

Mr Peter Short
Project 5 Architecture LLP
8 Waterson Street
London
E2 8HL

Application Ref: **2018/0270/L**
Please ask for: **Elizabeth Martin**
Telephone: 020 7974 **1204**

26 June 2018

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
48 Frederick Street
London
WC1X 0ND

Proposal:
Replacement of doors and windows and internal works.
Drawing Nos:

The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: Proposed TV Aerial Details, Site Location Plan, Existing Basement Plan, Proposed Basement Plan, Existing Ground Floor Plan, Proposed



Ground Floor Plan, Existing First Floor Plan, Proposed TV Aerial details, Existing Basement Plan, Proposed Basement Plan, Existing Ground Floor Plan, Proposed Ground Floor Plan, Existing First Floor Plan, Proposed First Floor Plan, Existing Second Floor Plan, Proposed Second Floor Plan, Existing Third Floor Plan, Proposed Third Floor Plan, Existing Roof Plan, Proposed Roof Plan, Existing Rear elevation-part only, Proposed Rear elevation- part only, Proposed Secondary Glazing, Proposed Secondary Glazing Details, Proposed Basement Front Door Security gate, Proposed Basement Dry Lining Details, proposed Basement Damp-proofing repairs, Design, Access and Heritage Statement.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Reason for granting listed building consent: The application incorporates a number of repair and refurbishment works covered by phase 8 of a phased repair programme by One Housing Group. Planning permission (under 2017/6804/P) and Listed Building consent are being sought for the following alterations (in addition to other minor alterations identified on the submitted drawings):
 - Selectaglaze secondary glazing (locations identified on drawings);
 - A communal satellite dish (painted black) is also proposed to the main roof;
 - Addition of plasterboard dry-lining on a protective membrane to the existing basement brick walls.

It is noted that in earlier phases of the project, a schedule of repairs and window replacement was not requested prior to the applications being approved. This approach is not best practice and going forward, this information will be required prior to permission being granted. In this case, the note relating to defective non-original sash windows being replaced will remain on the drawing, and the required information will be obtained via condition.

It is considered that subject to the applied conditions, that the proposed works will not harm the special interest of the grade-II-listed building. The proposed works will not harm neighbouring amenity.

No objections have been received prior to making this decision. The site's planning history was taken into account when coming to this decision.

The application has been advertised in the press and by means of a site notice, whereby there were no consultation responses. The site's planning history has been taken into account in making this decision.

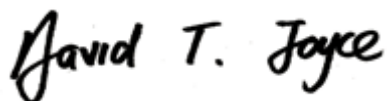
Special attention has been paid to the desirability of preserving the special interest of the listed building, under s.16 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013

As such, the proposal is in general accordance with policy D2 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2016 and the NPPF.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning