

75 Lawn Road, London, NW3

Camden Basement Assessment Policy Assessment

2 May 2018

Introduction

This document provides an assessment of the proposed scheme in relation to Camden's policies relating to basements. This includes Local Plan Policy A5 and guidance within CPG4 (March 2018).

The following points are considered important to the assessment of the proposed scheme:-

- 1) Prior to June 2017 and the introduction of the Article 4 Direction relating to basement development, planning permission was generally not required for a basement that **“is built entirely underneath a property and does not extend beyond it, for example, underneath the garden or surrounding land” (CPG 4, 1.15).**
- 2) The proposed basement scheme will protect against flooding, ground instability and damage to neighbouring buildings as set out within the BIA. This is a key policy consideration which the Council uses to control the overall size of basements.
- 3) In addition, the Council will seek to control the size of basement development to protect the character and amenity of the area, quality of gardens and vegetation. A generous rear garden of 159 sqm will be retained as part of the proposals.
- 4) With regards to criterion j, there is no definition of “principal rear elevation” within the CPG and as a result we have adopted the DCLG Technical Guidance for Householders. This clearly states that where the original rear wall of a dwelling house is “stepped” then each of these walls will form the rear wall of the dwelling house and that a “principal elevation” can have more than one wall facing the same direction. In these cases, all walls will form the principal elevation. In the case of 75 Lawn Road, this generates three measurements for the extent of the basement into the garden. This is calculated below.
- 5) The proposal therefore complies with all elements of Policy A5 and CPG4 in terms of the size of basements.

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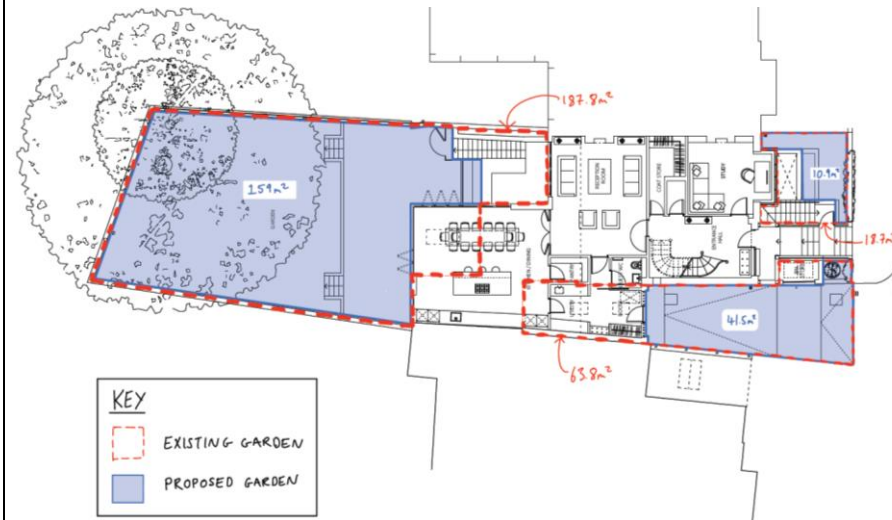
	Camden Local Plan 2017 Policy A5	Response	Complies (Y/N)
	The Council will only permit basement development where it is demonstrated to its satisfaction that the proposal would not cause harm to:		
	a) neighbouring properties	Assessed within the BIA and Construction Method Statement	Yes
	b) the structural, ground, or water conditions of the area;	Assessed within the BIA and Construction Method Statement	Yes
	c) the character and amenity of the area;	Basements are a common feature of the surrounding area. The basement has been carefully designed to ensure that it is visible in only limited views. The front lightwell is modest in size and designed to be subordinate to the host building and therefore does not harm the character and amenity of the area.	Yes
	d) the architectural character of the building; and	As above, the architectural character of the building when viewed from the street will be largely unchanged given the rising ground level from the street (see Section BB as proposed). The proposal has been carefully designed to ensure that the proposed alterations to the rear elevation will not cause harm to the architectural character of the building. The rear elevation is only visible from very limited private views.	Yes


	e) the significance of heritage assets.	The proposal will not affect the significance of the existing building or the character and appearance of the Conservation Area.	Yes
	In determining proposals for basements and other underground development, the Council will require an assessment of the scheme's impact on drainage, flooding, groundwater conditions and structural stability in the form of a Basement Impact Assessment and where appropriate, a Basement Construction Plan.	A Basement Impact Assessment is submitted with the planning application. This has assessed the impact of the proposal on drainage, flooding, groundwater conditions and structural stability and concludes that the proposed basement is not considered to result in a significant change to groundwater flow in the vicinity of the proposal. It states that the limited scope of the scheme and limited increase in impermeable areas will comply with the surface water management and flood risk elements of the NPPF and Camden Policy.	Yes
	The siting, location, scale and design of basements must have minimal impact on, and be subordinate to, the host building and property. Basement development should:		
	f) not comprise of more than one storey;	The proposed basement comprises one storey.	Yes
	g) not be built under an existing basement;	The proposed basement will not be built under an existing basement. The property does not have an existing basement.	Yes

h) not exceed 50% of each garden within the property;

The basement and lightwells will not exceed 50% of either the front or the rear garden. The existing front gardens are 82.5 sqm and the lightwell will occupy 12.34% of the front garden. The existing rear garden area is 187.8 sqm. The proposed 'unaffected' garden area (i.e. outside the basement and lightwell is 159 sqm (84.66 % of the rear garden).

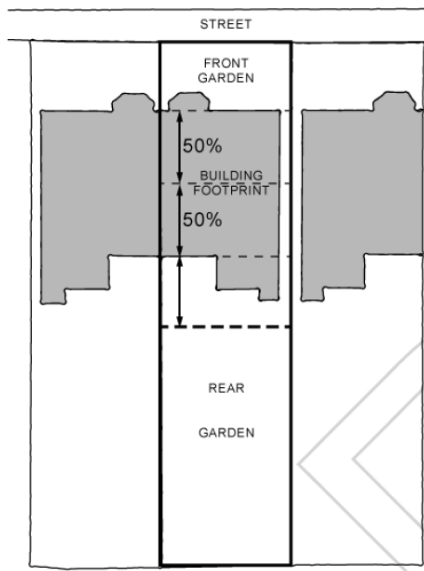
Yes



	<p>i) be less than 1.5 times the footprint of the host building in area;</p>	 <p>The footprint of the original host building at ground floor as existing prior to 1 July 1948 is 123 sqm. 1.5 times the original host building footprint would be 184.5 sqm. The proposed basement area equates to 153 sqm (excluding the front and rear lightwell). This is 1.25 times the area of the original host building.</p>	<p>Yes</p>
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- j) extend into the garden no further than 50% of the depth of the host building measured from the principal rear elevation

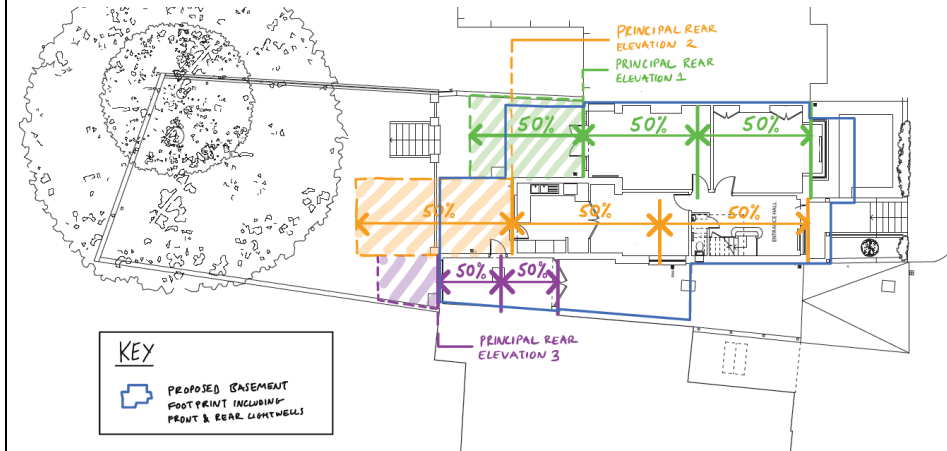
Figure 6. Criterion j.



Extract from 1935/6 OS Map -

The property had three principal rear elevations which existed prior to 1 July 1948.

Yes




Principal Rear Elevation 1

The depth of the host building as measured from the principal front elevation to principal rear elevation 1 (excluding bay windows) is 11.1m. Based upon 50% of this depth, a basement extension of 5.55m should be permitted into the garden from principal rear elevation 1.

Principal Rear Elevation 2

The depth of the host building as measured from the principal front elevation to the centre of principal rear elevation 2 (excluding bay windows) is 14.5m. Based

		<p>upon 50% of this depth, a basement extension of 7.25m should be permitted into the garden from principal rear elevation 2.</p> <p><u>Principal Rear Elevation 3</u></p> <p>The depth of the host building as measured from the principal front elevation to the centre of principal rear elevation 3 (excluding bay windows) is 5.8m. Based upon 50% of this depth, a basement extension of 2.9m should be permitted into the garden from principal rear elevation 3.</p>	
	<p>k) not extend into or underneath the garden further than 50% of the depth of the garden;</p>		<p>Yes</p>

		<p>At the rear, the depth of the garden is 22.1 metres (of which 50% is 11m) and the lightwell extends into the garden by 3.9 metres.</p> <p>At the front, the depth of the garden is 4.8 metres (of which 50% is 2.4m) and the lightwell extends into the garden by 1.2 metres.</p>	
	l) be set back from neighbouring property boundaries where it extends beyond the footprint of the host building; and	Where the basement and lightwell extends into the garden beyond the footprint of the host building, it is set back from neighbouring property boundaries (see Basement Floor Plan As Proposed).	Yes
	m) avoid the loss of garden space or trees of townscape or amenity value.	There will be no loss of garden space or trees of townscape or amenity value as a result of the proposals. See Tree Report	Yes
	Exceptions to f. to k. above may be made on large comprehensively planned sites.	Not applicable	N/A
	The Council will require applicants to demonstrate that proposals for basements:		
	n) do not harm neighbouring properties, including requiring the provision of a Basement Impact Assessment which shows that the scheme poses a risk of damage to neighbouring	A BIA is submitted with the application.	Yes

	properties no higher than Burland Scale 1 'very slight';		
	o) avoid adversely affecting drainage and run-off or causing other damage to the water environment;	This is covered within the BIA at Section 3.5	Yes
	p) avoid cumulative impacts;	This is covered within the BIA	Yes
	q) do not harm the amenity of neighbours;	This is covered within the BIA.	Yes
	r) provide satisfactory landscaping, including adequate soil depth;	See Tree Report	
	s) do not harm the appearance or setting of the property or the established character of the surrounding area;	As above, the architectural character of the building when viewed from the street will be enhanced through a number of alterations to the property. The proposed front lightwell will be modest and remain subordinate to the host building. There will be limited visibility of the proposed front lightwell due to level changes from the street.	Yes
	t) protect important archaeological remains; and	Not applicable.	

	u) do not prejudice the ability of the garden to support trees where they are part of the character of the area.	See Tree Report	Yes
	The Council will not permit basement schemes which include habitable rooms and other sensitive uses in areas prone to flooding.	This area is in Flood Zone 1 which has a low probability of flooding. Please refer to the submitted GeoSmart Flood Risk Assessment for more details.	Yes
	We will generally require a Construction Management Plan for basement developments.	A Construction Management Plan is submitted with the application. This has already been circulated in draft to the neighbours.	
	Given the complex nature of basement development, the Council encourages developers to offer security for expenses for basement development to adjoining neighbours”.		