the client and not Mario Pilla Architects. Mario Pilla Architects shall not be responsible for any errors or omissions in the design, development and building processes. Please refer to the body areas of the building at the current date of the design and only the Gross Internal Area (GIA), Gross External Area (GEA), Net Internal Area (NIA), method of measurement from the Code of Measuring Practice, 2nd Edition (RICS Code of Practice), all areas are subject to Visual Planning and Conservation Area Consent, and detailed Figure to Light analysis.

AREA OF EXISTING GROUND FLOOR FOOTPRINT

AREA OF PROPOSED GROUND FLOOR EXTENSION

REV	A	18/07/18	ISSUED FOR PLANNING REVIEW JULY 18
REV	B	23/08/18	ISSUED FOR PLANNING
REV		DATE	AMENDMENT

KEY PLAN

N

TITLE

39 SARRE ROAD  
LONDON  
NW2 3SN

CLIENT

Mrs Allison Bright  
Mr Patrick Bright  
39 Sarre Road  
London  
NW2 3SN

Mario Pilla Architects

ARCHITECTURE INTERIORS PLANNING EXTERIORS

LOCATION: 50 TOLLINGTON PARK - ISLINGTON - LONDON - N4 3DY  
PHONE: +44 (0) 20 7886 4864 FAX: +44 (0) 20 7886 4864  
WEBSITE: www.mariopillaarchitects.com EMAIL: info@mariopillaarchitects.com

DRAWING

LOCATION PLAN, BLOCK PLAN,  
EXISTING PHOTOGRAPHS +  
REAR/FRONT ELEVATIONS

SCALE @ A1	DATE	OPERATOR	CHECKED	AUTHORIZED
VAR	18.04.18	MPA	MPA	

STATUS

ISSUED FOR PLANNING

DRAWING NO.	REV
0101 - A - 005	A

## NOTES:

- 01 Redclaimed London stock bricks to new walls
- 02 New landscaped steps down to existing garden
- 03 Metal orbital type DG doors PPC dark grey
- 05 External planter and seat integrated into landscaping to the rear
- 06 Glass Rooflight above to flat roof Proposed as extensive green roof / living roof
- 07 Existing rear elevation brickwork is overpainted
- 08 No changes to the front elevation
- 09
- 10 Existing patio / steps down to garden

AREA OF DEMOLITION

REV	DATE	AMENDMENT
REV A	18/07/18	ISSUED FOR PLANNING REVIEW JULY 18
REV B	23/07/18	ISSUED FOR PLANNING
REV	DATE	AMENDMENT

## KEY PLAN



## TITLE

39 SARRE ROAD  
LONDON  
NW2 3SN

## CLIENT

Mrs Allison Bright  
Mr Patrick Bright  
39 Sarre Road  
London  
NW2 3SN

**Mario Pilla Architects**

ARCHITECTURE SCENERY PLANNING INTERIORS

LOCATION: 50 TOLLINGTON PARK - ISLINGTON - LONDON - N4 3DY  
PHONE: +44 (0) 20 7686 4864 FAX: +44 (0) 20 7686 4864  
WEBSITE: www.mariopillaarchitects.com EMAIL: info@mariopillaarchitects.com

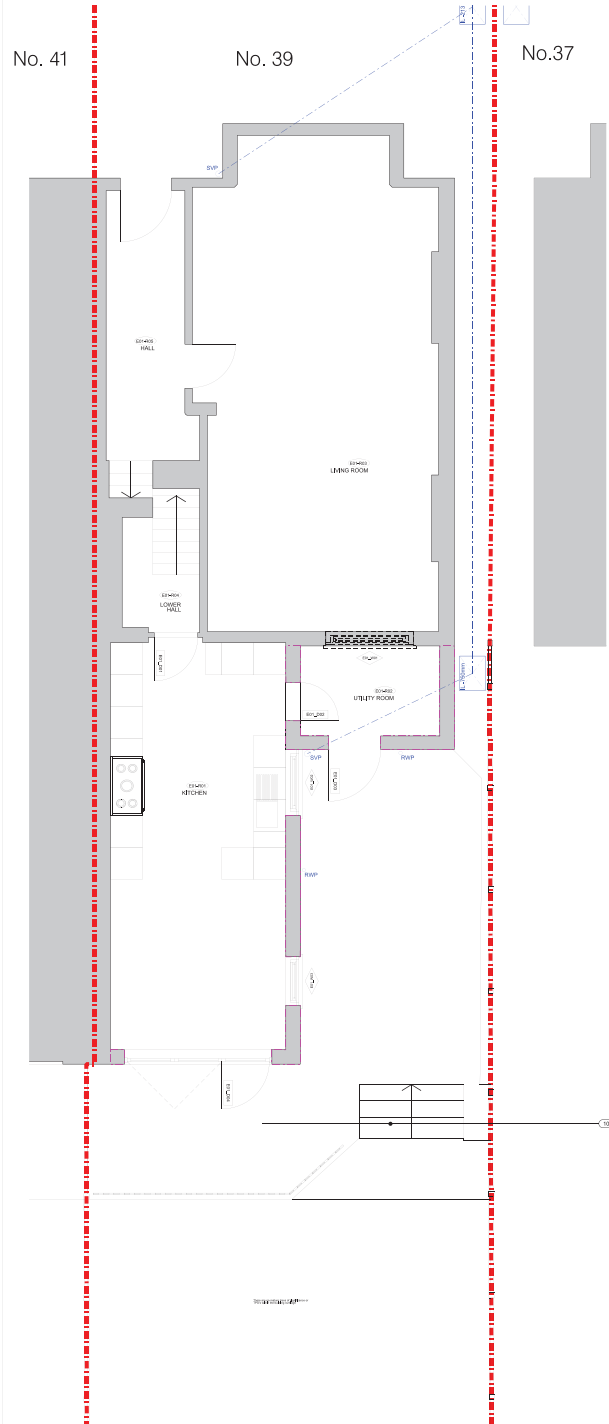
## DRAWING

SURVEY  
GROUND FLOOR  
FIRST FLOOR &  
ROOF PLAN

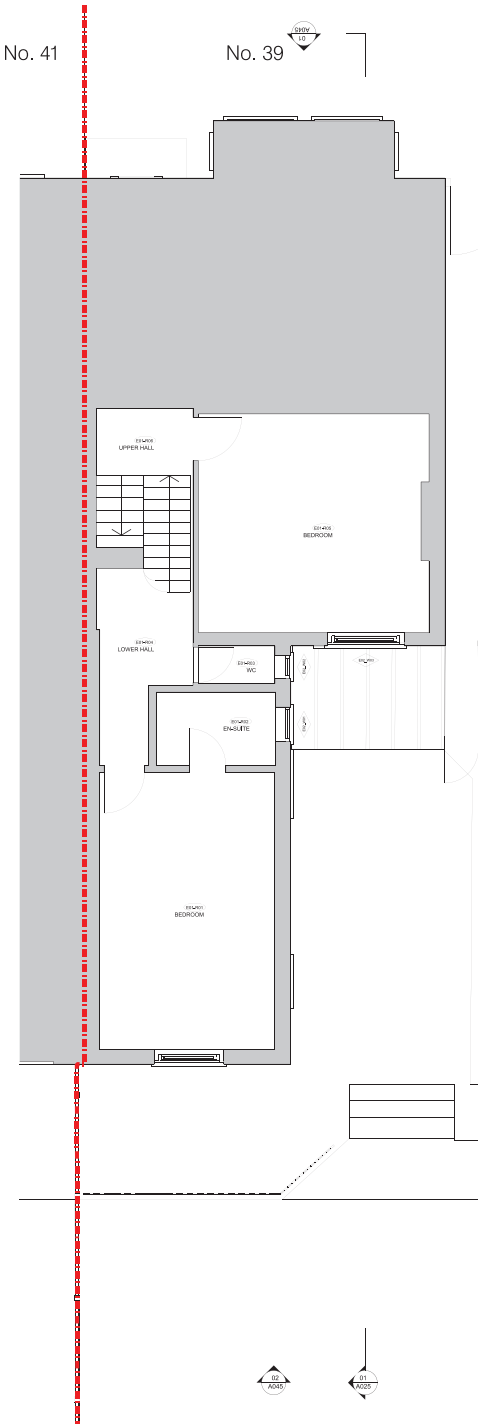
SCALE @ A1 DATE OPERATOR CHECKED AUTHORIZED  
1:50 18.04.18 MPA MPA

STATUS  
ISSUED FOR PLANNING

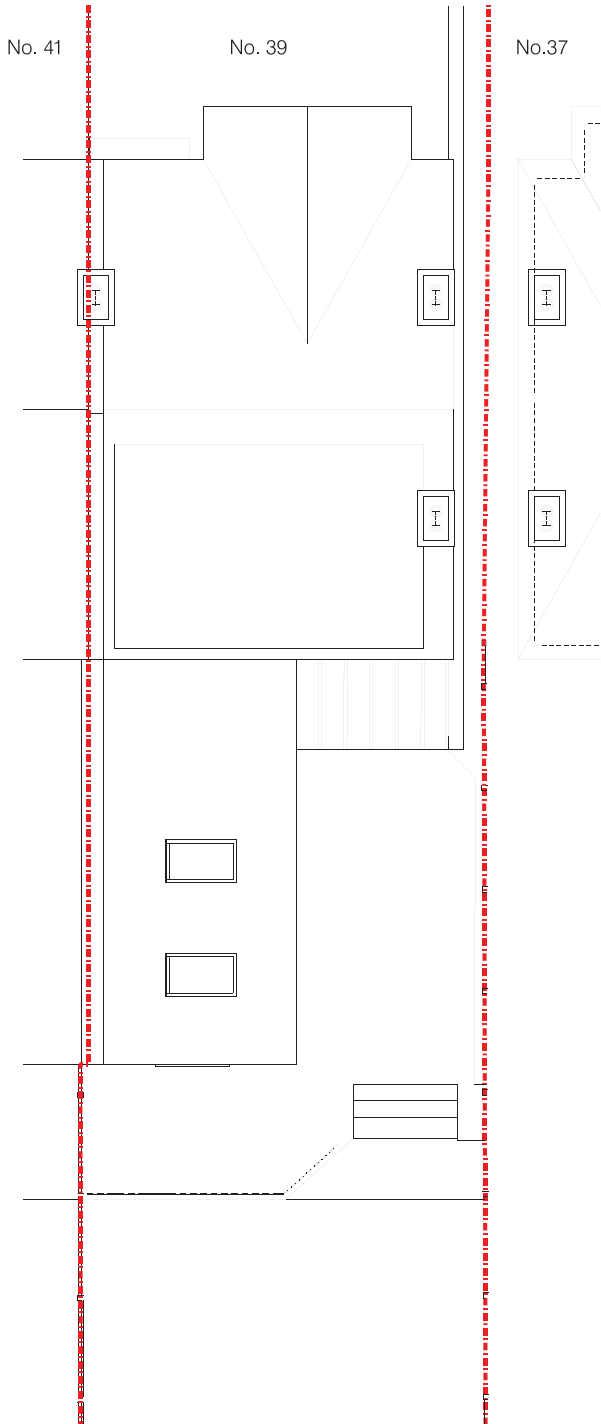
DRAWING NO. 0101 - A - 010 A



01 Ground Floor Plan Survey

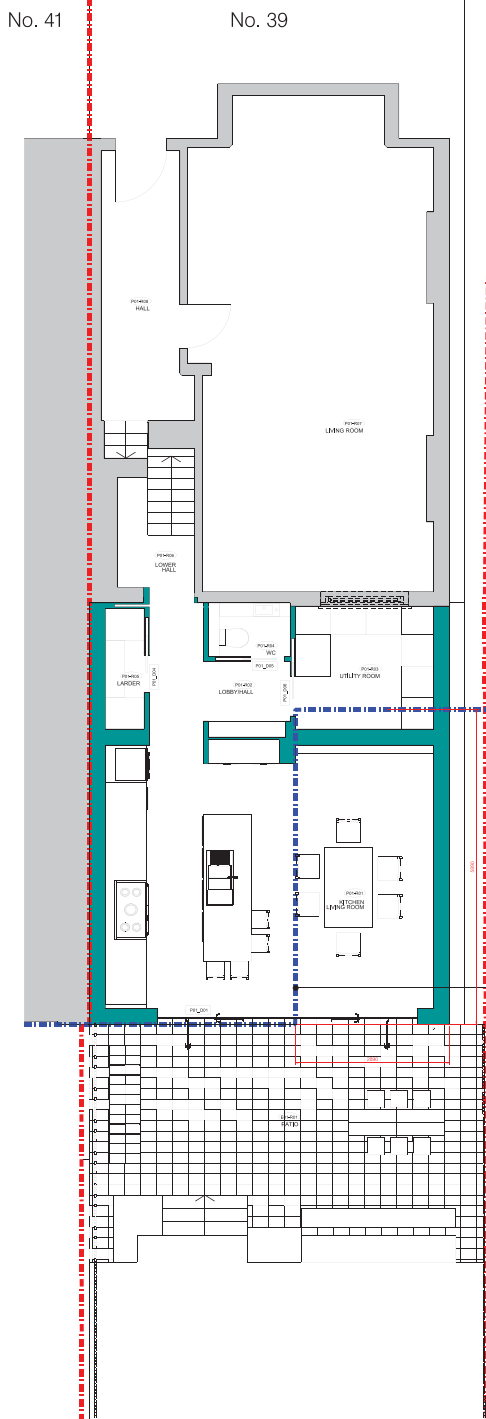


02 First Floor Plan Survey

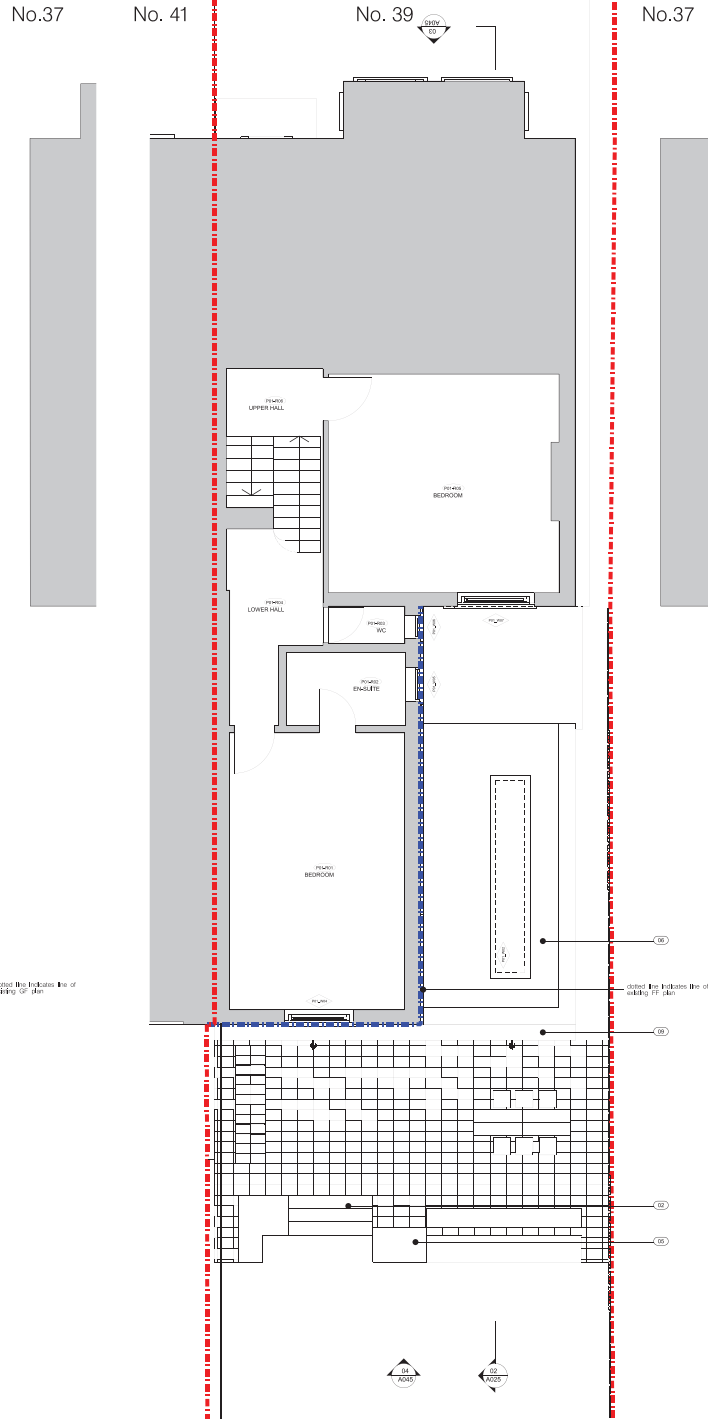


03 Roof Plan Survey

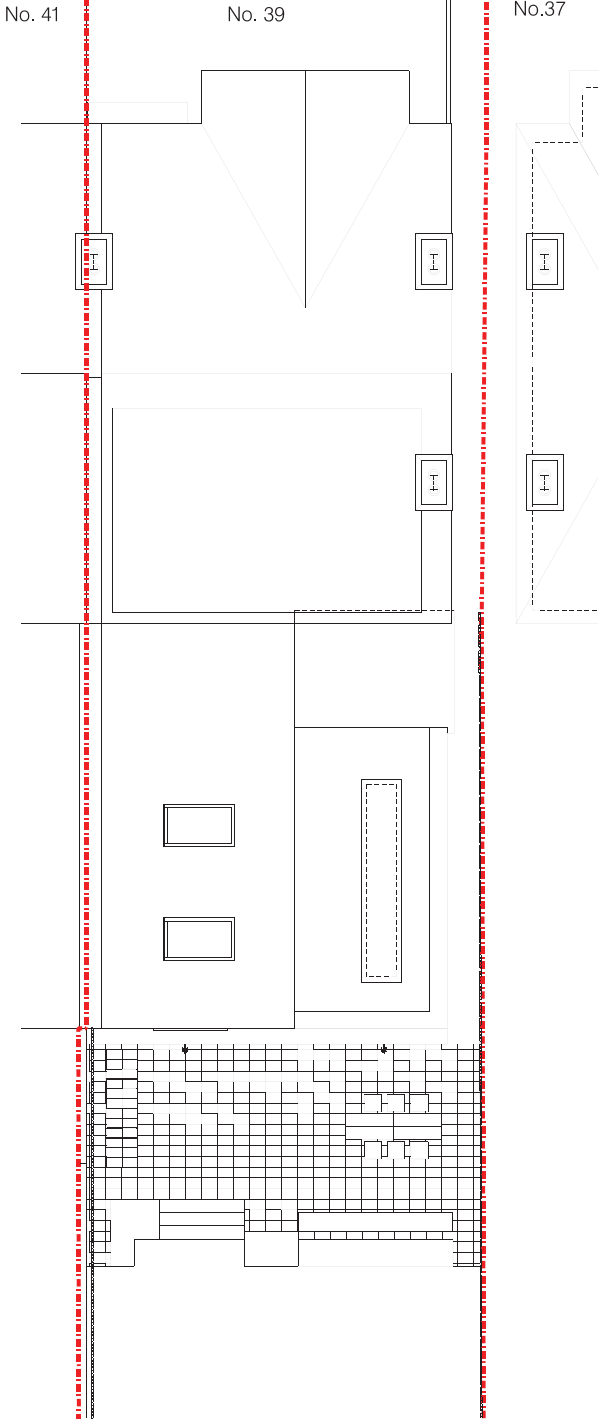
0.1m 0.2m 0.3m 0.4m 0.5m 0.6m 0.7m 0.8m 0.9m 1.0m @ 1:50



01 Ground floor plan proposed



02 First floor plan proposed



03 Roof/Loft floor plan proposed

© COPYRIGHT  
The copyright in this drawing is vested in Mario Pilla Architects and no license or assignment of any kind has been or is granted to any third party whether by implication or otherwise of the drawings or otherwise unless otherwise agreed in writing.

DO NOT SCALE FROM THIS DRAWING  
The contractor shall check and verify all dimensions on site and report any discrepancies in writing to Mario Pilla Architects before proceeding with work.

FOR ELECTRONIC DATA ISSUE  
Electronic data / drawings are based on "best only" and should not be interpreted for measurement of dimensions and levels should be read, only from those values stated on drawings.

AREA MEASUREMENT  
The areas are approximate and can only be verified by a detailed dimensional survey of the completed building. Any deviation to be made on the basis of those provided, whether as to rooms, floors, ceilings, base, eaves, etc. or the floor, should be made for the purpose of the building process. Please note to the likely areas of the building at the current state of the design and only the Gross Internal Area (GIA), Gross Internal Area (GIA), Net Internal Area (NIA), and Net Internal Area (NIA) are subject to the Code of Measuring Practice, 2nd Edition (RICS Code of Practice). All areas are subject to the Code of Measuring Practice, 2nd Edition (RICS Code of Practice), and detailed figures to light analysis.

NOTES:  
01 Redclaimed London stock bricks to new walls  
02 New landscaped steps down to existing garden  
03 Metal orbital type DG doors PPC dark grey  
04 External planter and seat integrated into landscaping to the rear  
05 Glass rooflight above to flat roof  
06 Proposed as extensive green roof / living roof  
07 Existing rear elevation brickwork is overpainted  
08 No changes to the front elevation  
09  
10 Existing patio / steps down to garden

REV	DATE	AMENDMENT
REV A	18/04/18	ISSUED FOR PLANNING REVIEW AND IF ISSUED FOR PLANNING

KEY PLAN

TITLE  
39 SARRE ROAD  
LONDON  
NW2 3SN

CLIENT  
Mrs Allison Bright  
Mr Patrick Bright  
39 Sarre Road  
London  
NW2 3SN

Mario Pilla Architects

ARCHITECTURE SCENERY PLANNING INTERIORS

LOCATION: 50 TOLLINGTON PARK - ISLINGTON - LONDON - N4 3DY  
PHONE: +44 (0) 20 7896 4864 FAX: +44 (0) 20 7896 4864  
WEBSITE: www.mariopillaarchitects.com EMAIL: info@mariopillaarchitects.com

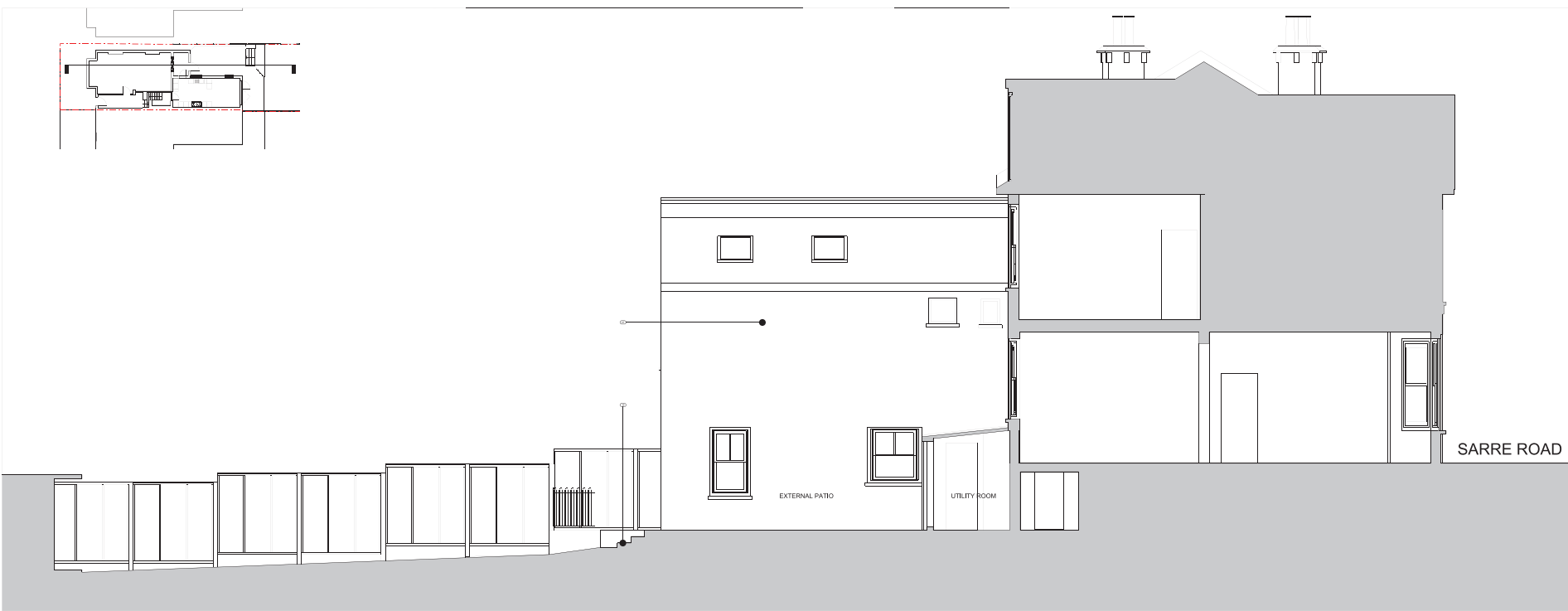
DRAWING  
PROPOSED  
GROUND FLOOR  
FIRST FLOOR &  
LOFT PLAN

SCALE @ A1	DATE	OPERATION	CHECKED	AUTHORISED
1:50	18.04.18	MPA	MPA	

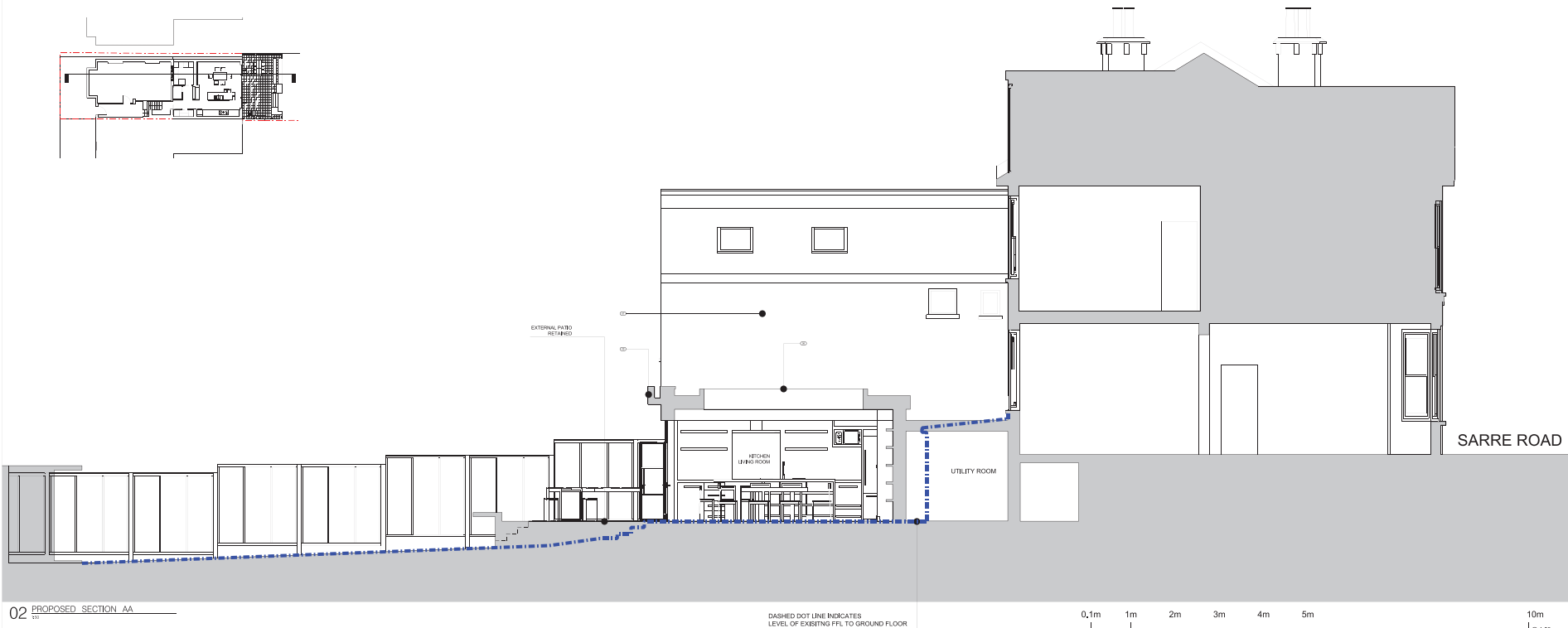
STATUS  
ISSUED FOR PLANNING

DRAWING NO.	REV
0101 - A	- 020

A



01 SURVEY SECTION AA



02 PROPOSED SECTION AA

© COPYRIGHT  
The copyright in this drawing is vested in Mario Pilla Architects and no license or assignment of any kind has been or is granted to any third party whether by provision of copies or otherwise of the drawings or otherwise unless otherwise agreed in writing.

DO NOT SCALE FROM THIS DRAWING  
The contractor shall check and verify all dimensions on site and report any discrepancies in writing to Mario Pilla Architects before proceeding with work.

FOR ELECTRONIC DATA ISSUE  
Electronic data / drawings are based on "best only" and should not be interpreted for project use as they are not to be used for any other purpose without the prior written consent of Mario Pilla Architects. The contractor shall verify all dimensions on site and report any discrepancies in writing to Mario Pilla Architects before proceeding with work.

AREA MEASUREMENT  
The areas are approximate and can only be verified by a detailed dimensional survey of the completed building. Any deviation to be made on the basis of these measurements, whether as to increase, reduce, or otherwise, shall be the responsibility of the contractor and building processes. Please refer to the 'BIM' area of the building at the current state of the design and refer to the 'BIM' area of the building at the current state of the design.

2018 Edition (BIM) Code of Practice. All areas are subject to 'BIM' Planning and Conservation Area Consent, and detailed figures to 'BIM' analysis.

- NOTES:
- 01 Redclaimed London stock bricks to new walls
  - 02 New landscaped steps down to existing garden
  - 03 Metal orbital type DG doors PPC dark grey
  - 04 External planter and seat integrated into landscaping to the rear
  - 05 Glass rooflight above to flat roof
  - 06 Proposed as extensive green roof / living roof
  - 07 Existing rear elevation brickwork is overpainted
  - 08 No changes to the front elevation
  - 09 Awning to provide shade to the rear elevation integrated into rear box gutter
  - 10 Existing patio / steps down to garden

REV	DATE	AMENDMENT
REV A	18/07/18	ISSUED FOR PLANNING REDWED JULY 18
REV B	18/08/18	ISSUED FOR PLANNING

KEY PLAN

TITLE  
39 SARRE ROAD  
LONDON  
NW2 3SN

CLIENT  
Mrs Allison Bright  
Mr Patrick Bright  
39 Sarre Road  
London  
NW2 3SN

Mario Pilla Architects

ARCHITECTURE  
LOCATION: 50 TOLLINGTON PARK - ISLINGTON - LONDON - N4 3DQ  
PHONE: +44 20 7896 4864 FAX: +44 20 7896 4864  
WEBSITE: www.mariopillaarchitects.com Email: info@mariopillaarchitects.com

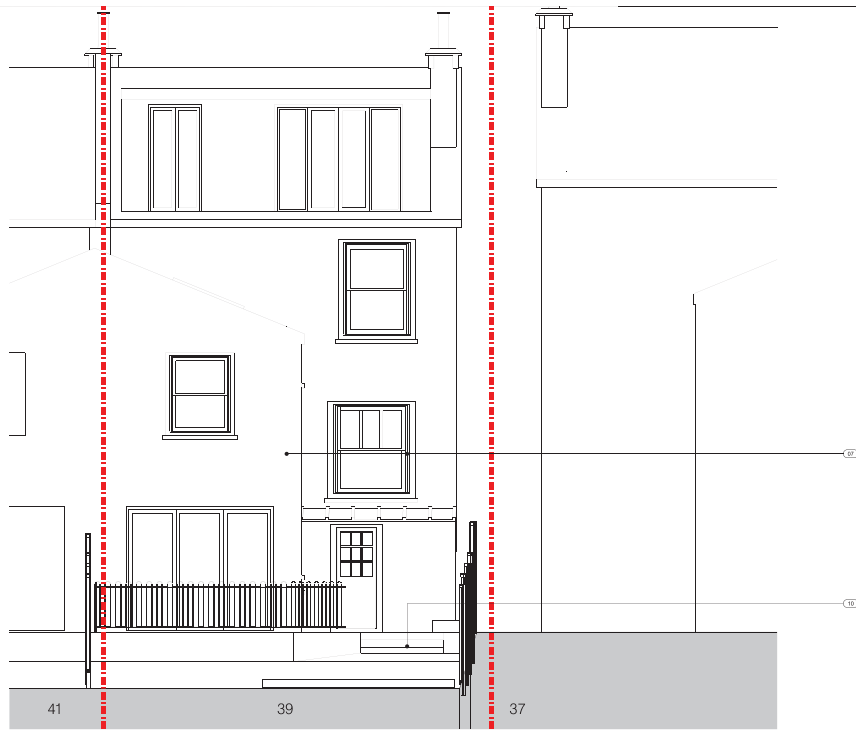
DRAWING  
SURVEY & PROPOSED  
SECTIONS AA

SCALE @ A1 DATE 18.04.18 OPERATOR MP/MPA CHECKED MP/MPA

STATUS  
ISSUED FOR PLANNING

DRAWING NO. 0101 - A - 025  
REV A





02 SURVEY REAR ELEVATION  
150



01 SURVEY FRONT ELEVATION  
150



04 PROPOSED REAR ELEVATION  
150



03 PROPOSED FRONT ELEVATION  
150



© COPYRIGHT  
The copyright in this drawing is vested in Mario Pilla Architects and no license or assignment of any kind has been or is granted to any third party whether by implication or otherwise of the drawings or otherwise unless otherwise agreed in writing.

DO NOT SCALE FROM THIS DRAWING  
The contractor shall check and verify all dimensions on site and report any discrepancies in writing to Mario Pilla Architects before proceeding with work.

FOR ELECTRONIC DATA ISSUE  
Electronic data / drawings are based on "best only" and should not be interpreted for measurement and dimensions and levels should be read, only from those values stated on drawings.

AREA MEASUREMENT  
The areas are approximate and can only be verified by a detailed dimensional survey of the completed building. Any deviation to be made on the basis of these provisions, whether as to increase, reduce, or otherwise, shall be the responsibility of the contractor and building processes. Please refer to the body areas of the building at the current state of the design and using the Gross Internal Area (GIA), Gross External Area (GEA), and Net Internal Area (NIA) method of measurement from the Code of Measuring Practice, 2nd Edition (RICS Code of Practice). All areas are subject to Town Planning and Conservation Area Consent, and detailed figures to light analysis.

- NOTES:
- 01 Redclaimed London stock bricks to new walls
  - 02 New landscaped steps down to existing garden
  - 03 Metal critical type DG doors PPC dark grey
  - 05 External planter and seat integrated into landscaping to the rear
  - 06 Glass footlight above to flat roof  
Proposed as extensive green roof / living roof
  - 07 Existing rear elevation brickwork is overpainted
  - 08 No changes to the front elevation
  - 09 Awning to provide shade to the rear elevation  
Integrated into rear box gutter
  - 10 Existing patio / steps down to garden

REV	DATE	AMENDMENT
REV A	15/07/20	ISSUED FOR PLANNING REVIEW JULY 19
REV	DATE	AMENDMENT

TITLE
39 SARRE ROAD LONDON NW2 3SN

CLIENT
Mrs Allison Bright Mr Patrick Bright 39 Sarre Road London NW2 3SN

The logo for Mario Pilla Architects features the company name in a large, bold, blue sans-serif font. To the right of the name is a large, stylized graphic element consisting of several overlapping, curved, light blue shapes that resemble a modern architectural structure or a series of flowing lines. Below the main title, there is a horizontal line, and then four service categories are listed in a smaller, blue, all-caps sans-serif font: ARCHITECTURE, DESIGNERS, PLANNING, and INTERIORS. At the bottom of the page, contact information is provided in a small, blue, all-caps sans-serif font, including the location (50 TOLLINGTON PARK, ISLINGTON, LONDON, N4 3QY), phone number (+44 20 7896 4864), fax number (+44 20 7896 4864), and website (www.mariopillaarchitects.com), with an email address (info@mariopillaarchitects.com) also included.

# Mario Pilla Architects

---

ARCHITECTURE      DESIGNERS      PLANNING      INTERIORS

LOCATION: 50 TOLLINGTON PARK - ISLINGTON, LONDON - N4 3QY  
PHONE: +44 20 7896 4864      FAX: +44 20 7896 4864  
WEBSITE: [www.mariopillaarchitects.com](http://www.mariopillaarchitects.com) Email: [info@mariopillaarchitects.com](mailto:info@mariopillaarchitects.com)

DRAWING
SURVEY & PROPOSED FRONT AND REAR ELEVATIONS
SCALE @ A1 DATE OPERATOR CHECKED AUTHORIZED
1:50 18.04.18 MP/PA/PA MP/PA/PA
STATUS
ISSUED FOR PLANNING
DRAWING NO. REV
0101 - A - 045 A