

Application ref: 2018/0455/P
Contact: Patrick Marfleet
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Date: 22 June 2018

Development Management
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Jestico + Whiles
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Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Approval of Details Granted

Address:

Hampstead School
Westbere Road
London
NW2 3RT

Proposal:

Details pursuant to Condition 5 (remediation measures prior to occupation) and Condition 6 (ground contamination and remediation measures following demolition of Building 6) of planning permission 2015/1672/P dated 17/07/2015 (Demolition of main teaching building (Building 6) and ancillary school buildings (Buildings 7 and 8), minor refurbishment works to Building 3 and erection of new three-storey teaching building and part single, part two-storey sports centre building including provision of new outdoor sport and recreation areas and associated hard and soft landscaping works).

Drawing Nos: Completion Report ref: 062980 dated 24/01/2018

Informative(s):

- 1 Condition 5 of the original permission requires that at least 28 days before development commences, a written scheme of remediation measures shall be submitted to and approved by the local planning authority. It also requires a further written report detailing the remediation undertaken to be submitted to and approved by the local planning authority prior to occupation.

An application containing details of a written scheme of remediation measures was approved in 2015 (ref: 2015/4152/P) which partially discharged Condition 5. The current application seeks to discharge the remaining part of the condition relating to a written report detailing the remediation undertaken at the site prior to occupation.

Condition 6 of the original permission requires an investigation of contamination and a written scheme of remediation measures to be submitted and approved following the demolition of Building 6.

The Council's Contaminated Land Officer has reviewed the submitted completion reports and is satisfied that the remediation works have been adequately completed, ensuring the future occupiers of the development would be protected from the possible presence of ground contamination arising in connection with the previous industrial/storage use of the site. Condition 5 and 6 of permission 2015/1672/P can therefore be discharged.

The full impact of the proposed development has already been assessed. The sites planning history has been taken into account when making this decision.

As such, the submitted details are in general accordance with policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

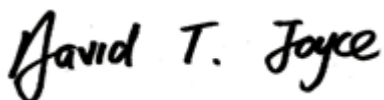
- 2 You are advised that all conditions relating to planning permission 2015/1672/P dated 17/07/2015 which need details to be submitted, have been approved.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning