

DATED

6 JULY

2018

(1) PLUMBING PENSIONS (U.K.) LIMITED

and

(2) THE MAYOR AND BURGESSES OF THE LONDON BOROUGH OF CAMDEN

**OVERHANG LICENCE**  
relating to land known as

**44-46 Whitfield Street**  
**London**  
**W1T 2RJ**

pursuant to Section 177 of the Highways Act 1980

Andrew Maughan  
Borough Solicitor  
London Borough of Camden  
Town Hall, Judd Street  
London WC1H 9LP

Tel: 020 7974 2463  
Fax: 020 7974 2963

CLS/PK/1641.40 (final)

THIS AGREEMENT is made the 6<sup>th</sup> day of July 2018

**BETWEEN:**

1. **PLUMBING PENSIONS (U.K.) LIMITED** (registered under company number SC056632) whose registered office is at Bellevue House, 22 Hopetoun Street, Edinburgh, Midlothian, EH7 4GH (hereinafter called "the Licensee") of the first part
2. **THE MAYOR AND BURGESSES OF THE LONDON BOROUGH OF CAMDEN** of Town Hall, Judd Street, London WC1H 9LP (hereinafter called "the Council") of the second part

**1. WHEREAS**

- 1.1 The Council is the highway authority for the area in which the Highway is situated in the London Borough of Camden.
- 1.2 The Licensee is the owner of the freehold interest in the Building as registered with the Land Registry under title number NGL238711.
- 1.3 The Licensee has constructed the Structures so that the Structures overhang part of the Highway and is positioned over the Highway as shown on the Drawings and for this reason the Licensee has applied to the Council for an overhang licence under Section 177 of the Highways Act 1980 for the Structures.
- 1.4 The Council being satisfied that this Licence is necessary for the Works consents to the Works to the Building over the Highway subject to the terms, conditions and provisions contained herein.

**2. DEFINITIONS**

In this Agreement the following expressions (arranged in alphabetical order) shall unless the context otherwise requires have the following meanings:-

- 2.1 "the 1980 Act" the Highways Act 1980

2.2	"Annex 1"	the annex to this Licence as marked "Annex 1"
2.3	"Annex 2"	the annex to this Licence as marked "Annex 2"
2.4	"Annex 3"	the annex to this Licence as marked "Annex 3"
2.5	"the Building"	the building (including the Structures) shown on the Drawings constructed at the Property in accordance with the Planning Permission
2.6	"the Chief Engineer"	the officer holding that position within the Council's Environment and Transport Department from time to time whose address is the 4 <sup>th</sup> Floor, 5 Pancras Square, London N1C 4AG
2.7	"the Design and Check Certificate"	the design certificate at Annex 1 hereof
2.8	"the Drawings"	the drawings at Annex 2 hereof
2.9	"the Highway"	those parts of the highway (including the footway) known as Whitfield Street as shown on the Drawings
2.10	"this Licence"	this licence
2.11	"Necessary Consents"	all consents, licences, permissions, certificates, authorisations and approvals which are required for the construction, use, maintenance and/or repair of the Building
2.12	"the Parties"	the Council and the Licensee

- 2.13 "the Planning Permission" the planning permission granted by the Council on 23 July 2014 having reference number 2014/3138/P
- 2.14 "the Property" the property known as 44-46 Whitfield Street, London, W1T 2RJ shown edged red at Annex 3 hereto
- 2.15 "the Specification" the specification and standards in the Design Certificate and the Design Check Certificate
- 2.16 "the Structures" the structures together being the oxide coloured metal entrance canopy and glass bay windows at the first, second, third and fourth floors of the Building overhanging the Highway the same as shown the Drawings
- 2.17 "the Works" the works carried out to the Building as approved under the Planning Permission for the provision of the Structures

### 3. NOW THEREFORE

- 3.1 In consideration of the performance and observance by the Licensee of the terms, conditions and provisions of this Licence the Council under Section 177 of the Highways Act 1980 hereby grants to the Licensee a Licence to construct and retain the Structures over the Highway[s].
- 3.2 The expression "the Council" shall include their respective successors in title and assignees and "the Licensee" shall include its successors in title and those deriving title from it and its or their tenants and licensees.
- 3.3 Words importing the singular person only shall include the plural and vice versa and words importing a particular gender shall include masculine feminine and neuter.

- 3.4 References in this Licence to any clause or sub-clause or annex or schedule without further designation shall be a reference to the clause or sub-clause or annex or schedule to this Licence so numbered.

#### 4. THE LICENSEE'S OBLIGATIONS

The Licensee covenants with the Council as follows:-

- 4.1 To construct the Structures to the satisfaction of the Council in accordance with the Drawings and for the avoidance of doubt so that:

4.1.1 no part of the underside of the oxide coloured metal entrance canopy shall be less than 2.601 metres above any part of the footway (being part of the Highway) and the outermost edge of the canopy nearest the carriageway shall be not less than 2.15 metres (measured horizontally) from the edge of the nearest carriageway kerb of the Highway;

4.1.2 *no part of the underside of the glass bay windows* at each of the second, third and fourth floors to be less than 6.43 metres above any part of the footway (being part of the Highway) and the outermost edge of the bay windows nearest the carriageway shall be not less than 1.79 metres from the edge of nearest carriageway kerb

and constructed in accordance with a method statement approved by the Chief Engineer.

- 4.2 To construct the Structures to the satisfaction of the Council in accordance with the Specification.

- 4.3 To maintain the Structures thereafter to the satisfaction of the Council (such maintenance to include inspection of the Structures by the Owner not less than once per calendar year by one or more appropriately qualified professional persons to ensure compliance with such requirement) in such a manner and with such materials to ensure that the Structures:-

- (i) do not cause any detriment to the safety of users of the Highway or interference with the use of the Highway by members of the public or by statutory undertakers;
- (ii) can be inspected maintained and cleaned without undue interference with the safe and normal flow of pedestrian and vehicular traffic on the Highway; and
- (iii) are adequately drained to the reasonable satisfaction of the Chief Engineer.

4.4 Before commencing any works for the external maintenance (except external window and façade cleaning) or repair of the Structures or any adjoining part of the Building to give (except in the case of emergency) not less than 28 (twenty-eight) days' notice in writing to the Chief Engineer describing the said works and the method by which it is proposed to execute the said works and to comply with the requirements of the Chief Engineer in relation thereto and to the supervision thereof and to carry out such works in strict accordance with any such requirements of the Chief Engineer entirely at the expense of the Licensee.

4.5 While executing the Works and any maintenance or repair works to the Structures to cause the footway beneath such Works and any maintenance or repair works to be properly fenced and guarded together with a temporary roof if required and proper lighting during the hours of darkness.

4.6 To make good within 5 (five) days or such timescale as the Chief Engineer considers reasonable any damage to the Highway caused by or resulting from the Works or other works to or construction of or maintenance of the Structures to the satisfaction of the Chief Engineer at the Licensee's expense.

## 5. INDEMNITY

From the date the Structures first overhung the Highway the Licensee fully indemnifies and shall keep fully indemnified the Council against all liabilities, costs, expenses, damages, losses and claims (including but not limited to any direct, indirect or consequential losses and all interest, penalties and legal costs (calculated on a full indemnity basis) and all other professional costs and expenses) whatsoever for injuries and/or damages to any person or persons which may arise out of or in

consequence of any negligent act or omission or in consequence of the existence, transportation, construction, maintenance or dismantling of the Structures or anything in consequence out of the operation of this Licence.

**6. INSURANCE**

At all times while the Structures (or any part thereof) are in place at the Building (from the date of this Licence) the Licensee shall maintain (in the Owner's own name) fully comprehensive public liability insurance for a sum not less than £2,000,000 (two million pounds in respect of any single claim the number of claims being unlimited to cover claims for injury, to or death of any person or loss or damage to any real or personal property arising out of the use, maintenance or repair of the Structures and the relevant insurance policy shall be kept available by the Licensee at all times to allow the Council to inspect such policy forthwith on written request.

**7. NECESSARY CONSENTS**

Prior to the commencement of the Works the Licensee shall obtain all Necessary Consents and upon request to do so from the Chief Engineer deliver certified copies of such to the Chief Engineer (but acknowledging that this clause shall not apply to this Licence which has been entered into after the commencement of the Works).

**8. ACCESS TO THE BUILDING**

- 8.1 The Licensee shall on prior written notice give to the Chief Engineer (and any other person or persons authorised by the Chief Engineer) access to the Building and or Works for the purpose of inspecting the Works or Building to ensure compliance with this Licence and the safety and convenience of persons or traffic using the Highway.
- 8.2 Following any inspection pursuant to clause 8.1 hereof the Licensee shall give effect to any requirements of the Chief Engineer within a timeframe specified by the Chief Engineer.

**9. MISCELLANEOUS**

- 9.1 In the event of any breach by the Licensee of the terms of this Licence the Council may by notice require the breach to be remedied within 28 days of service of such notice by the Council and if the Licensee has not within such period remedy the breach then the Council may take such steps as the Chief Engineer shall consider necessary to remedy the breach and the cost thereof shall be a debt due from the Licensee to the Council and forthwith recoverable by action.
- 9.2 The Licensee shall pay the Council's reasonable costs in connection with the preparation and issue of this Licence and shall pay any reasonable and proper costs of the Chief Engineer of carrying out supervision responsibilities arising from this Licence.
- 9.3 Nothing in this Licence shall be construed as consent to oversail any other property other than those parts of the Highway shown on the Drawings.
- 9.4 This Licence shall enure for the benefit of the Licensee, its successors in title and any assignees from it, all tenants, sub-tenants or others deriving title from the Licensee and all those properly authorised by it and this Licensee and any person to whom this Licence is assigned may assign the benefit of this Licence to its successor in title without any requirement for the consent of the Council.

**10. GOVERNING LAW**

This Licence and any dispute or claim arising out of or in connection with it or its subject matter or formation shall be governed by and construed in accordance with the law of England and Wales.

**IN WITNESS** whereof the Council has caused its Common Seal to be hereunto affixed and the Licensee has executed this instrument as their Deed the day and year first before written



EXECUTED AS A DEED BY )  
PLUMBING PENSIONS (U.K.) LIMITED )  
acting by its attorney DTZ INVESTMENT )  
MANAGEMENT LIMITED )

*AA Brathwell*  
*[Signature]*

) .....

**Plumbing Pensions (UK) Limited**  
by its attorney DTZ Investment  
Management Limited acting by its  
attorney

THE COMMON SEAL OF THE MAYOR )  
AND BURGESSES OF THE LONDON )  
BOROUGH OF CAMDEN was hereunto )  
Affixed by Order:- )

*[Signature]*  
.....

Authorised Signatory





ANNEX 1

Specification:

Design Certificate and Design Check Certificate



**DESIGN AND CHECK CERTIFICATE**  
(Highway Structures/Road or Service Tunnels)

Name of Project  
Name of Structure/Tunnel  
Structure/Tunnel Ref No

**Annex C1**

Model form of certificate  
for the design/assessment'  
and/or check' of highway  
structures, including road  
and service tunnels

Name of Project	44 - 46 Whitfield Street, London
Name of Structure	Projecting bays on front facade
Structure Ref No	02514

We certify that reasonable professional skill and care has been used in the preparation of the design/~~assessment~~' and/or check' of the projecting bays with a view to securing that:

i. It has been designed/assessed' and/or checked' in accordance with

The following Standards: ~~as~~

~~The Approval in Principle dated (date) including the following~~

- BS 6399-1-1996 - Dead and Imposed Loads
- BS6399-2-1997 - Wind Loads
- BS 5950-1-2000 - Steelwork


ii. It has been checked for compliance with the relevant standards in i: ~~as~~

~~The assessed capacity of the structure is as follows~~

iii. It has been accurately translated into construction drawings and bar bending schedules (all of which have been checked)'. The unique numbers of these drawings and schedules are: 02514-D-012Z1 to 015Z1

Signed   
Name John Lucking  
Design/Assessment/Check'<sup>19</sup> Team Leader

Engineering Qualifications BSc PhD CEng MStructE

Signed   
Name Sven Griesemann  
Position held Partners  
Name of Organisation Lucking & Clark LLP  
Date 7<sup>th</sup> December 2017

~~The Departures and additional criteria given in paragraph 1 are agreed~~

**DESIGN AND CHECK CERTIFICATE**  
(Highway Structures/Road or Service Tunnels)

Name of Project  
Name of Structure/Tunnel  
Structure/Tunnel Ref No

3. The certificate is accepted by the TAA

Signed

Name

Position held

Engineering Qualifications

TAA

Date



G. NATKEWAN

Team leader Structures Section

BSc (Hons) CEng MICE

London Borough of Camden

14-12-2017

**Notes**

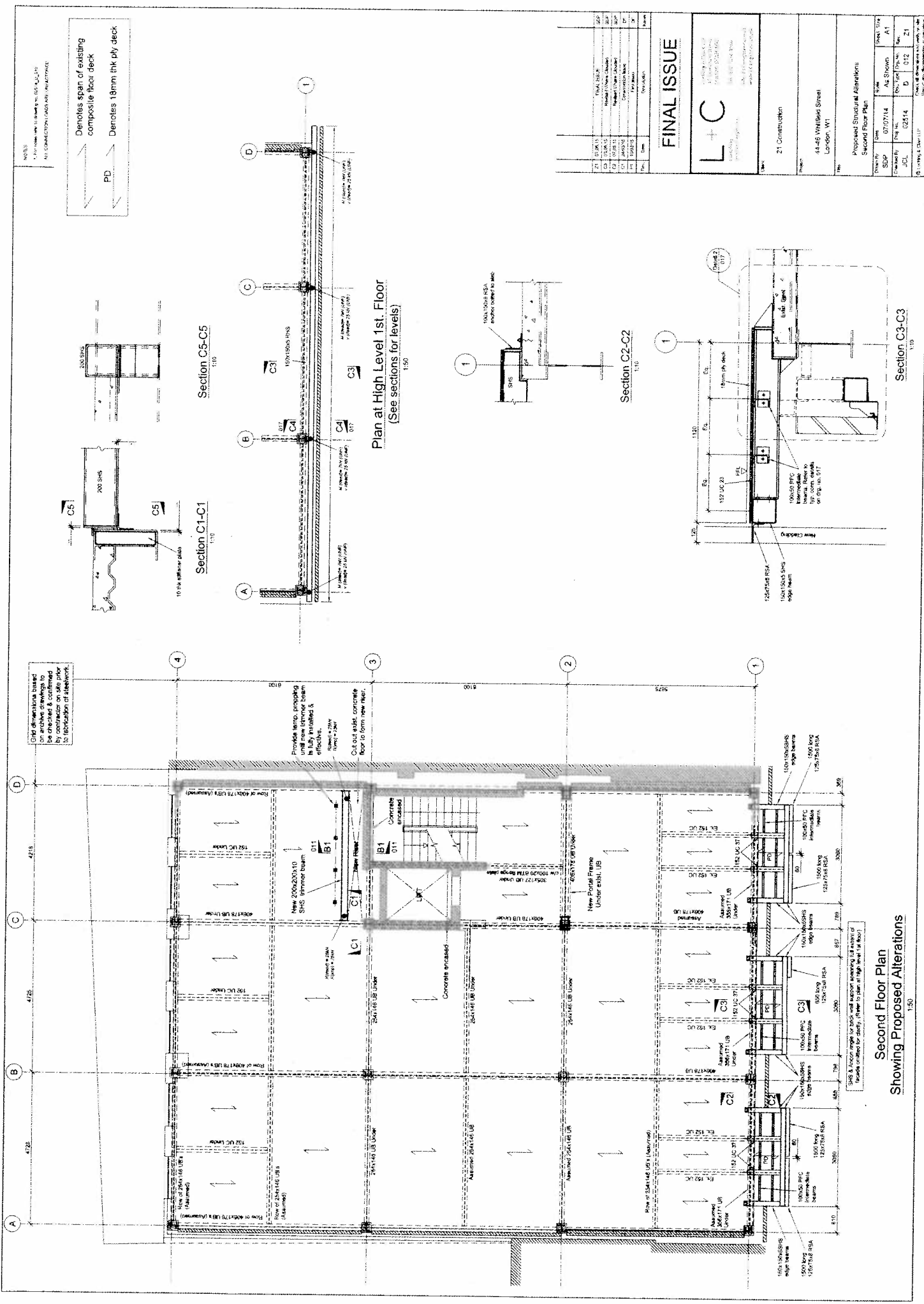
1. Delete as appropriate
2. Where several similar Category 0 or 1 structures occur in a project, they may be listed on one certificate
3. Used for Category 0 only. Insert relevant current Standards including amendments to date. This certificate should be accompanied by a General Arrangement drawing.
4. Not required for Category 0. Insert date of agreement of the AP by the TAA including the dates of any addenda. Note the AP is valid for three years after the date of agreement by the TAA. If the construction has not yet commenced within this period, the AP should be re-submitted to the TAA for review.
5. List any Departures and additional methods, criteria or specification clauses.
6. For the certification of M&E junctions for highway structures, include here the reference number and date of the relevant safety Consultation Document.
7. Delete for Categories 2 and 3 which require a separate check certificate.
8. Used for assessments only. Assessed capacity is to be recorded in the Overseeing Organisation's management system for structures.
9. The statement 'all of which have been checked' is not applicable to Categories 2 and 3 design certificates.
10. Delete as appropriate or repeat two columns if they are signed by both Design Assessment and Check Teams.
11. CEng, MICE, MInstTech or equivalent, but this qualification can be relaxed for Categories 0 and 1 with the agreement of TAA.
12. A Principal of the organisation responsible for the design or assessment.
13. Delete as appropriate. Note, not permitted for Categories 0 or 1 unless the TAA considers that the Departure has little or no structural implication.
14. Engineer with appropriate qualification and experience for Categories 0 and 1, and with CEng, MICE, MInstTech or equivalent for Categories 2 and 3.

ANNEX 2

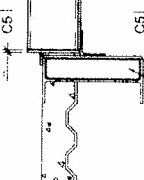
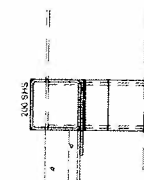
Drawings







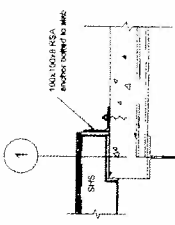
Denotes span of existing composite floor deck  
 Denotes 18mm thick ply deck



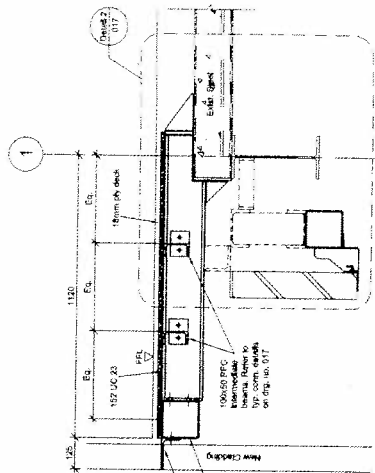
Section C1-C1  
110

Section C5-C5  
110

Plan at High Level 1st Floor  
 (See sections for levels)  
150



Section C2-C2  
110



Section C3-C3  
110

Drawn By	SDP	Scale	1:50
Checked By	SDP	As Shown	A1
JCL	02514	D	012
01	02514	D	012
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100	02514	D	012

**FINAL ISSUE**

**L+C**

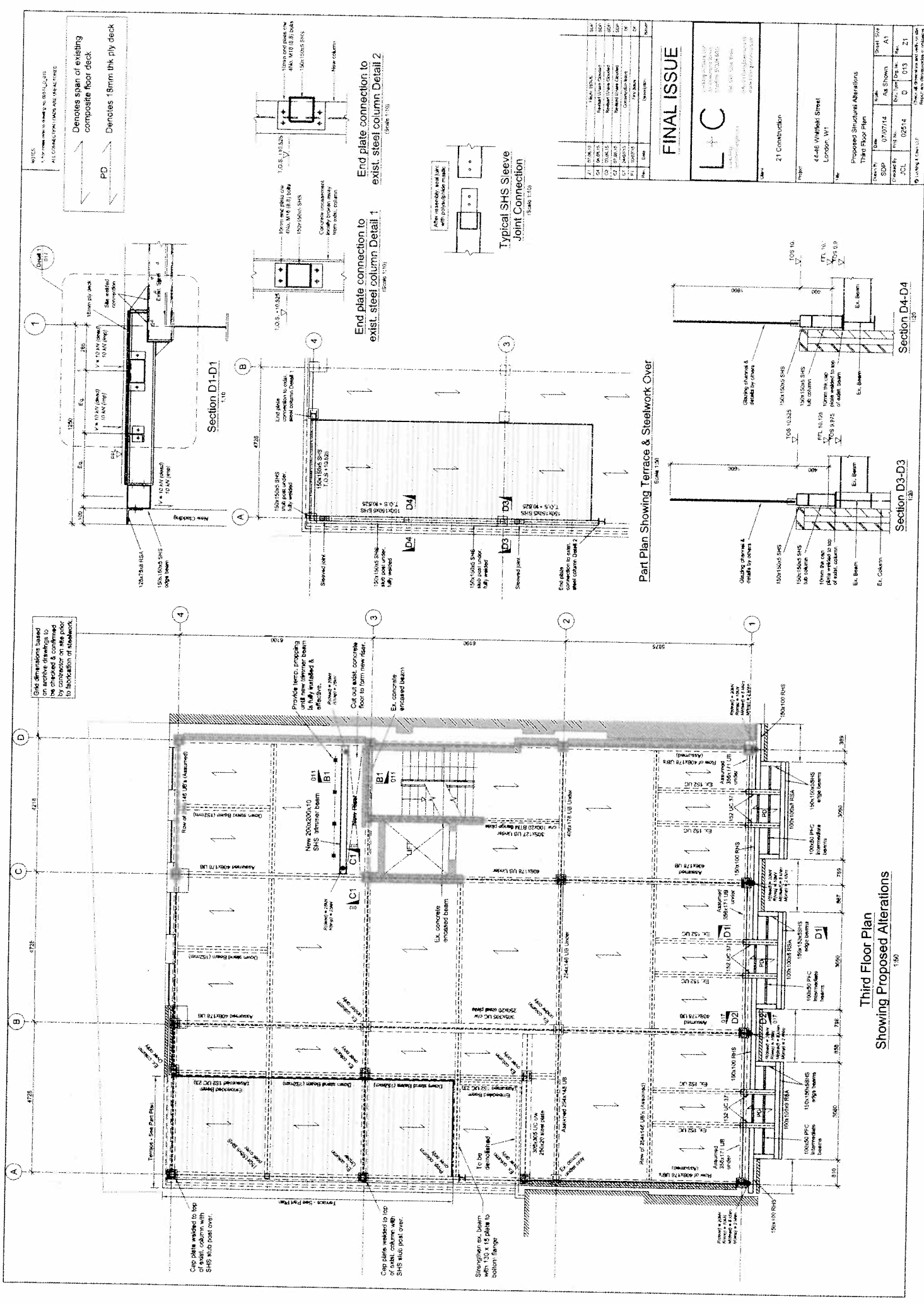
21 Construction

14-45 White Street  
London, W1

Proposed Structural Alterations  
Second Floor Plan

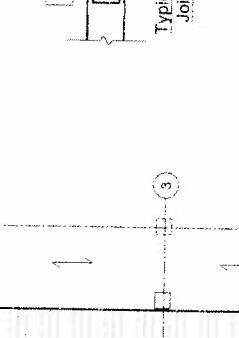
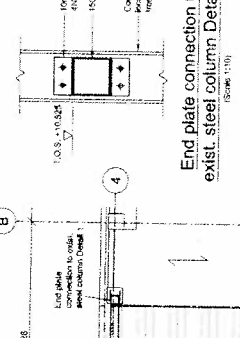
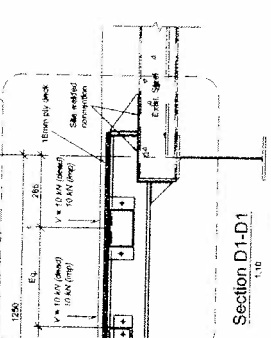
Second Floor Plan  
 Showing Proposed Alterations  
 1:50





Grid dimensions based on active drawings to be checked & confirmed to location of steelwork.

NOTES  
 1. For reference only to SHS 150x150x10  
 ALL CONNECTIONS TO BE MADE WITH SHS 150x150x10  
 PD Denotes span of existing composite floor deck  
 Denotes 18mm thk ply deck



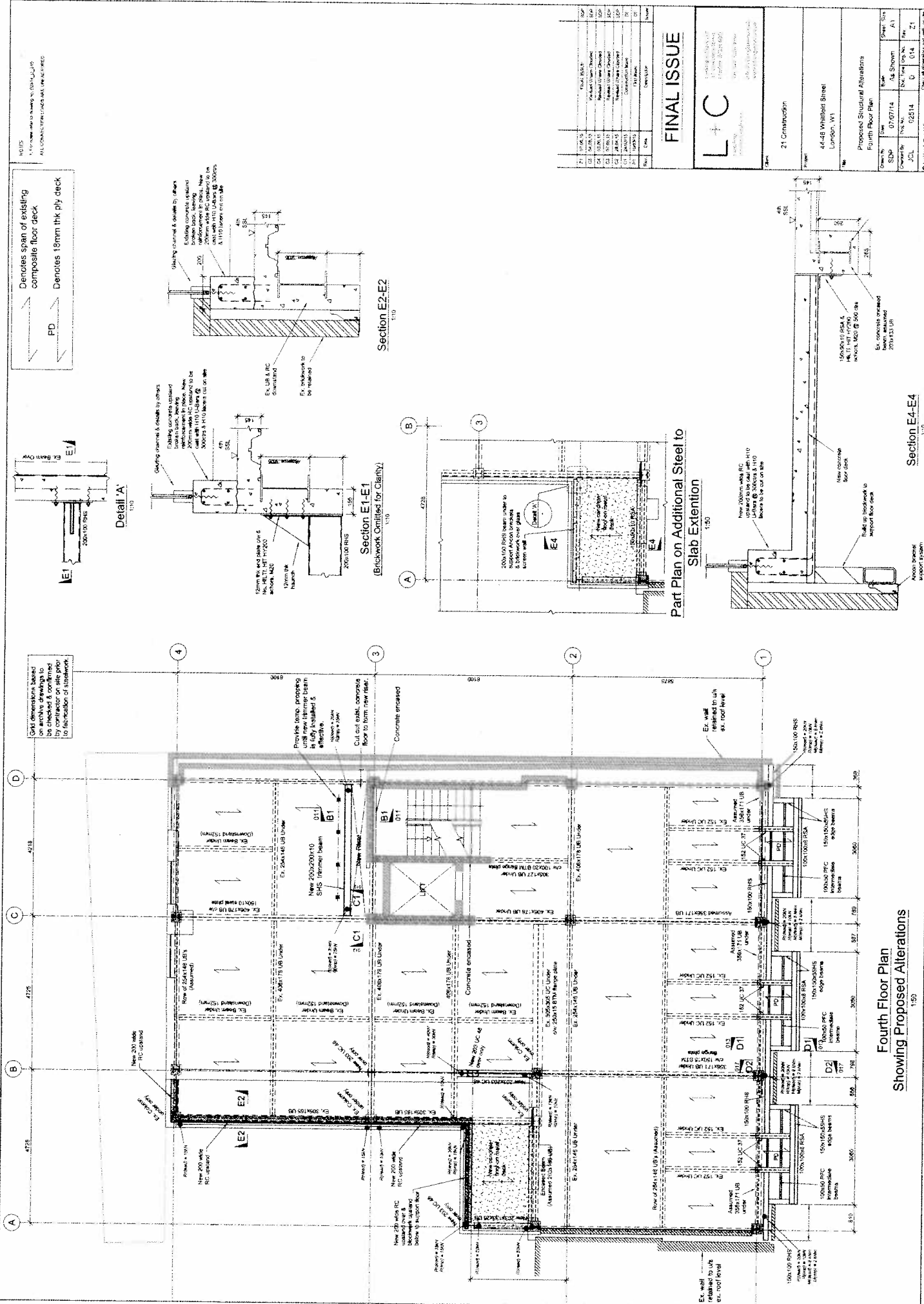
Part Plan Showing Terrace & Steelwork Over  
 Scale: 1:50

Rev	Date	Description
1	07/06/17	Issue for Tender
2	08/06/17	Revised for Tender
3	15/06/17	Revised for Tender
4	22/06/17	Revised for Tender
5	29/06/17	Revised for Tender
6	06/07/17	Revised for Tender
7	13/07/17	Revised for Tender
8	20/07/17	Revised for Tender
9	27/07/17	Revised for Tender
10	03/08/17	Revised for Tender
11	10/08/17	Revised for Tender
12	17/08/17	Revised for Tender
13	24/08/17	Revised for Tender
14	31/08/17	Revised for Tender
15	07/09/17	Revised for Tender
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17	21/09/17	Revised for Tender
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93	06/03/19	Revised for Tender
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96	27/03/19	Revised for Tender
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100	24/04/19	Revised for Tender

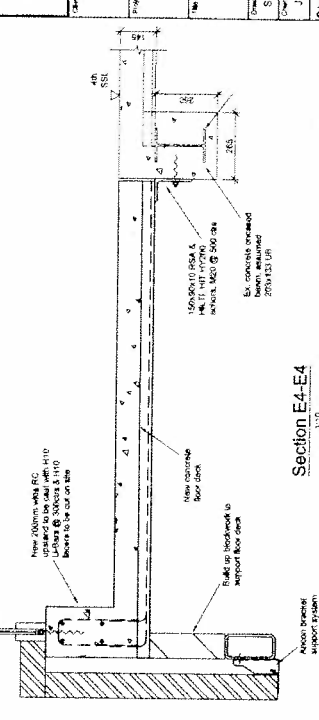
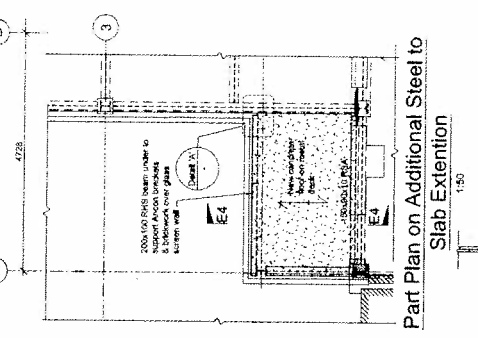
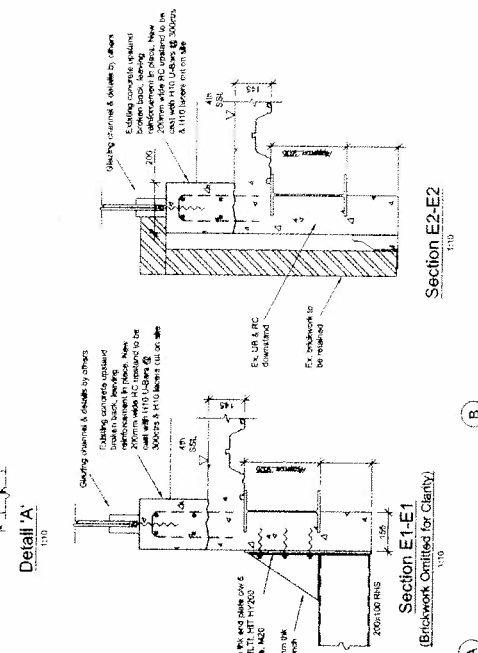
Third Floor Plan  
 Showing Proposed Alterations

1:50





Denotes span of existing composite floor deck  
 PD  
 Denotes 19mm thk ply deck



Notes:  
 1. All concrete work shall be in accordance with BS 5400: Part 1 & 2.  
 2. All concrete work shall be in accordance with BS 5400: Part 1 & 2.

1. All reinforcement shall be checked & confirmed by contractor on site prior to fabrication of steelwork.  
 2. Provide temp. props. until new framing beam is fully installed & effective.  
 3. Cut out exist. concrete floor to form new rise.  
 4. Concrete encased.

Fourth Floor Plan  
 Showing Proposed Alterations

Rev.	Date	Description
1	15/01/14	Issue for RFP
2	20/01/14	Issue for RFP
3	25/01/14	Issue for RFP
4	30/01/14	Issue for RFP
5	05/02/14	Issue for RFP
6	10/02/14	Issue for RFP
7	15/02/14	Issue for RFP
8	20/02/14	Issue for RFP
9	25/02/14	Issue for RFP
10	30/02/14	Issue for RFP
11	05/03/14	Issue for RFP
12	10/03/14	Issue for RFP
13	15/03/14	Issue for RFP
14	20/03/14	Issue for RFP
15	25/03/14	Issue for RFP
16	30/03/14	Issue for RFP
17	05/04/14	Issue for RFP
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23	05/05/14	Issue for RFP
24	10/05/14	Issue for RFP
25	15/05/14	Issue for RFP
26	20/05/14	Issue for RFP
27	25/05/14	Issue for RFP
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54	10/10/14	Issue for RFP
55	15/10/14	Issue for RFP
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57	25/10/14	Issue for RFP
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63	25/11/14	Issue for RFP
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67	15/12/14	Issue for RFP
68	20/12/14	Issue for RFP
69	25/12/14	Issue for RFP
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97	15/05/15	Issue for RFP
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99	25/05/15	Issue for RFP
100	30/05/15	Issue for RFP

FINAL ISSUE

**L+C**

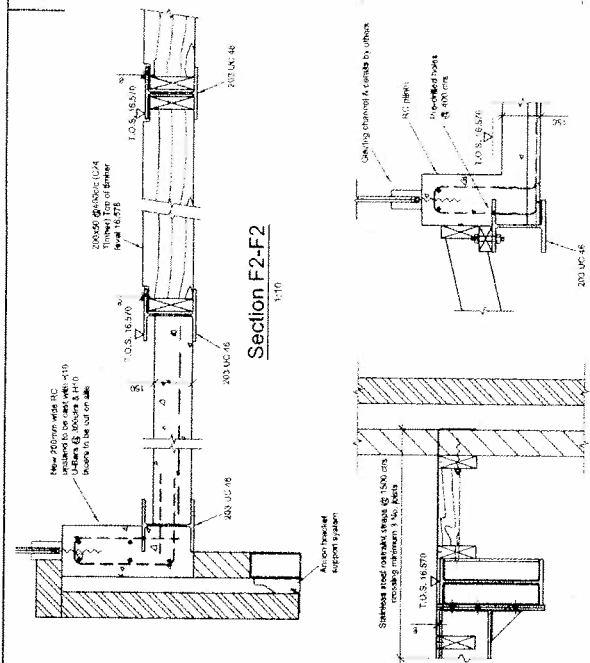
London & Co. Ltd.  
 100, Abchurch Lane, London, EC4N 3DF  
 Tel: 020 7424 1000  
 Fax: 020 7424 1001  
 Email: info@londonandco.co.uk  
 Website: www.londonandco.co.uk

21 Construction  
 44-48 Millbain Street  
 London, W1  
 Proposed Structural Alterations  
 Fourth Floor Plan

Client	100, Abchurch Lane
Drawn by	100, Abchurch Lane
Checked by	100, Abchurch Lane
Scale	As Shown
Date	07/07/14
Sheet No.	1 of 1
Job No.	02514
Drawn by	014
Checked by	014
Scale	As Shown
Date	07/07/14
Sheet No.	1 of 1



NOTES  
 1. ALL CONNECTIONS UNLESS OTHERWISE SPECIFIED.  
 \* Denotes wind-moment joint required in both directions in beams and columns. Use moment of 20kNm for design of joints.



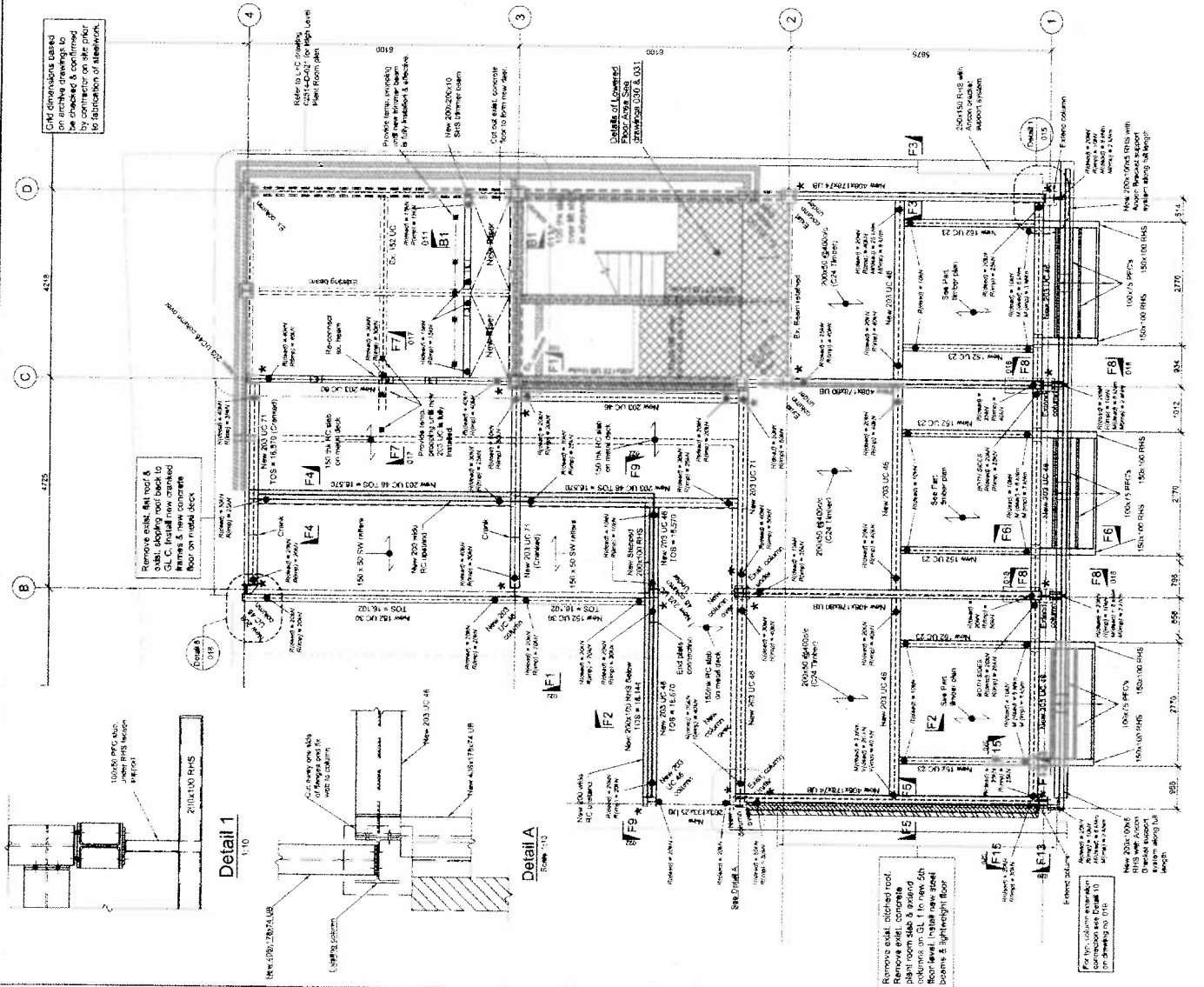
**Section F5-F5**  
 1:10

**Section F6-F6**  
 1:10

**Section F7-F7**  
 1:10

**Section F8-F8**  
 1:10

**Section F9-F9**  
 1:10



No.	Date	Description	By	Check	Author
1	11/08/14	Final Issue	...	...	...
2	11/08/14	...	...	...	...
3	11/08/14	...	...	...	...
4	11/08/14	...	...	...	...
5	11/08/14	...	...	...	...
6	11/08/14	...	...	...	...
7	11/08/14	...	...	...	...
8	11/08/14	...	...	...	...
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47	11/08/14	...	...	...	...
48	11/08/14	...	...	...	...
49	11/08/14	...	...	...	...
50	11/08/14	...	...	...	...

**FINAL ISSUE**

**LTC**

21 Construction

44-46 Whitehall Street  
 London, W1

Proposed Structural Alterations  
 Fifth Floor Plan

Drawn By: AT  
 Checked By: AT  
 Date: 07/07/14  
 Scale: As Shown  
 Project No: 02514  
 Drawing No: 015  
 Revision: 71





This plan is a preliminary design and is subject to change without notice. It is not to be used for construction purposes. The client is responsible for ensuring that the plan complies with all relevant building regulations and planning requirements. The architect is not responsible for any errors or omissions in this plan.

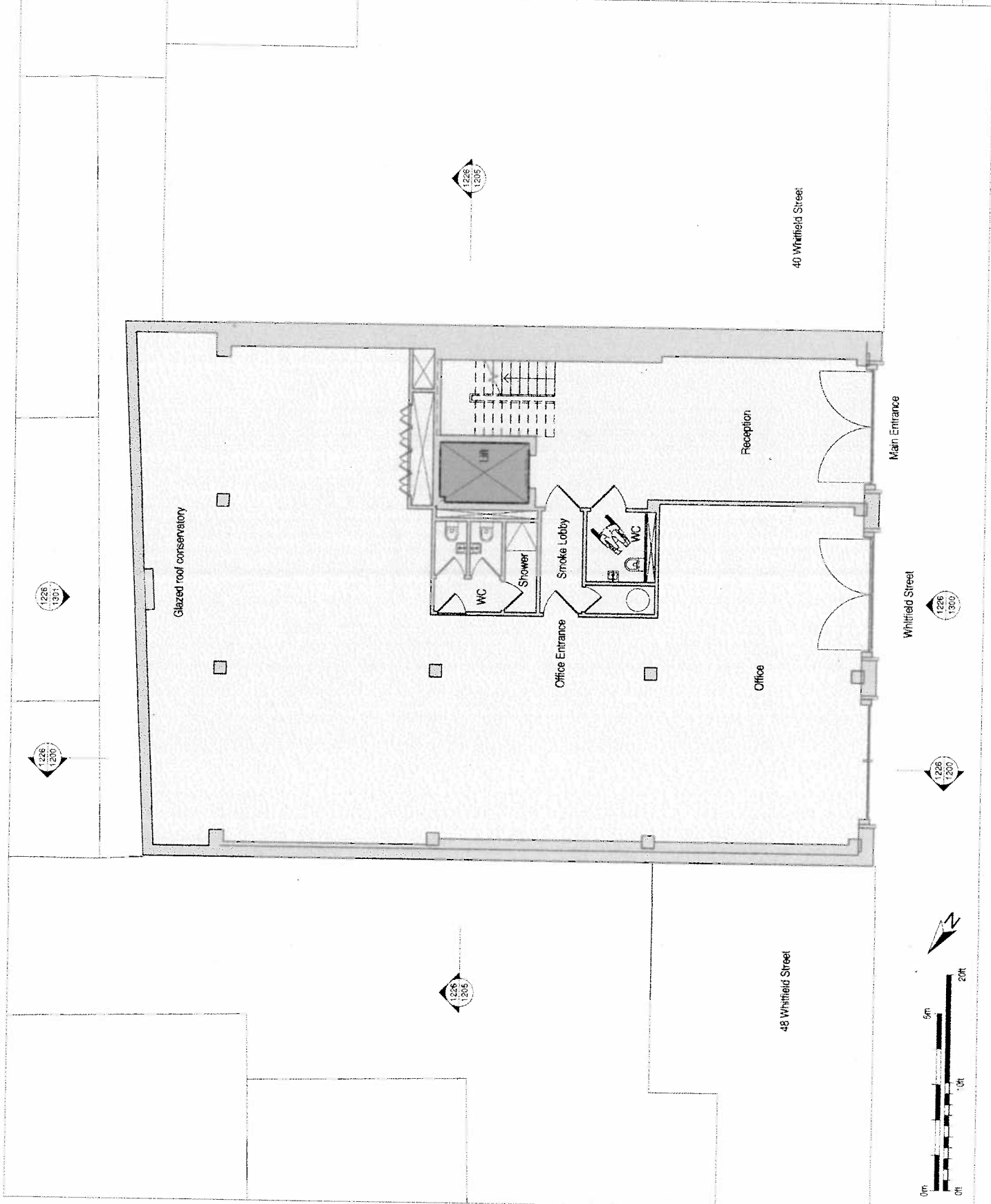
DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: [Date]

**FOR PLANNING**  
 BRIMELOW  
 MCSWEENEY  
 ARCHITECTS  
 64-66 Whitfield Street  
 London, W1

Ground Floor Plan  
 As Proposed

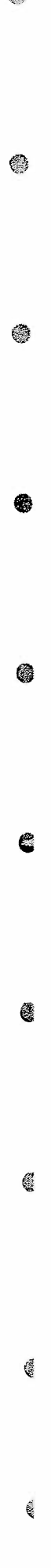
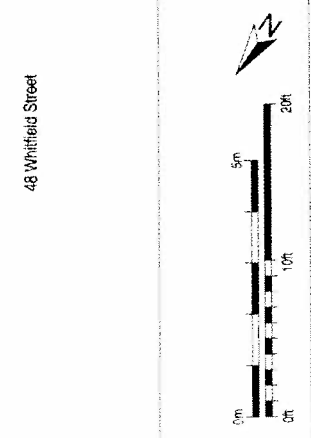
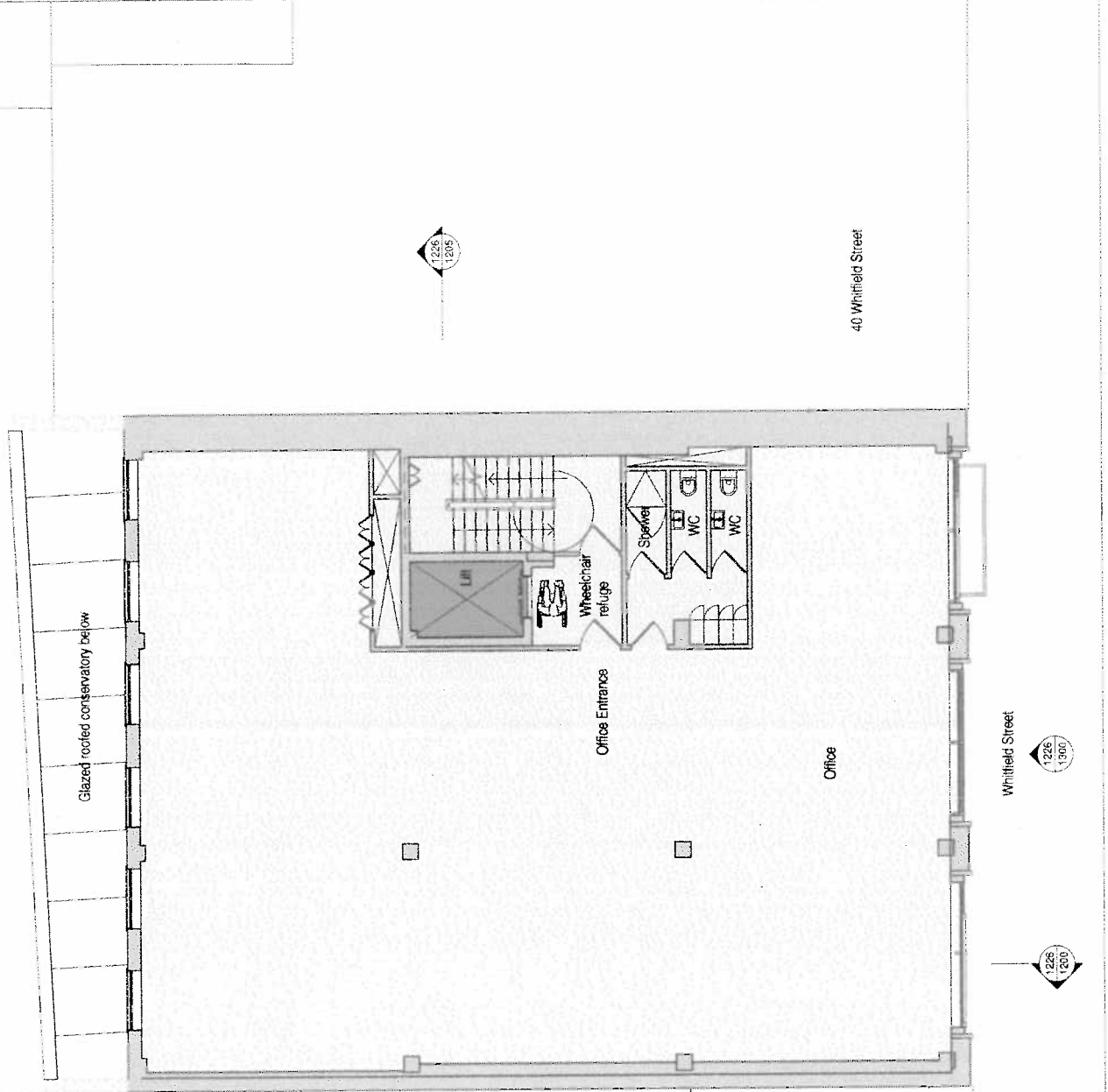
1:1000 A3  
 0" = 10'

1226 - 1100  
 7



FOR PLANNING  
 BRIMELOW  
 MCSWEENEY  
 ARCHITECTS  
 44-46 Whitfield Street  
 London W1  
 First Floor Plan  
 AS PROPOSED  
 1:500 A3  
 1:500 A1  
 1226 - 1101

FOR PLANNING  
 BRIMELOW  
 MCSWEENEY  
 ARCHITECTS  
 44-46 Whitfield Street  
 London W1  
 First Floor Plan  
 AS PROPOSED  
 1:500 A3  
 1:500 A1  
 1226 - 1101



It is noted that the existing layout is not a true floor plan. The plan is a series of photographs taken from a high angle and is not a true floor plan. It is noted that the existing layout is not a true floor plan. The plan is a series of photographs taken from a high angle and is not a true floor plan. It is noted that the existing layout is not a true floor plan. The plan is a series of photographs taken from a high angle and is not a true floor plan.

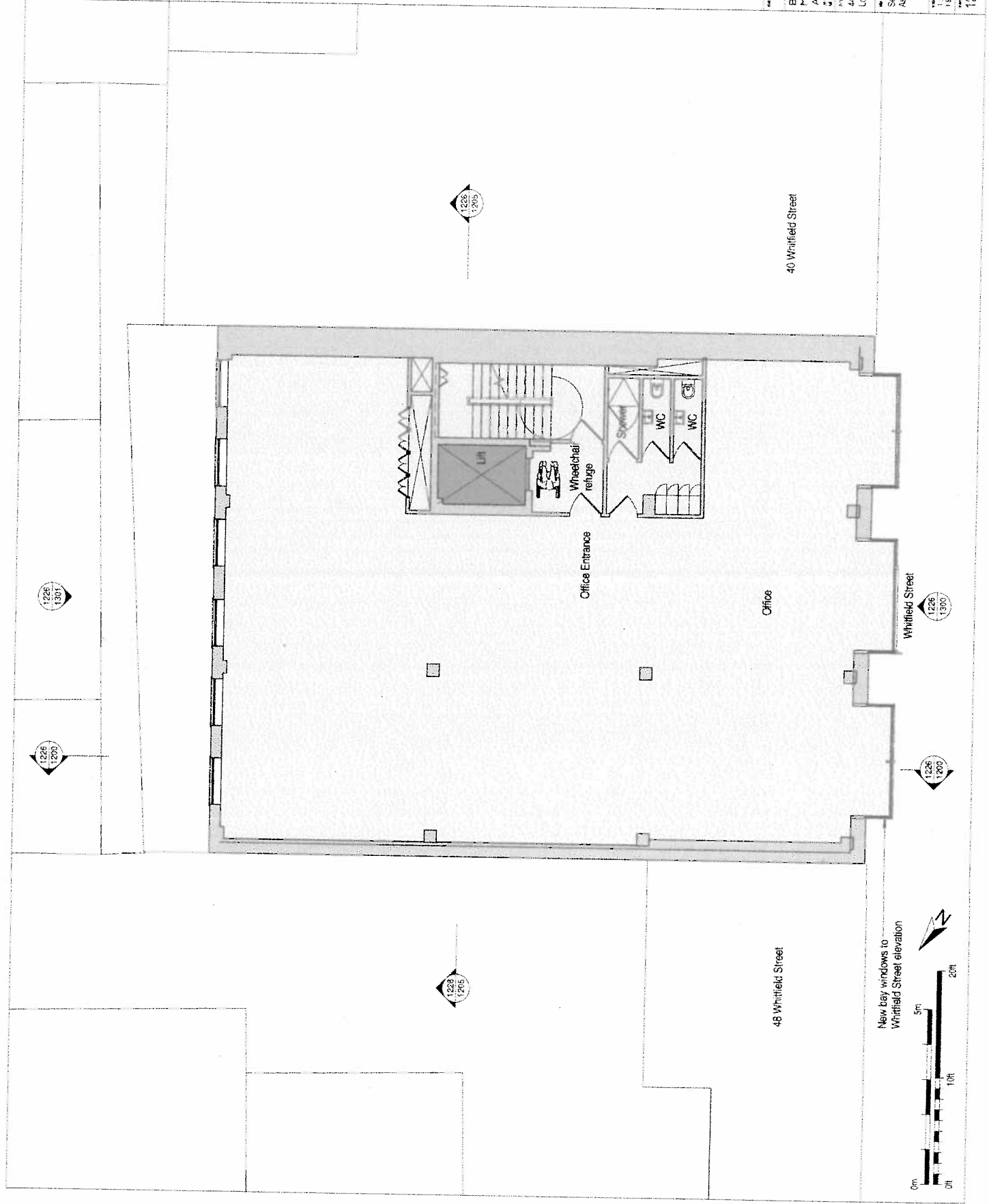
**FOR PLANNING**

**BRIMELOW  
MC SWEENEY  
ARCHITECTS**

44-46 Whitfield Street  
London, W1

Second Floor Plan  
As Proposed

1226 - 1102



New bay windows to  
Whitfield Street elevation

0m 5m 10m 20m

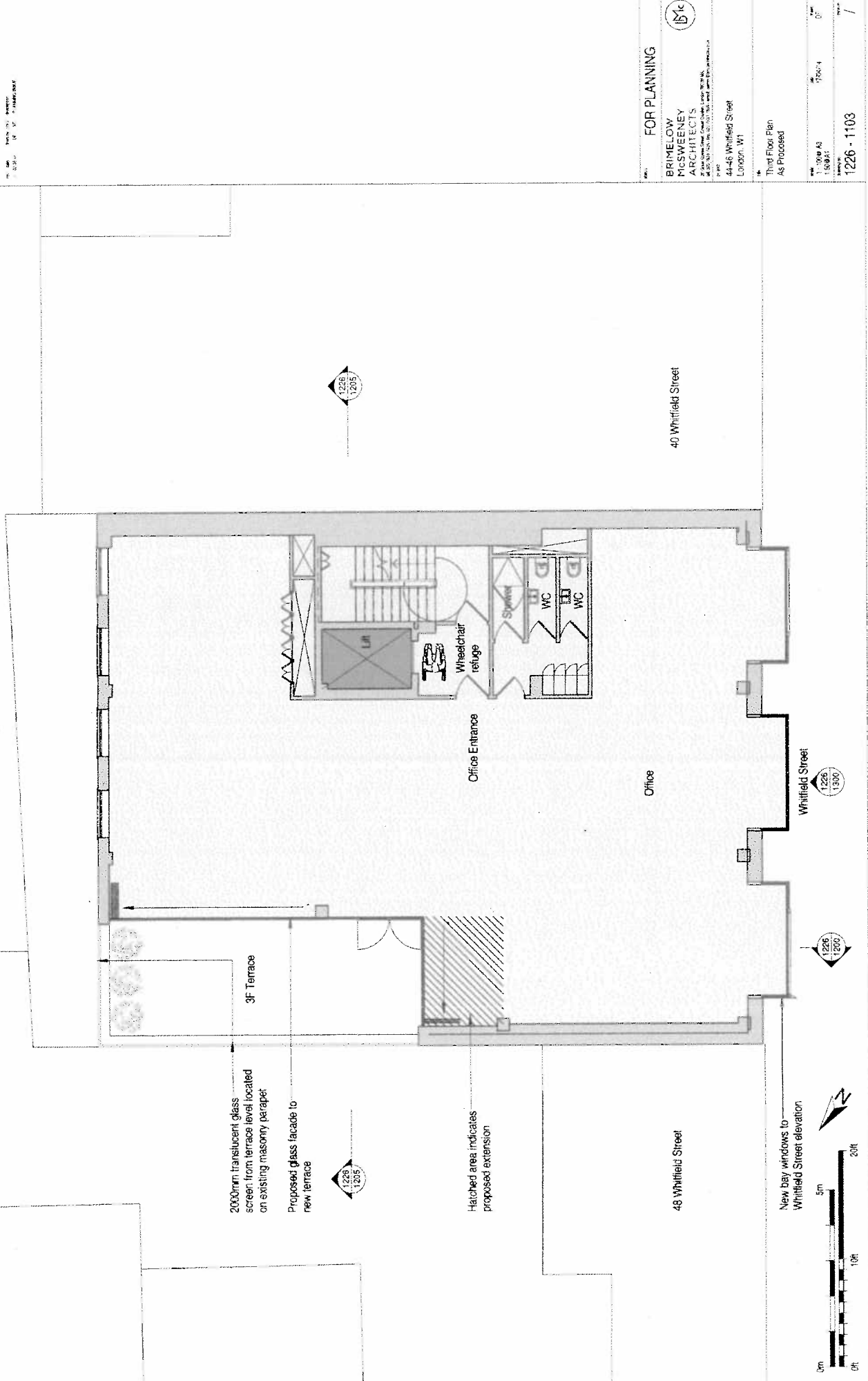
1226  
1200

1226  
1307

1226  
1205

1226  
1300

1226  
1255



1226  
1205

FOR PLANNING

BRIMELOW  
MCWEENEY  
ARCHITECTS

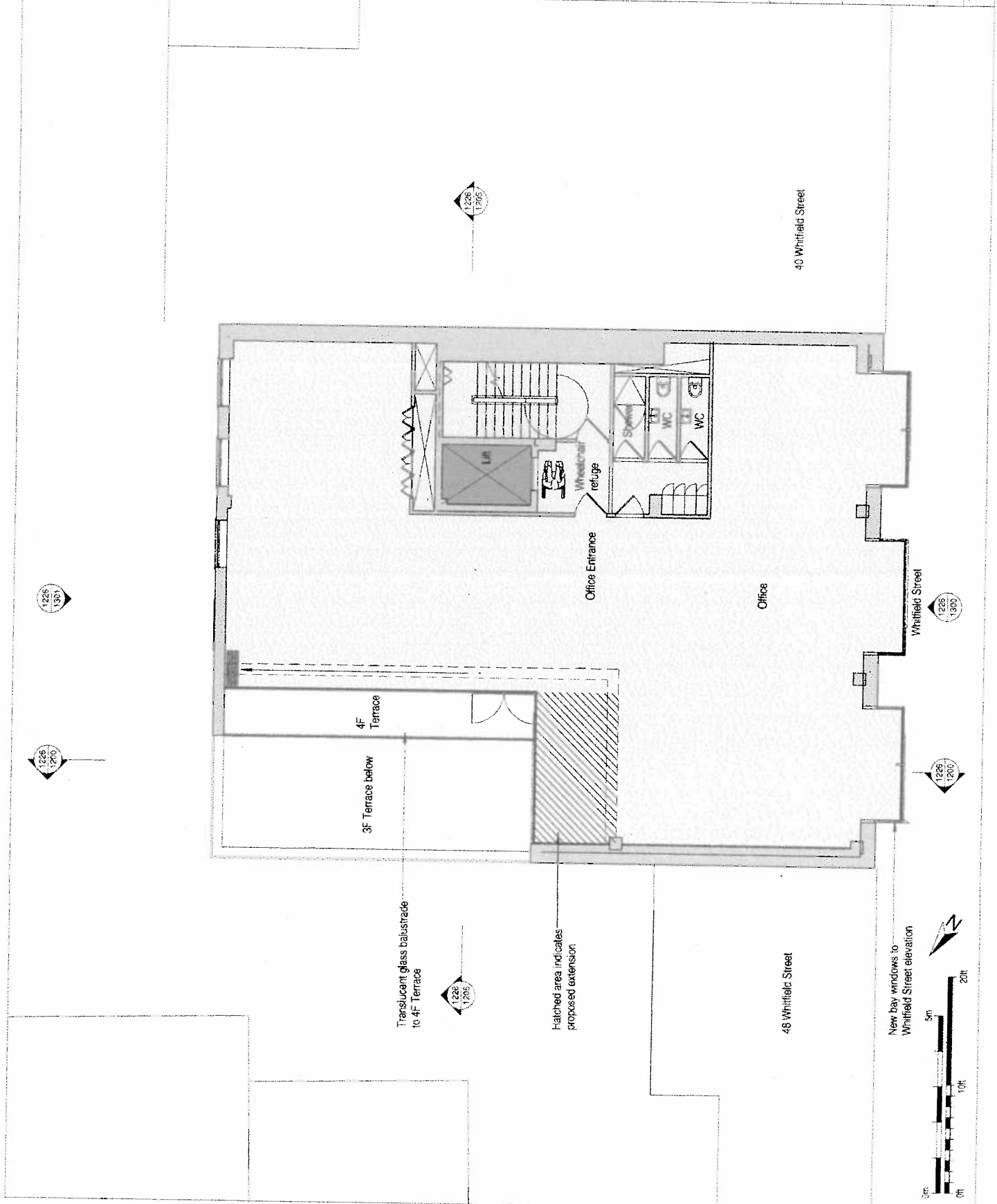
44-48 Whitfield Street  
London, W1

Third Floor Plan  
As Proposed

1226 - 1103

The information on this drawing is based on the information provided by the client and is intended for use as a guide only. It is not intended to be used as a contract document. The client is responsible for ensuring that the information provided is accurate and complete. The architect is not responsible for any errors or omissions in this drawing.

**FOR PLANNING**  
 BRIMLOW  
 PICSWEENEY  
 ARCHITECTS  
 44-46 Whitfield Street  
 London, W1  
 Fourth Floor Plan  
 AS PROPOSED  
 1:1000 AS  
 1:5000 AS  
 1226 - 1104  
 7



1226  
1300

1226  
1200

1226  
1300

1226  
1200

1226  
1300

1226  
1206



New bay windows to  
 Whitfield Street elevation

4F Terrace  
 3F Terrace below

Office Entrance

Wheelchair refuge

Office

48 Whitfield Street

40 Whitfield Street

Translucent glass balustrade  
 to 4F Terrace

Hatched area indicates  
 proposed extension

These drawings are the property of the architect and are not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in these drawings. The architect is not responsible for any construction or other work carried out in accordance with these drawings. The architect is not responsible for any damage to any property or person arising from the use of these drawings. The architect is not responsible for any delay in the completion of the project. The architect is not responsible for any cost overruns. The architect is not responsible for any other matters. The architect is not responsible for any other matters. The architect is not responsible for any other matters.

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 7. The architect is not responsible for any other matters.  
 8. The architect is not responsible for any other matters.  
 9. The architect is not responsible for any other matters.

11. 4th Floor Plan  
 12. 1226 - 1105

**FOR PLANNING**

**BRIMLOW  
 MCSWEENEY  
 ARCHITECTS**

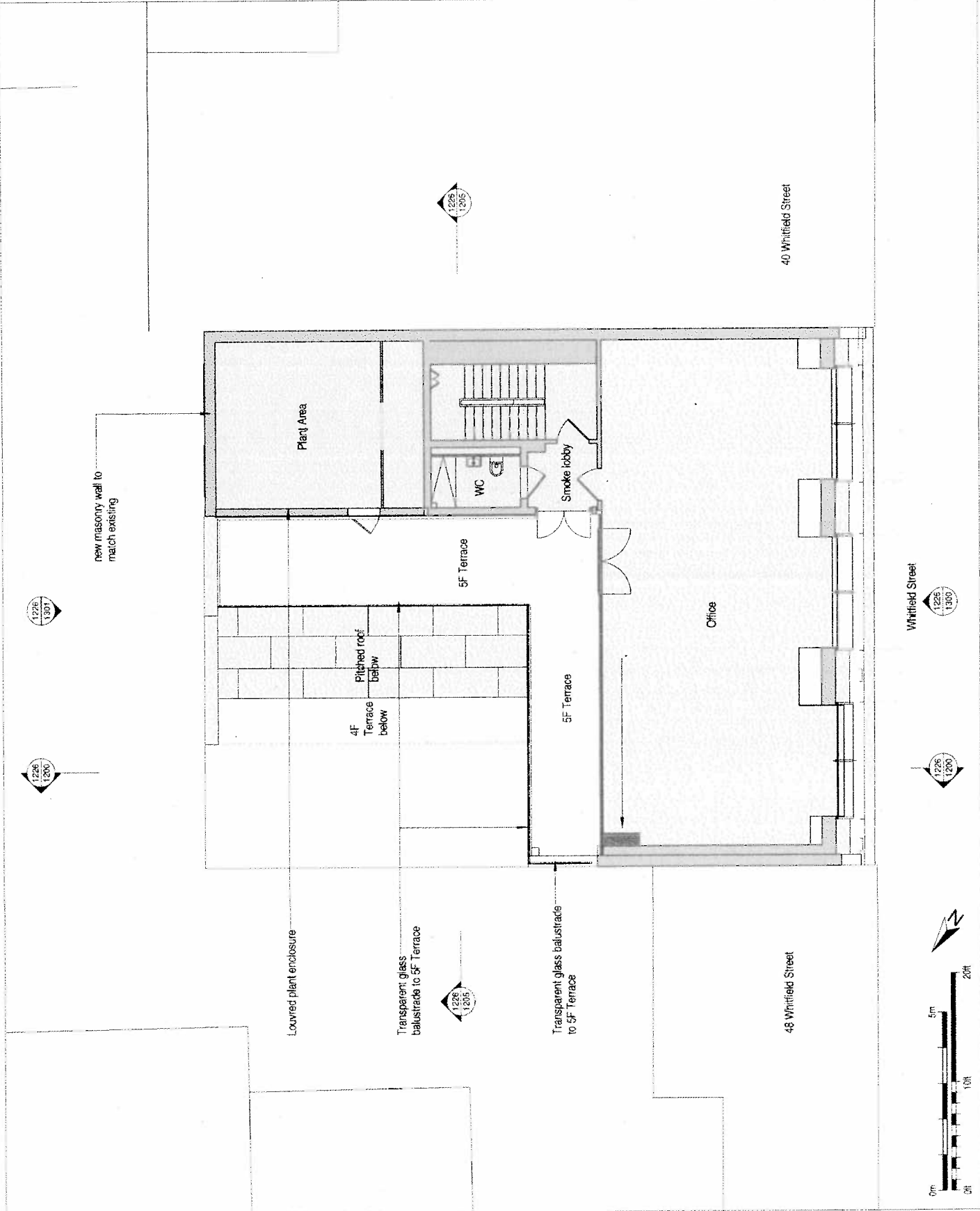
44-46 Whitfield Street  
 London, W1

11th Floor Plan  
 As Proposed

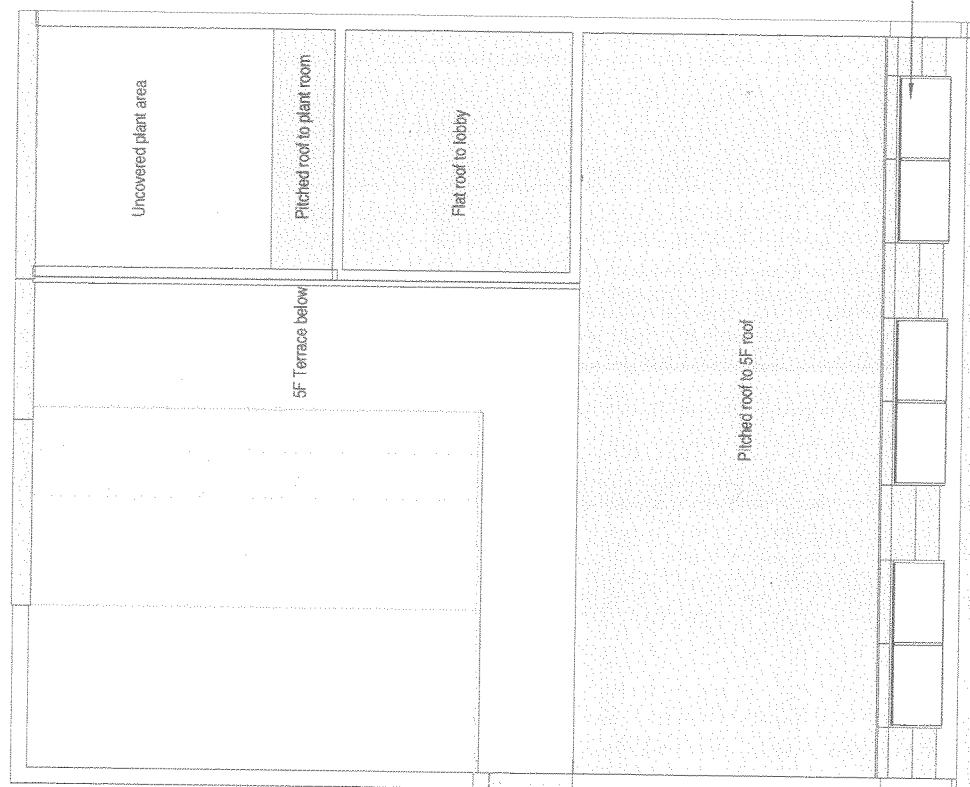
1:1000 AS  
 1:500 AT

1226 - 1105

7



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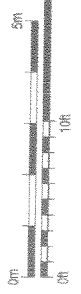


1226  
1301

1226  
1300

1226  
1305

1226  
1295



Whitfield Street  
1226  
1300

1226  
1300

**FOR PLANNING**  
 BRIMLOW  
 MCSWEENEY  
 ARCHITECTS  
 44-46 Whitfield Street  
 London, W1

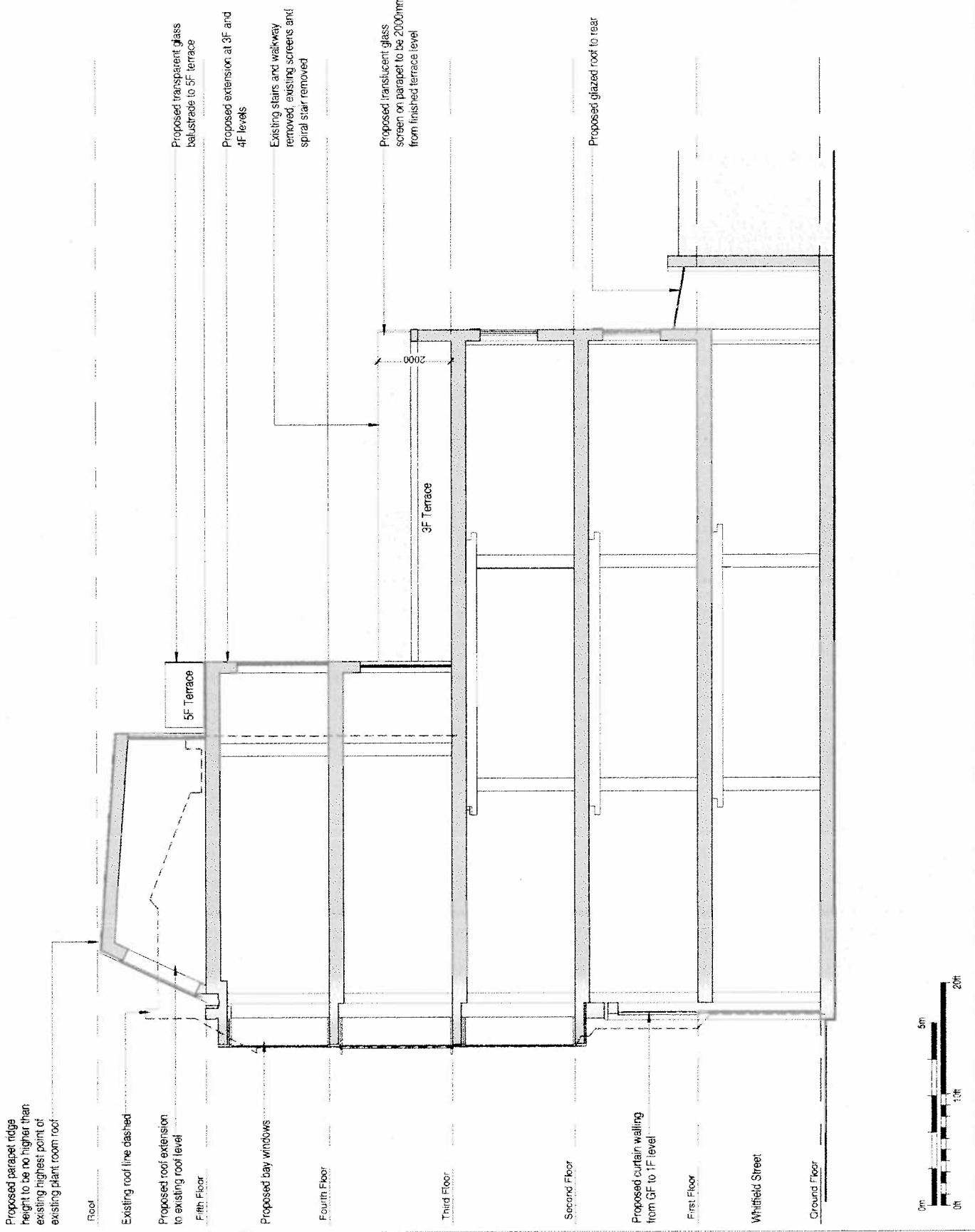
Roof Plan  
 As Proposed

DATE: 11/09/13  
 DRAWN: TJS/1/14  
 CHECKED: DF  
 PROJECT: 1226 - 1106

On the basis of the information provided, the architect has prepared this architectural drawing for the proposed development. The architect has not carried out any structural or geotechnical investigations and is not responsible for the structural or geotechnical stability of the proposed development. The architect has not carried out any environmental or ecological surveys and is not responsible for the environmental or ecological impact of the proposed development. The architect has not carried out any traffic or transport surveys and is not responsible for the traffic or transport impact of the proposed development. The architect has not carried out any noise or vibration surveys and is not responsible for the noise or vibration impact of the proposed development. The architect has not carried out any air quality surveys and is not responsible for the air quality impact of the proposed development. The architect has not carried out any other surveys and is not responsible for any other impacts of the proposed development. The architect has not carried out any other surveys and is not responsible for any other impacts of the proposed development.

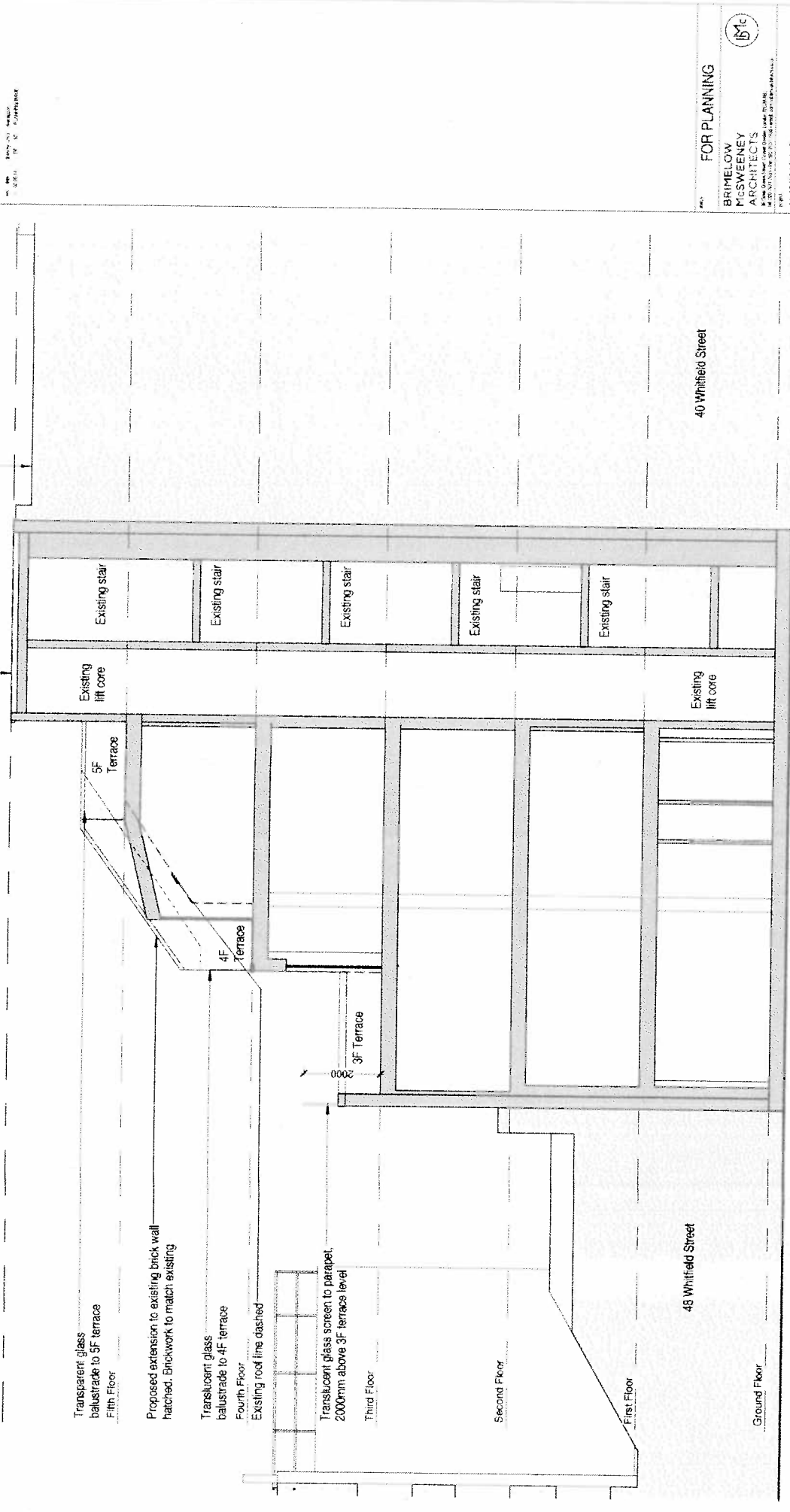
Architect: BRIMLEW MCGWENY ARCHITECTS  
 44-46 Whitefield Street  
 London W1

FOR PLANNING  
 BRIMLEW MCGWENY ARCHITECTS  
 44-46 Whitefield Street  
 London W1  
 Section AA  
 As Proposed  
 1226 - 1200





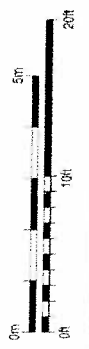
This plan shows the proposed extension to the existing building. The extension is shown in a lighter shade of grey. The existing building is shown in a darker shade of grey. The extension is a three-story structure with a flat roof. The extension is located on the north side of the existing building. The extension is bounded by 40 Whitefield Street to the north and 48 Whitefield Street to the east. The extension is bounded by the existing building to the south and west. The extension is bounded by the existing building to the south and west. The extension is bounded by the existing building to the south and west.



Existing highest roof point determines roof extension highest point. Refer to 1226-1200

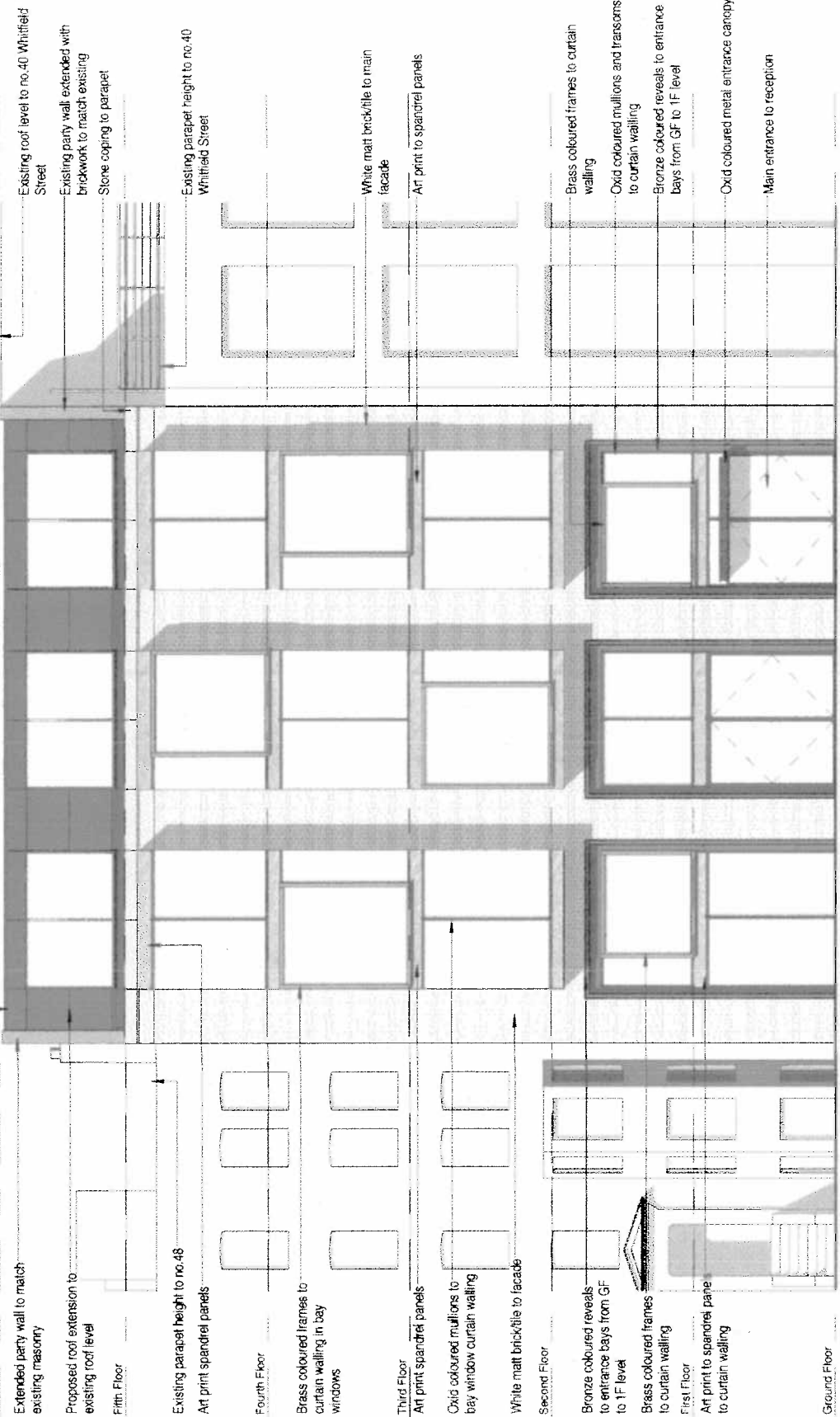
Flat roof height of no.40 Whitefield Street

**FOR PLANNING**  
 BRIMLOW  
 MCGWENNEY  
 ARCHITECTS  
 44-46 Whitefield Street  
 London, W1  
 Section FF  
 As Proposed  
 1226-1205  
 1



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Date: 15/08/2018  
 Drawn: M. J. O'NEILL  
 Checked: M. J. O'NEILL



Large scaled dark metal tiles to roof extension

Extended party wall to match existing masonry

Proposed roof extension to existing roof level

Fifth Floor

Existing parapet height to no.48

Art print spandrel panels

Fourth Floor

Brass coloured frames to curtain walling in bay windows

Third Floor

Art print spandrel panels

Oxid coloured mullions to bay window curtain walling

White matt brick/tile to facade

Second Floor

Bronze coloured reveals to entrance bays from GF to 1F level

Brass coloured frames to curtain walling

First Floor

Art print to spandrel panels to curtain walling

Ground Floor

Existing roof level to no.40 Whitfield Street

Existing party wall extended with brickwork to match existing Stone coping to parapet

Existing parapet height to no.40 Whitfield Street

White matt brick/tile to main facade

Art print to spandrel panels

Brass coloured frames to curtain walling

Oxid coloured mullions and transoms to curtain walling

Bronze coloured reveals to entrance bays from GF to 1F level

Oxid coloured metal entrance canopy

Main entrance to reception

40 Whitfield Street

44-46 Whitfield Street

48 Whitfield Street



FOR PLANNING

BRIMELOW  
MCSWEENEY  
ARCHITECTS

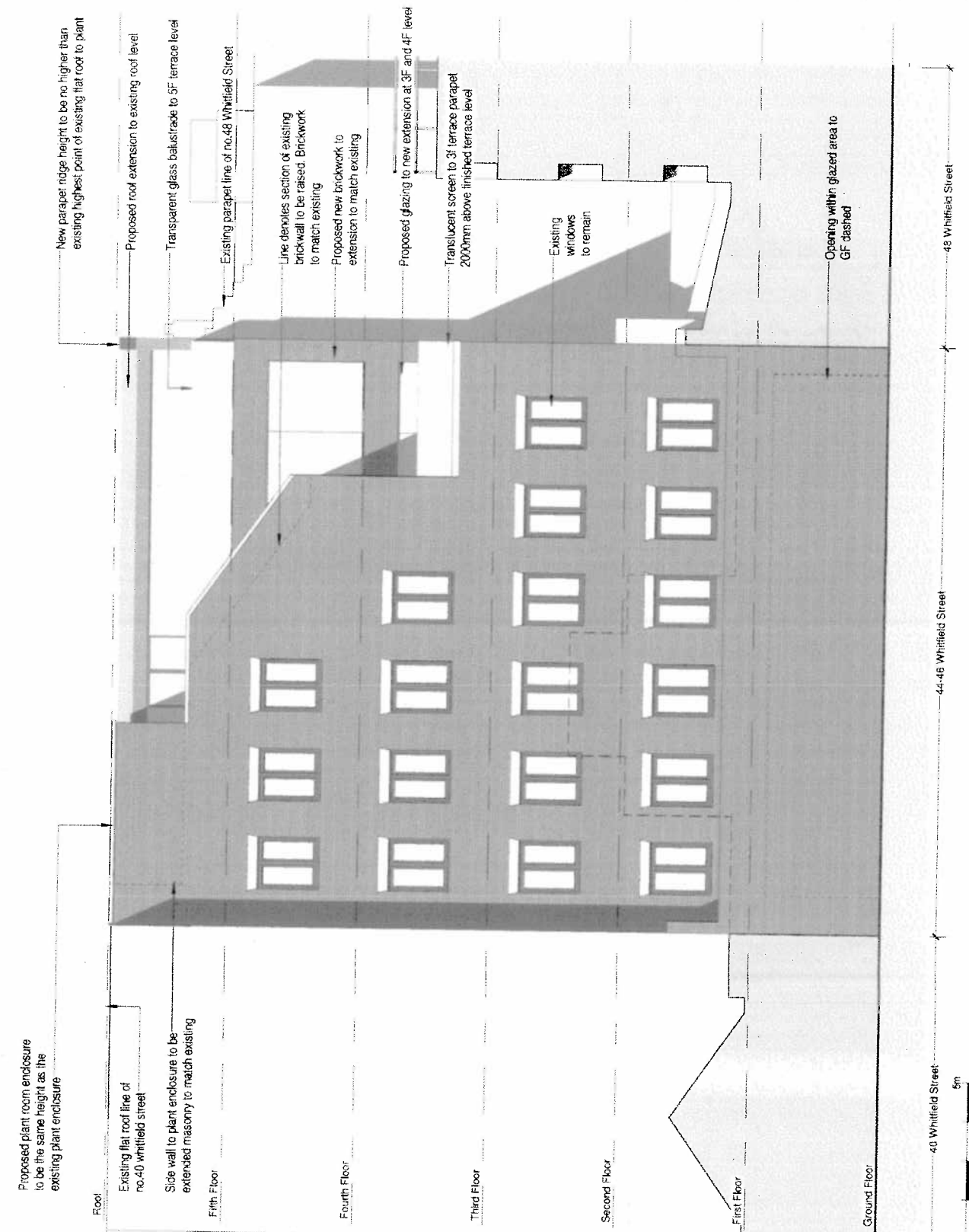
44-46 Whitfield Street  
London, W1

Whitfield Street Elevation  
As Proposed

1226 - 1300

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 44-46 Whitefield Street, London, W1  
 Tel: +44 (0)20 7463 1301  
 Fax: +44 (0)20 7463 1302  
 Email: info@brimlowmcsweeney.com  
 Website: www.brimlowmcsweeney.com

**FOR PLANNING**  
 BRIMLOW  
 MCSWEENEY  
 ARCHITECTS  
 44-46 Whitefield Street  
 London, W1  
 1:1000 AS  
 1:8000 A  
 1226 - 1301  
 7



This plan is for the proposed extension to the existing building. It is not to be used for any other purpose. The architect is not responsible for any errors or omissions in this plan. The client is responsible for the accuracy of the information provided. The architect is not responsible for any errors or omissions in this plan. The client is responsible for the accuracy of the information provided.

**FOR PLANNING**  
 BRIMELOW  
 MCSWEENEY  
 ARCHITECTS  
 44-46 Whitfield Street  
 London, W1

North West Elevation  
 As Proposed

1226 - 1302

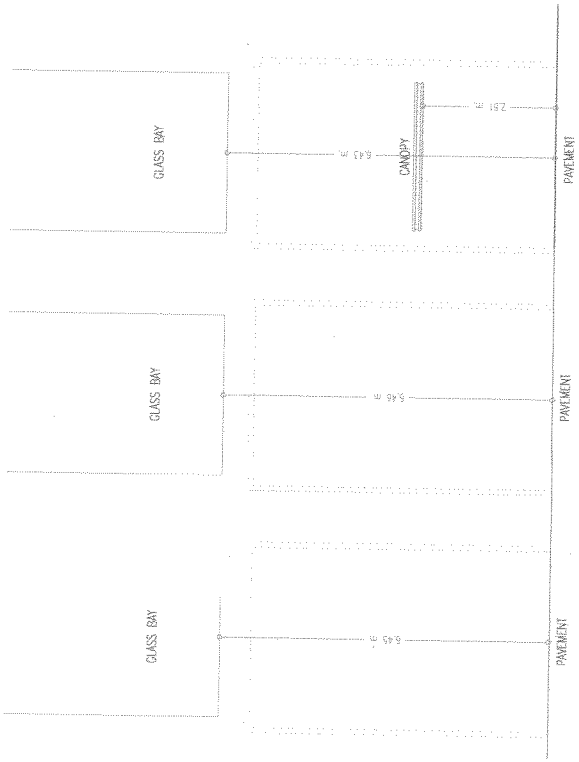


Roof  
 Large scaled dark metal tiles to pitched roof  
 Fifth Floor  
 Extended part of rear wall. Refer to 1226-1301  
 Translucent balustrade to 4F terrace  
 Fourth Floor  
 Glass facades to terraces  
 Translucent balustrade to 3F terrace  
 Third Floor  
 Second Floor  
 Wall to restaurant side of party wall  
 First Floor  
 Ground Floor

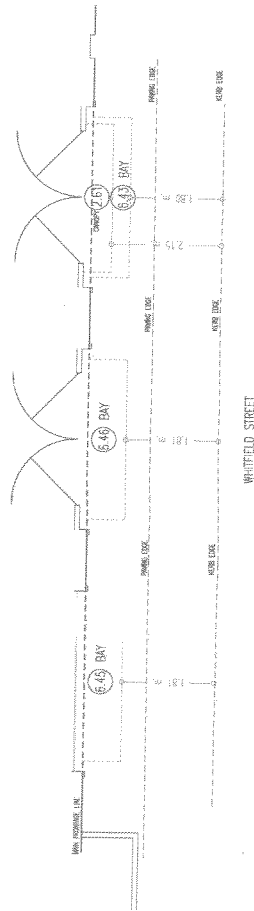
5-7 Tottenham Street  
 Yumcha Restaurant  
 48 Whitfield Street

0m 5m 10m 20m  
 0ft 10ft 20ft

A3



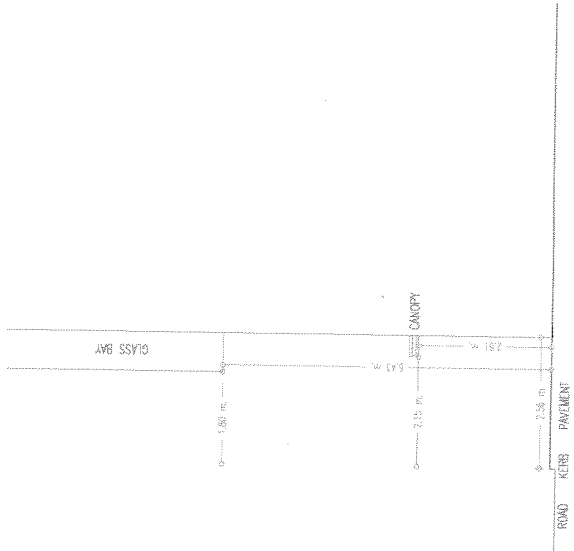
FRONT ELEVATION



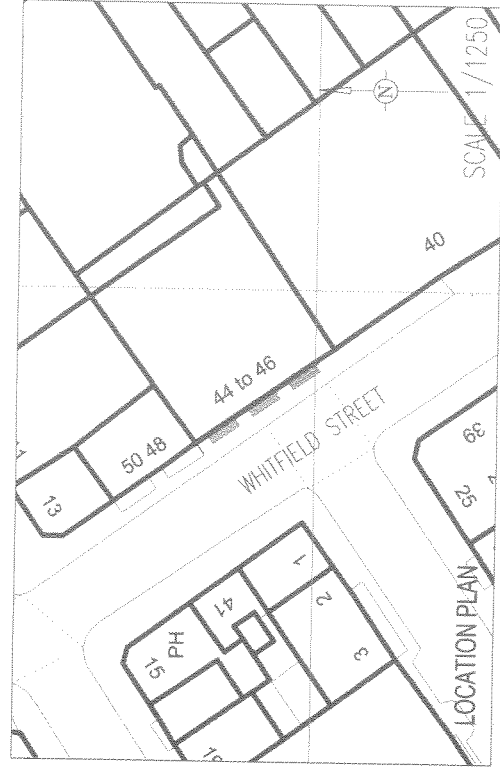
PLAN

SCALE 1/100

NOTE:  
 WHEN PRINTING PDF PLANS, ALWAYS ENSURE THAT:  
 1. "PAGE SCALING" IS SET TO NONE OR "ACTUAL SIZE".  
 2. "CHOOSE PAPER SOURCE BY PDF PAGE SIZE" IS SET TO...  
 ... BOTH ARE FOUND IN THE PRINTER DIALOGUE BOX.



SECTION (AT ENTRANCE)



ADDRESS: 44-46, WHITFIELD STREET  
 LONDON  
 PROJECT: OVERHANG LICENCE

DATE: 27/09/17  
 SCALE: AS SHOWN @ A3  
 DWG. NO.: CAD. NO.: 1012

**CUSHMAN & WAKEFIELD**  
 125 Old Broad Street London EC2N 1AR  
 020 7626 2000  
 www.cushmanwakefield.com  
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**ANNEX 3**

The Property









DATED

6 JULY

2018

(1) PLUMBING PENSIONS (U.K.) LIMITED

and

(2) THE MAYOR AND BURGESSES OF THE LONDON BOROUGH OF CAMDEN

**OVERHANG LICENCE**  
relating to land known as

**44-46 Whitfield Street  
London  
W1T 2RJ**

pursuant to Section 177 of the Highways Act 1980

Andrew Maughan  
Borough Solicitor  
London Borough of Camden  
Town Hall, Judd Street  
London WC1H 9LP

Tel: 020 7974 2463  
Fax: 020 7974 2963

CLS/PK/1641.40 (final)