



**75 Lawn Road, London, NW3 (LB Camden)
Planning Statement**

On behalf of: Mr Hogan and Mrs Slayton-Hogan

Contents

Page

1	Introduction	3
2	Site and Surroundings	5
3	Planning History	8
4	Proposed Development	11
5	Planning Policy Framework	13
6	Considerations of the Proposal	16
7	Summary and Conclusions	35

1 Introduction

- 1.1 This planning statement has been prepared to support the planning application submission in respect of the proposed development at 75 Lawn Road, London. NW3.
- 1.2 The building is currently in use as a residential dwelling and contains 5 bedrooms.
- 1.3 This planning application relates to the whole building.
- 1.4 Planning permission is sought from Camden Council in respect of the following proposal: -

“Erection of a single storey basement with front and rear lightwell. Single storey ground floor rear extension and part one and part two storey side extension. Side and rear dormer windows. Driveway alterations and associated alterations all in association with providing ancillary residential floorspace.”

- 1.5 The building is located in the Parkhill Conservation Area where nos. 70-85 Lawn Road (consecutive) are identified in the Conservation Area Appraisal and Management Strategy as making a positive contribution to the character and appearance of the conservation area.
- 1.6 The sections of this planning statement are set out to provide: -
 - **Section 2 - Site and Surroundings** - A description of the site and surrounding context;
 - **Section 3 - Planning History** - Details of the planning history of the building and relevant properties in the vicinity;
 - **Section 4 - Development Proposals** - Details of the development proposals;
 - **Section 5 - Planning Policy** - A summary of the relevant planning policy framework;

- **Section 6 - Planning Considerations** - An assessment of the key issues associated with the proposals;
 - **Section 7 - Summary and Conclusions.**
- 1.7 This planning statement provides a review of the relevant national, regional and local planning policy and guidance relevant to the nature of the proposals and the specific degree to which the proposals would accord with the policies of the statutory development plan.
- 1.8 The following documents are submitted in support of the planning application:-
- **Planning Application forms**
 - **Relevant Certificate (Certificate A)**
 - **Site Location Plan**
 - **Existing and proposed plans, sections and elevations**
 - **Design and Access Statement**
 - **Construction Management Plan (Draft)**
 - **Basement Impact Assessment**
 - **Ground Movement Assessment**
 - **Structural Statement**
 - **Arboricultural Report**
 - **Planning Statement**
 - **CIL Questions**
- 1.9 In summary, the proposal has the following benefits: -
- Continued use as a residential dwelling house;
 - The provision of additional and improved residential floorspace
 - The contextual design approach of the proposed alterations and extensions means that the proposal will comply with the Council's design policies.
 - The proposal will preserve and enhance the character and appearance of the conservation area.
 - A generous garden will be maintained.

2 Site and Surroundings

- 2.1 No. 75 Lawn Road is situated on the west side of the road, adjacent to numbers 74 and 76 Lawn Road.
- 2.2 The property is a two-storey semi-detached, red brick residential property with four/five bedrooms. It has a garden to the front with steps leading to the front door. There is a sloped driveway to the side of the property leading to a garage. To the rear of the property is a generous garden.

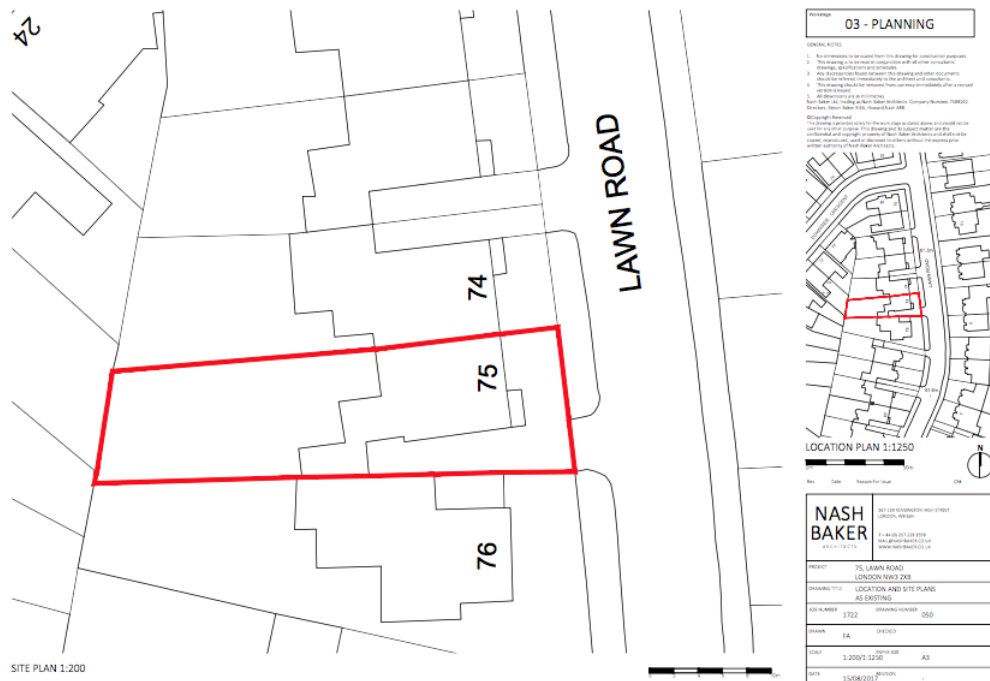


Image 1: Location Plan

- 2.3 The area is predominantly in residential use and the majority of the buildings along the west side of Lawn Road are houses built in red stock brick, semi-detached and are 2-3 storey in height. On the north side the buildings are semi-detached, 3 storeys exposed brick, Italianate stucco fronted houses.



Image 2: Street view



Image 3: Front elevation

- 2.4 The building is not listed but it is located within the Parkhill Conservation Area.
- 2.5 The Parkhill and Upper Park Conservation Area Appraisal and Management Strategy (2011) describes the character of Lawn Road as “typically of semi-detached pairs of houses with substantial trees in the front and rear gardens”.
- 2.6 The Conservation Area Appraisal also describes no’s 70-85 (consecutive) Lawn Road as making a positive contribution to the Conservation Area.
- 2.7 The site falls within the Gospel Oak Ward.
- 2.8 There is a Tree Preservation Order (TPO) on x1 Ash Tree in the rear garden of the property.
- 2.9 The property is located in a sustainable location with local retail uses being found on nearby Haverstock Hill with Belsize Park Underground Station being located within walking distance.

3 Planning History

- 3.1 A comprehensive review of the Statutory Register of Planning Applications held by the London Borough of Camden has been carried out.

75 Lawn Road

- 3.2 Planning permission (2017/6726/P) was refused on 14 March 2018 for:-

“erection of a part one/part two storey side and rear extension, side and rear dormer windows, alterations to driveway and associated works”.

- 3.3 Some key comments from the officers report are summarised below:

- The first floor front extension would be a modest extension which would incorporate a front dormer window within a new pitched roof with lower eaves almost giving the appearance of a cat slide roof. It is noted that there are other examples within the street scene whereby properties have projected forward at ground and first floor. The projections are set so far back from the front building line, the impact upon the street scheme would be minimal.
- Extending the side window above the eaves into a dormer window would not be supported as it would be a dominant addition within the street scene which breaks the eaves line.
- No objections to the driveway being altered and new soft landscaping to the front garden.
- The two storey rear extension would not be a subordinate addition to the existing dwelling.
- The roof dormers are not considered to cause a detrimental impact to the character and appearance of the existing dwelling or the surrounding area and are supported.
- It is not considered that there would be a detrimental impact to the amenities of nos. 20 and 22 Downside Crescent in regards to overlooking and privacy.
- There would be no detrimental impact on no. 76 in regards to loss of light, overbearing, overshadowing or privacy.
- There will be no impact upon no. 74 by the proposed works to the front of the property.

- The two storey rear extension would be overbearing and would create a sense of enclosure and poor outlook to no. 74. The use of red brick further adds to the extension appearing wide.

3.4 It is noted that TPO applications in relation to the felling of the Ash Tree in the rear garden were refused in 2012 and 2013.

Other relevant decisions

Recent applications

3.5 **24 Lawn Road** - Planning permission (2017/5619/P) was granted in April 2018 for:-

“Excavation for a basement extension, erection of single storey rear extension following demolition of existing, replacement of the balustrading at ground floor level and alterations to rear facade/fenestration at lower ground and ground floor level all associated with providing ancillary residential floorspace (Class C3).

3.6 **77 Lawn Road** - Planning permission (2016/1737/P) was granted in June 2017 for:-

“creation of basement to form additional living accommodation for existing dwelling and new 1 x self-contained 1 bed flat at lower ground flood level; alterations to driveway and erection of new boundary fencing; erection of part two storey and part single storey side and rear extension; alterations to fenestration and associated works”.

3.7 **81 Lawn Road** - Planning permission (2015/4039/P) was granted in September 2015 for:-

“erection of a single storey rear extension and two storey side extension following the demolition of the existing side and rear extensions and alterations to openings on side elevation”.

Historic applications (pre 2010)

3.8 **72 Lawn Road** - Planning permission (8905326) was granted in February 1990 for:-

“Construction of a new garage and utility area at ground floor level and bedroom with en-suite bathroom and balcony at first floor level of single family dwelling”.

3.9 **73 Lawn Road** - Planning permission (2004/0572/P) was granted in March 2004 for:-

“new side and rear dormer windows for the conversion of loft space into additional accommodation and the replacement of a ground floor side entrance with a window”.

3.10 **76 Lawn Road** - Planning permission was granted in 1966 for:-

“the erection of garage and car port at side and formation of new means of vehicular access to the highway”.

3.11 **78 Lawn Road** - Planning permission (2007/6177/P) was granted for:-

“installation of a dormer window in the side elevation at the front of the property”.

3.12 **79 Lawn Road** - Planning permission (9501771) was granted in March 1996 for:-

“conversion of the existing attic space into residential accommodation include the installation of a dormer window at the rear, increasing the height of the window on the landing above the eaves and the installation of a circular window to the front gable”.

3.13 It is evident from the number of applications for this group of properties, that the buildings have undergone significant change whilst still retaining the character and appearance of the area.

4 Proposed Development

4.1 It is proposed to retain the existing residential use within the building.

4.2 The main alterations/extensions to the building include:

- A basement extension comprising front and rear lightwells. The basement itself will occupy the footprint of the extended property;
- Single storey rear infill extension
- Part one/part two side extension
- Side and rear dormer to serve loft accommodation
- Driveway and landscaping alterations

Basement

4.3 It is proposed to build a single storey basement under the footprint of the extended ground floor.

4.4 This will have a small lightwell to the front of the property and a further lightwell to the rear of the property.

4.5 The basement is set in from the boundary with nos. 74 and 76 Lawn Road.

4.6 This space will provide ancillary residential accommodation to be used in connection with the existing property.

Rear infill extension

4.7 The rear extension is single storey and is proposed to line up with the rear extension of no.76 Lawn Road, providing additional accommodation at ground floor level only.

4.8 The rear extension at ground floor level will effectively infill the area behind the kitchen and adjacent to the existing garage. The existing rear building line of the garage will be maintained which is also the same depth as the rear of no. 76 Lawn Road. The extension will extend 3.6 metres into the garden from the existing kitchen.

- 4.9 The rear first floor extension which formed part of the previous application (2017/6726/P) has been removed from the proposal. The first floor to the rear will therefore remain as existing.

Side Extension

- 4.10 In terms of the front/side extension, this will extend forwards of the existing garage to line up with the side extension at no. 76 Lawn Road (although it will be set back by 200mm from the garage line of no. 76 Lawn Road). This will extend forward by 6.5 metres from the existing garage. At ground floor level the side extension will be set back by 5.8 metres from the front elevation of the property.
- 4.11 At first floor level, the side extension steps back by 4.4 metres from the building line at ground floor level.
- 4.12 The Council found this part of the previous scheme proposals acceptable.

Roof Alterations

- 4.13 The existing loft space is to be converted to form a second floor that will accommodate a bedroom/playroom with ensuite. This has not changed from the previous scheme and the Council found this part of the previous scheme proposals acceptable
- 4.14 A new dormer window will be added onto the rear elevation with a small flush velux window to the bathroom. This has not changed from the previous scheme and the Council found this part of the previous scheme proposals acceptable
- 4.15 The previously proposed feature window which extended above the eaves into a dormer has been replaced with a dormer window so as not to break the eaves line.

Front elevation

- 4.16 The driveway and front steps will be altered along with new soft landscaping to the front garden.

5 Planning Policy Framework

- 5.1 National Policy Guidance is produced by Central Government in the form of the National Planning Policy Framework, adopted in March 2012. This is a material consideration when determining planning applications.
- 5.2 The Statutory Development Plan comprises of regional policies with the Mayor's London Plan (Consolidated with Alterations since 2011) (herein referred to as "LP"), adopted in March 2016 and at a local level the London Borough of Camden Local Plan adopted in 2017.
- 5.3 Supplementary Planning Guidance known as Camden Planning Guidance is also a material consideration along with the Parkhill Conservation Area Statement.
- 5.4 The draft New London Plan was published in December 2017 and is considered to be a material consideration in planning decisions although it will not be examined until end of 2018/early 2019.
- 5.5 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the statutory development plan unless material considerations indicate otherwise.

National Planning Policy Guidance

The National Planning Policy Framework (March 2012)

- 5.6 The NPPF document sets out the Government's planning policies for England and how these are expected to be applied. It summarises in a single document, previous national planning policy statements. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions.
- 5.7 The NPPF introduces the presumption in favour of sustainable development although it makes plain that the development plan is still the starting point for decision making.

Regional Planning Policy - The London Plan

Spatial Development Strategy for Greater London, March 2016 (Consolidated with Alterations since 2011)

- 5.8 The LP sets out the relevant London-wide planning policy guidance, the relevant regional planning policy guidance for the Borough and forms a component part of the statutory development plan.
- 5.9 It aims to set out a framework to co-ordinate and integrate economic, environmental, transport and social considerations over the next 20-25 years. The LP is the London-wide policy context within which the boroughs set their local planning agendas.
- 5.10 The proposal has taken into account the most relevant LP policies and guidance affecting the proposals for the building. LP policies are referred to, where relevant, in Section 6 (Planning Considerations) of this Statement.
- 5.11 In addition to the LP, the Mayor has produced more detailed strategic guidance of issues, which cannot be addressed in sufficient detail in the Plan, through SPG documents. This does not set out any new policies but provides guidance of policies established by the LP.
- 5.12 The following policies from the LP are considered relevant to the proposals: -
- Policy 3.14 - Existing housing
 - Policy 7.4 - Local character
 - Policy 7.6 - Architecture
 - Policy 7.8 - Heritage Assets and Archaeology
- 5.13 The following policies from the draft New London Plan 2017 are considered relevant:-
- Policy D2 - Delivering Good Design
 - Policy D9 - Basement Development

Camden Local Plan (2017)

- 5.14 The Local Plan was adopted by Council on 3 July 2017 and has replaced the Core Strategy and Camden Development Policies documents as the basis for planning decisions and future development in the borough.

5.15 The following Local Plan Policies are considered relevant to the determination of these proposals: -

H1 - Maximising Housing Supply

H3 - Protecting Existing Homes

D1 - Design

D2 - Heritage

A1 – Managing the Impact of Development

A4 – Noise and Vibration

A5 – Basement Development

T2 - Parking and car-free development

Supplementary Planning Guidance

5.16 The relevant LBC Supplementary Planning Guidance includes:-

The Parkhill Conservation Area Statement (March 2011)

Camden Planning Guidance 1 (CPG1) - Design (March 2018)

Camden Planning Guidance - Interim Housing (March 2018)

Camden Planning Guidance - Basements (March 2018)

Camden Planning Guidance - Amenity (March 2018)

6 Considerations of the proposal

- 6.1 This sections assesses the key planning considerations associated with the proposals.
- 6.2 These are:-
- a) Creation of a basement and front and rear lightwells
 - b) Design of the proposed extensions and alterations
 - c) Impact of the proposed extensions and alterations upon the character and appearance of the Conservation Area
 - d) Amenity
 - e) Other considerations

Creation of a basement and front and rear lightwells

- 6.3 Local Plan Policy A5, Basements, states that the Council will: -

“Only permit basement development where it is demonstrated to its satisfaction that the proposal would not cause harm to:

- a) neighbouring properties;
- b) the structural, ground, or water conditions of the area;
- c) the character and amenity of the area;
- d) the architectural character of the building; and
- e) the significance of heritage assets.

In determining proposals for basements and other underground development, the Council will require an assessment of the scheme’s impact on drainage, flooding, groundwater conditions and structural stability in the form of a Basement Impact Assessment and where appropriate, a Basement Construction Plan.

The siting, location, scale and design of basements must have minimal impact on, and be subordinate to, the host building and property. Basement development should:

- f) not comprise of more than one storey;
- g) not be built under an existing basement;
- h) not exceed 50% of each garden within the property;
- i) be less than 1.5 times the footprint of the host building in area;
- j) extend into the garden no further than 50% of the depth of the host building measured from the principal rear elevation;
- k) not extend into or underneath the garden further than 50% of the depth of the garden;

- l) be set back from neighbouring property boundaries where it extends beyond the footprint of the host building; and
- m) avoid the loss of garden space or trees of townscape or amenity value.

Exceptions to f. to k. above may be made on large comprehensively planned sites.

The Council will require applicants to demonstrate that proposals for basements:

- n) do not harm neighbouring properties, including requiring the provision of a Basement Impact Assessment which shows that the scheme poses a risk of damage to neighbouring properties no higher than Burland Scale 1 'very slight';
- o) avoid adversely affecting drainage and run-off or causing other damage to the water environment;
- p) avoid cumulative impacts;
- q) do not harm the amenity of neighbours;
- r) provide satisfactory landscaping, including adequate soil depth;
- s) do not harm the appearance or setting of the property or the established character of the surrounding area;
- t) protect important archaeological remains; and
- u) do not prejudice the ability of the garden to support trees where they are part of the character of the area.

The Council will not permit basement schemes which include habitable rooms and other sensitive uses in areas prone to flooding.

We will generally require a Construction Management Plan for basement developments.

Given the complex nature of basement development, the Council encourages developers to offer security for expenses for basement development to adjoining neighbours".

- 6.4 In accordance with Local Plan Policy CC3, Water and flooding, the Council will seek to ensure that the development does not increase flood risk and reduces the risk of flooding where possible.
- 6.5 CPG 4 advises that the Council will only permit basement and underground development that does not cause harm to the built and natural environment and local amenity; result in flooding or lead to ground instability.
- 6.6 The Council will require applicants to demonstrate by methodologies appropriate to the site that schemes:
 - o maintain the structural stability of the building and neighbouring properties;

- avoid adversely affecting drainage and run-off or causing other damage to the water environment; and
 - avoid cumulative impacts upon structural stability or the water environment in the local area.
- 6.7 Paragraph 2.23 of the Basements CPG states that **“a lightwell to the side or rear of a property is often the most appropriate way to provide a means of providing light to a new or extended basement development and can often provide a link to the rear garden”**.
- 6.8 A schedule of Policy A5/CPG4 and responses is included at Appendix 1.

Assessment

- 6.9 The creation of a basement has enabled the architects to maximise the potential of the property and ensure the efficient use of the site.
- 6.10 The basement extension will extend under the proposed footprint of the dwelling (i.e. the extended footprint at ground floor level and therefore the enlargement of the existing basement has been designed in accordance with Policy A5.
- 6.11 The site is not in an area prone to flooding so the inclusion of habitable rooms at lower ground floor level should be acceptable to the Council.
- 6.12 In accordance with CPG 4 the basement will not cause harm to the built and natural environment or local amenity. It will also not result in flooding or lead to ground instability. A Basement Impact Assessment and Construction Management Plan is submitted as part of the application documentation to demonstrate this.
- 6.13 It is noted that several other similar basement extensions to properties have been approved by the Council in the surrounding area, for example at 77 Lawn Road and 24 Lawn Road.

- 6.14 The basement proposal at 77 Lawn Road had a larger footprint than that of the above-ground part of the resultant building as it extended out to the rear underneath the patio area.
- 6.15 The Council considered that this was acceptable along with front, side and rear lightwells as these were **“all relatively modest in size and it is considered that they would be subordinate to the host building. Furthermore, it is considered that the lightwells would be in keeping with the design of the host building and the proposal would retain a generous sized garden”** (officers report, paragraph 6.3).
- 6.16 In the officers’ report the Council stated in respect of the lightwells that **“whilst it may be possible to discern the new front and side lightwells from the street, they are unlikely to be prominent in views of the house, because of the intervening change in ground levels. Furthermore, the lightwells would be secured with a grille, set flush with the ground level, which would minimise their visibility”** (officers report, paragraph 6.4).
- 6.17 As set out above, Appendix 1 to this statement includes a detailed assessment against the Council’s basement policy (Policy A5).
- 6.18 A Basement Impact Assessment has been prepared by Site Analytical Services Ltd. This has been produced to meet the requirements of CPG Basements. This concludes that the proposed basement is not considered to result in a significant change to groundwater flow in the vicinity of the proposal. It states that the limited scope of the scheme and limited increase in impermeable areas will comply with the surface water management and flood risk elements of the NPPF and Camden Policy.
- 6.19 A Construction Management Plan has been prepared by Kias Services Ltd. This will help minimise construction impacts and relates to on site activity and transport arrangements for vehicles servicing the site. The CMP follows TfL best practice guidelines and Camden’s minimum requirements for building construction.
- 6.20 Overall, the proposed new basement complies with Policy A5 and CPG4 and should be acceptable to the Council.

Design of the proposed extensions and alterations

- 6.21 The Government attaches great importance to the design of the built environment in the NPPF. Paragraph 56 states that good design is a key aspect of sustainable development, is indivisible from good planning and should contribute positively to making places better for people.
- 6.22 At paragraph 57 the NPPF stipulates that it is important to plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes.
- 6.23 LP policies 7.4, 7.5 and 7.6 relate to ensuring that development respects the local character of the area, promotes high quality public realm, and ensures that the architecture makes a positive contribution to a coherent public realm, streetscape and wider cityscape.
- 6.24 At a local level Policy D1 Design, states that the Council will seek to secure high quality design in development. The Council will require that development:
- respects local context and character;
 - preserves or enhances the historic environment and heritage assets in accordance with “Policy D2 Heritage”;
 - is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;
 - is of sustainable and durable construction and adaptable to different activities and land uses;
 - comprises details and materials that are of high quality and complement the local character;
 - integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage;

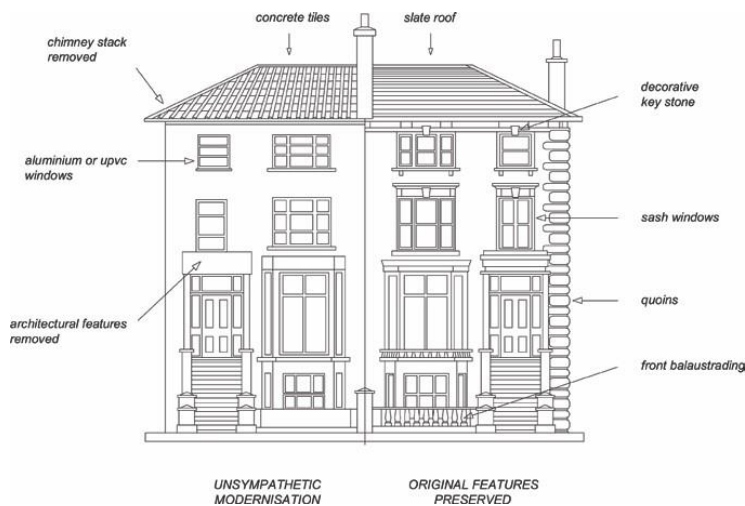
- is inclusive and accessible for all;
- promotes health;
- is secure and designed to minimise crime and antisocial behaviour;
- responds to natural features and preserves gardens and other open space;
- incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example through planting of trees and other soft landscaping,
- incorporates outdoor amenity space;
- preserves strategic and local views;
- for housing, provides a high standard of accommodation; and
- carefully integrates building services equipment.

The Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

6.25 The Camden Planning Guidance (2015) on Design (CPG1) provides more detailed information on design issues.

6.26 In relation to alterations, the CPG states that (in summary), timber is the traditional window material and new windows should match the originals as closely as possible, characteristic doorway features such as porches should be retained where they make a positive contribution to the character of groups of buildings. Materials should complement the colour and texture of materials in the existing building.

6.27 The CPG includes a diagram demonstrating appropriate and inappropriate alterations to residential facades. This is attached below.



6.28 With regards to rear extensions, the CPG provides some general principles. It states that rear extensions should:-

- Be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing;
- Respect and preserve the original design and proportion of the building, including its architectural period and style;
- Respect and preserve existing architectural features such as projecting bays, decorative balconies or chimney stacks;
- Respect and preserve the historic pattern and established townscape,
- Not cause a loss of amenity to adjacent properties with regard to sunlight, daylight, outlook, overshadowing, light pollution, privacy/overlooking and sense of enclosure;
- Allow for the retention of a reasonable sized garden;
- Retain the open character of existing natural landscaping and garden amenity.

6.29 Paragraph 4.12 states that ground floor extensions are generally considered preferable to those at higher levels and the width of extensions should be designed so that they are not visible from the street and respect the rhythm of existing rear extensions.

6.30 With regards to roof extensions and terraces, the CPG states that additional storeys and alterations are likely to be acceptable where:-

- There is an established form of roof addition or alteration to a terrace or group of similar buildings and where continuing the pattern of development would help to re-unite a group of buildings and townscape;
- Alterations are architectural sympathetic to the age and character of the building and retain the overall integrity of the roof form;
- There are a variety of additions or alterations to roofs which create an established pattern and where further development of a similar form would not cause additional harm.

Assessment

Part two/part single storey side extension

- 6.31 At ground (32.4 sqm) and first floor (6.1 sqm) levels, the property will be extended to create an additional 38.5 square metres of (GEA) floorspace for the host building.



Image: Existing side extension (nos. 75 and 76 Lawn Road)

- 6.32 At ground floor level the side extension will replace the existing garage to the side of the host building and will extend forwards. It will be set back by 200mm from the front elevation of the garage at no. 76 Lawn Road (the line of the adjacent garage in the image above). The proposed façade treatment will take on the appearance of a traditionally detailed garage door, which is considered appropriate.
- 6.33 The existing garage and first floor side extension is not considered to make a positive contribution to the character and appearance of the host building or the conservation

area. As a result, its removal and replacement with a well designed part two, part single storey extension should be welcomed.

- 6.34 The extension will be set back considerably from the front elevation by 5.8 metres to ensure that this element reads as a subordinate addition to the building.
- 6.35 The proposed first floor extension will be visible in the street scene along Lawn Road but it will step in by 4.4 metres from the ground floor element, thereby maintaining the gap with the neighbouring properties. It will be carefully detailed with a dormer window and a pitched roof. The trees in the garden beyond will still remain visible from the street.
- 6.36 Overall, this element is considered to be of a high quality design and will respect the townscape where this is an established form of extension amongst this group of properties. See precedent images below.



Image of No. 72 Lawn Road - Part single part two storey side extension



Image: 73 and 74 Lawn Road -two storey extensions



Image: No. 82 Lawn Road, two storey side extension

- 6.37 The Council's delegated report into the previous application states at paragraph 4.2 in respect of the front/side extension that **“the front projections are set so far back from the front building line, the impact on the street scene would be minimal. It is therefore considered the design, scale and use of materials for these elements would be considered proportionate to the original dwelling and would not be out of keeping within the street scene”**.

Single storey rear extension

- 6.38 The proposed rear extension will be brought in line with the rear extension at no. 76 Lawn Road and will extend over ground floor only. The rear projecting part of the new extension will extend out to the rear of the host building by 3.6 metres.

- 6.39 The extension effectively infills the corner between the garage and the kitchen in the main part of the house.
- 6.40 There are a number of examples of rear projecting extensions on this group of properties.
- 6.41 The proposed rear extension has been designed to ensure it will appear as secondary to the building being extended. It will respect and preserve the original design and proportions of the building. It will also respect the historic pattern of the rear of these properties which are characterised by extensions. This will ensure it accords with Camden's Design SPG and specifically the criteria set out under paragraph 4.10.
- 6.42 The single storey infill extension will be secondary to the building. It represents an extension of 3.7 width and 3.6 depth (a total of 13.5 sqm GEA). This is similar to the ground floor rear extensions to the adjacent properties.
- 6.43 It has been designed to reflect the original design and proportions of the building.
- 6.44 There will be no loss of amenity. The views prepared by Nash Baker Architects show how the proposed extension will be viewed from the adjacent property. It is evident from these images that there will be no sense of enclosure, overshadowing or overbearing impact on this property (see images below).



Existing dining room view from no. 74 Lawn Road



Proposed dining room view from no. 74 Lawn Road



Existing reception room view from no. 74 Lawn Road



Proposed reception room view from no. 74 Lawn Road

- 6.45 Officers accepted that there would be no impact on sunlight and daylight as a result of the previously proposed two storey rear extension. As a result, it is evident that there would be no sunlight and daylight impact as a result of the currently proposed single storey extension.
- 6.46 A garden of 159 sqm will be retained taking into account the rear extension and the proposed lightwell. The open character of garden amenity and landscaping will not be affected by the proposals.
- 6.47 In accordance with paragraph 4.12 of the SPG, the extension is at ground floor level and the extension is not visible from the street. The proposed extension reflects the rhythm of existing rear extensions along this group of properties.
- 6.48 As a result it is considered that the rear extension will have a minimal impact both on surrounding properties and the appearance of the building and the Conservation Area as a whole. The extension will read as a subordinate addition to the original building in accordance with the provisions of the CPG.
- 6.49 The extension will be built in white render to match the existing neighbouring buildings.
- 6.50 A generous rear garden of 15 to 20.5 metres will be maintained.

Roof level alterations

- 6.51 A new dormer window will be introduced at second floor level to the rear of the roof to allow light into the new room at this level.
- 6.52 This is a common feature of these properties and is not out of keeping with the character and appearance of the host property or the surrounding area.
- 6.53 Officers found these elements of the previous proposal acceptable.

Fenestration Alterations

- 6.54 There will be no change to the fenestration on the front elevation of the property and limited alterations are proposed to this elevation. This is considered to be sympathetic to the existing building and streetscene.
- 6.55 Replacement garage doors with glazed upper sections will be installed in the front elevation of the new side extension. A new dormer window is proposed at first floor level, which will be traditionally detailed to match those on the existing building. This will replace the existing single window at first floor level which is out of keeping with the building and detracts from its appearance.
- 6.56 The previously proposed staircase feature window on the side elevation has been replaced with a dormer window which does not extend above the eaves. The existing feature window on the side elevation will be retained with a new obscured leaded dormer window above.
- 6.57 This is considered to accord with the Conservation Area Appraisal which seeks appropriate dormer windows which are not dominant additions.
- 6.58 Overall, the proposed extensions and alterations are considered to be of a high standard of design and will comply with local design policies and guidance contained within CPG1 - Design and Policy D1 of the Local Plan.

Impact upon the character and appearance of the Conservation Area

- 6.59 Under paragraph 128 of the NPPF, in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting.
- 6.60 Paragraph 131 states that in determining planning applications, local planning authorities should take account of:-
- The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation

- The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- The desirability of new development making a positive contribution to local character and distinctiveness.

6.61 A proposal should not lead to substantial harm to or total loss of significance of a designated heritage asset unless it can be demonstrated that the harm or loss is necessary to achieve substantial public benefits (paragraph 133).

6.62 Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal (paragraph 134).

6.63 The effect of an application on the significance of non-designated heritage assets should be taken into account in determining the application (paragraph 135).

6.64 Policy D2 Heritage states that the Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

6.65 In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas.

- The Council will:
- require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;
- resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;
- resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and

preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage.

Assessment

- 6.66 The host building along with the group from 70-85 Lawn Road make a positive contribution to the character and appearance of the conservation area.
- 6.67 The proposed alterations and extensions to the building will undoubtedly enhance the appearance of the building and as a result the character and appearance of the Conservation Area will be enhanced.
- 6.68 The basement and front lightwell are modest in respect of their visibility from the street and are not considered to have an adverse impact upon the character and appearance of the conservation area.
- 6.69 The side extension will be visible from the street scene but this element of the proposal reflects similar, well designed side extensions that have been constructed along this group of properties. It will be traditionally detailed and remove the existing, poor quality two storey garage extension which detracts from the appearance of the Conservation Area. Officers considered these would be proportionate to the original dwelling and not out of keeping with the street scene.
- 6.70 The ground floor rear projecting extension will have a limited impact upon the character and appearance of the Conservation Area. It will not be visible from the street and only extends from the rear building line by 3.6 metres. As a result it will remain subordinate to the host building.
- 6.71 There are other examples of rear projecting extensions on Lawn Road, including at Nos. 77 (ref. 2016/1737/P) and 78 Lawn Road.
- 6.72 The roof level alterations will be limited in terms of their visual impact to the rear of the building. The alterations proposed will therefore not have a noticeable impact upon the overall character and appearance of the conservation area.

6.73 The fenestration alterations will be well designed and reflect the architectural features present on many of these buildings.

6.74 The use of materials and design of the front, rear and side extensions and fenestration alterations will preserve and enhance the character and appearance of the Conservation Area in accordance with the provisions of the NPPF, the London Plan, Policy D2 of the Local Plan and the Conservation Area Appraisal.

Amenity

6.75 Local Plan Policy A1, Managing the impact of development, states that the Council will:-

“seek to protect the quality of life of occupiers and neighbours. We will grant permission for development unless this causes unacceptable harm to amenity. We will:

- **seek to ensure that the amenity of communities, occupiers and neighbours is protected;**
- **seek to ensure development contributes towards strong and successful communities by balancing the needs of development with the needs and characteristics of local areas and communities;**
- **resist development that fails to adequately assess and address transport impacts affecting communities, occupiers, neighbours and the existing transport network; and**
- **require mitigation measures where necessary”**

6.76 The factors the Council will consider include:

- visual privacy, outlook;
- sunlight, daylight and overshadowing;
- artificial lighting levels;

- transport impacts, including the use of Transport Assessments, Travel Plans and Delivery and Servicing Management Plans;
- impacts of the construction phase, including the use of Construction Management Plans;
- noise and vibration levels;
- odour, fumes and dust;
- microclimate;
- contaminated land; and
- impact upon water and wastewater infrastructure.

6.77 Camden's Planning Guidance relating to amenity provides detailed information relating to overlooking, privacy and outlook.

6.78 This states that development should be designed to protect the privacy of both new and existing dwellings to a reasonable degree. It states that design measures to reduce overlooking and loss of privacy include obscured glazing, screening.

Assessment

6.79 Issues surrounding amenity have been carefully considered as part of the design development stage and it is considered that the proposals will not result in any adverse amenity impacts.

6.80 The main property that is likely to be affected is no. 74 Lawn Road (the adjoining property). Officers accepted as part of the previous proposals that nos. 20 and 22 Downside Crescent would not be affected by the proposal. Officers also accepted that there would be no detrimental impact upon the amenities of no. 76 Lawn Road.

6.81 Other properties are considered to be sufficiently removed from the host building so as not to be adversely affected by the proposal.

- 6.82 Officers considered that the two storey rear extension previously proposed would have a detrimental impact upon amenities of no. 74 and as a result this element of the proposal has been reduced to a single storey extension.
- 6.83 It is evident that the proposed single storey extension will not overshadow or be overbearing upon no. 74. There will be no sense of enclosure experienced by the adjacent property as demonstrated by the views prepared by Nash Baker Architects (included at paragraph 6.44).
- 6.84 The proposed side and rear extensions have been designed to limit the impact on the neighbouring properties and it is not considered that they would cause any undue loss of light or outlook or appear overbearing when viewed from the neighbouring properties. The fenestration has also been designed to prevent undue overlooking into neighbouring gardens. Any views into neighbouring gardens would be at an oblique angle rather than direct, which is considered to be acceptable.

Other Matters

- 6.85 **Transport** - The application site has a PTAL level of 4, which means it is reasonably accessible to public transport. In accordance with Local Plan Policy T1 and T2, parking will be provided on site on the driveway. The removal of the existing garage will reduce the amount of on-site parking which accords with planning policy.
- 6.86 Alterations to the driveway are proposed but these are not considered to affect the highway.
- 6.87 **Trees** - An Arboricultural Report has been undertaken by Landmark Trees. This states at section 6 that the rear extension does not encroach within the RPA of any retained tree and therefore has no arboricultural impact. Alterations to the front garden will ensure that soft landscaping is maintained.
- 6.88 The Tree Report concludes that there are no impacts on trees as a result of the proposed development.

7 Summary and Conclusions

- 7.1 The proposed alterations and extensions to this building will provide improved residential floorspace and a high-quality environment for the current owners. The scheme is an excellent design conceived by Nash Baker Architects.
- 7.2 The proposal will result in the increase of residential floorspace. The proposal will result in rationalised and improved accommodation throughout the building. The proposal therefore complies with local policies relating to the provision of high quality residential accommodation.
- 7.3 The proposed extensions and alterations have been carefully designed to ensure they read as subordinate additions and alterations to the property.
- 7.4 The proposed basement fully complies with the provisions of Policy A5 and CPG4.
- 7.5 Careful consideration has been given to the relevant policies and in particular the Camden Planning Guidance relating to design, throughout the design development process.
- 7.6 The proposed side and rear extensions are subordinate to the existing building and whilst being visible from the street, reflect the architectural approach adopted along this group of properties. They will create important additional residential floorspace whilst retaining a generous rear garden.
- 7.7 The use of materials and design of the front, rear and side extensions will preserve and enhance the character and appearance of the Conservation Area.
- 7.8 The Arboricultural Report concludes that there are no impacts on trees as a result of the development.
- 7.9 Overall, the proposal complies with the relevant policies at national, regional and local level and it is therefore considered that the proposal is acceptable in planning terms and planning permission should be granted.