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METHOD STATEMENT
 SEE SPECIFIC NOTES FOR EACH WALL

INTERNAL WALLS

Carefully remove all modern plasterboard and plaster finishes from areas identified in the drawings.

Ensure existing laths are trimmed and fixed to end on a timber stud.

Fix new timber replacement laths spaced approximately 6-8mm apart to allow enough space for the haired plaster to be pushed up between them, and to form good nibs or keys. Laths to be fixed parallel to one another by nailing them to every stud that they cross. Replacement laths to be trimmed to length so that they end on a stud. A gap of 3mm to be allowed between butt ends of laths. Joints in laths to be staggered every 12th lath. Where laths pass over joists, beams, posts or studs wider than 75mm, counter lathing should be used to form a space behind the laths to accommodate plaster nibs. All new metal fixings to be non-ferrous or stainless steel.

A new 3 coat non-hydraulic lime plaster finish to be applied consisting of:
 1) Pricking up coat- 1 part mature lime putty, 2.5 parts well-graded sand, 5kg hair per m3 of coarse stuff
 2) Floating coat- 1 part mature lime putty, 2.5 parts well-graded sand, 3-5kg hair per m3 of coarse stuff
 3) Setting coat plaster- 1 part mature lime putty, 1 part fine sand

New lime plaster finish to finish flush with existing adjacent plasterwork.

New matt emulsion paint decoration- Allow for 2no. coats based on colour selection to be agreed with architect and British Museum. Farrow and Ball colours to be matched with Dulux trade paint.

Repair all intrusive investigations in walls with lime plaster as above.

CEILINGS

New matt emulsion paint decoration. Colour to be agreed with architect and British Museum. Refer to (45) series reflected ceiling plans for additional information.

WINDOWS

Overhaul of existing sash windows to ensure full operation. To be fully redecorated. Refer to Window schedule for specific information.




DOORS

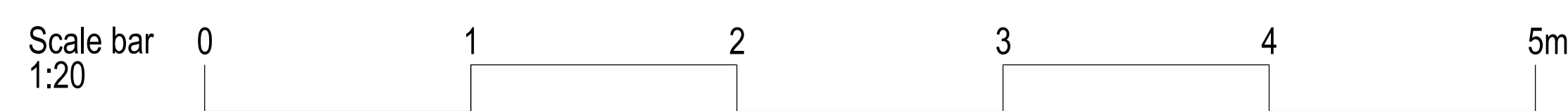
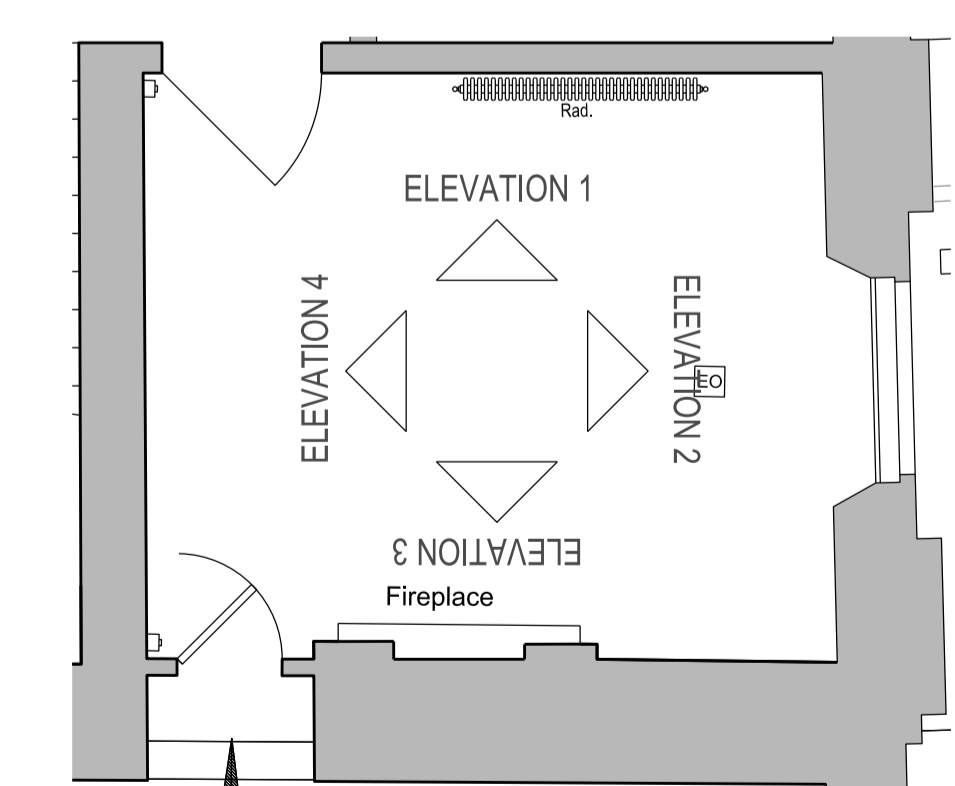
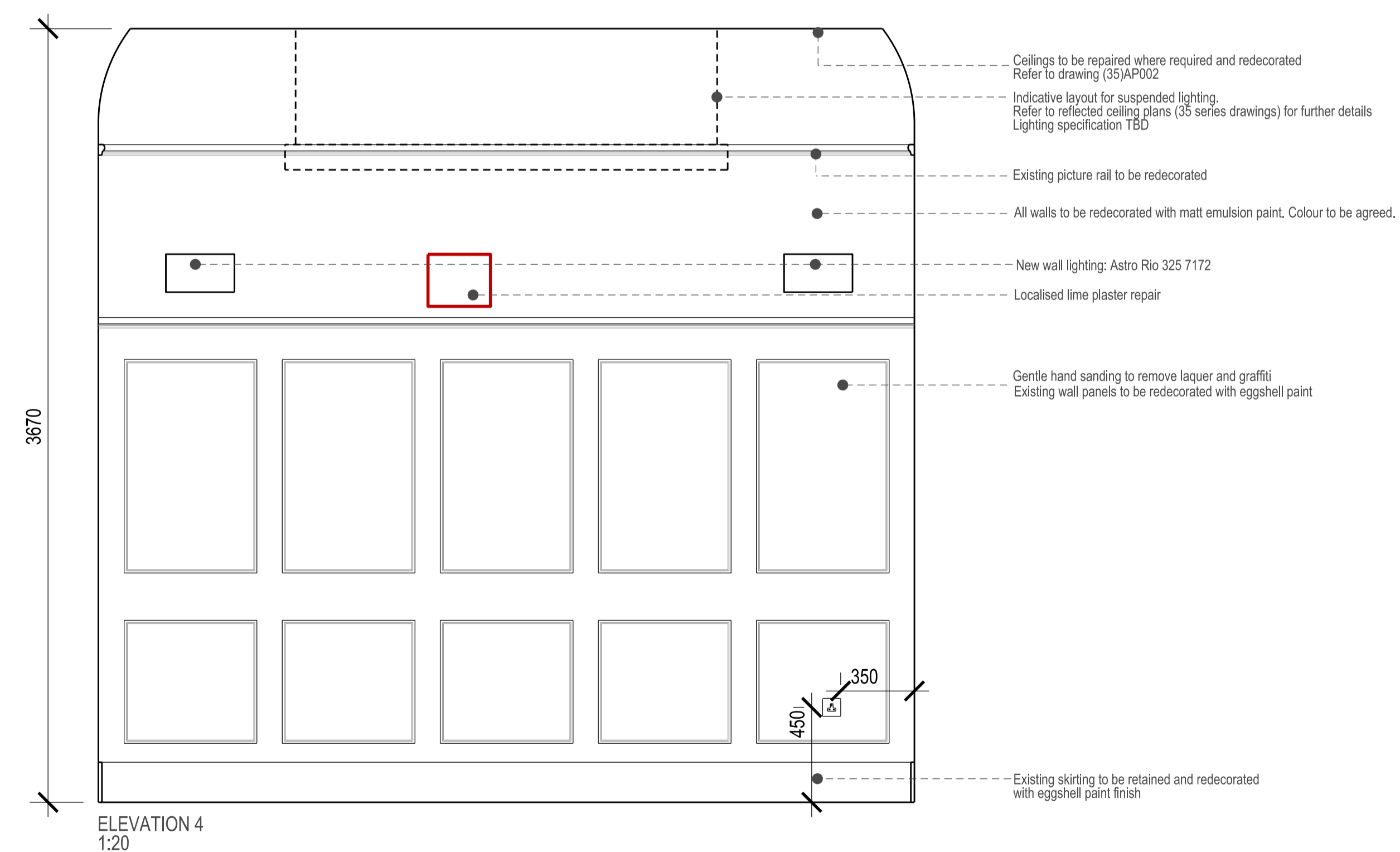
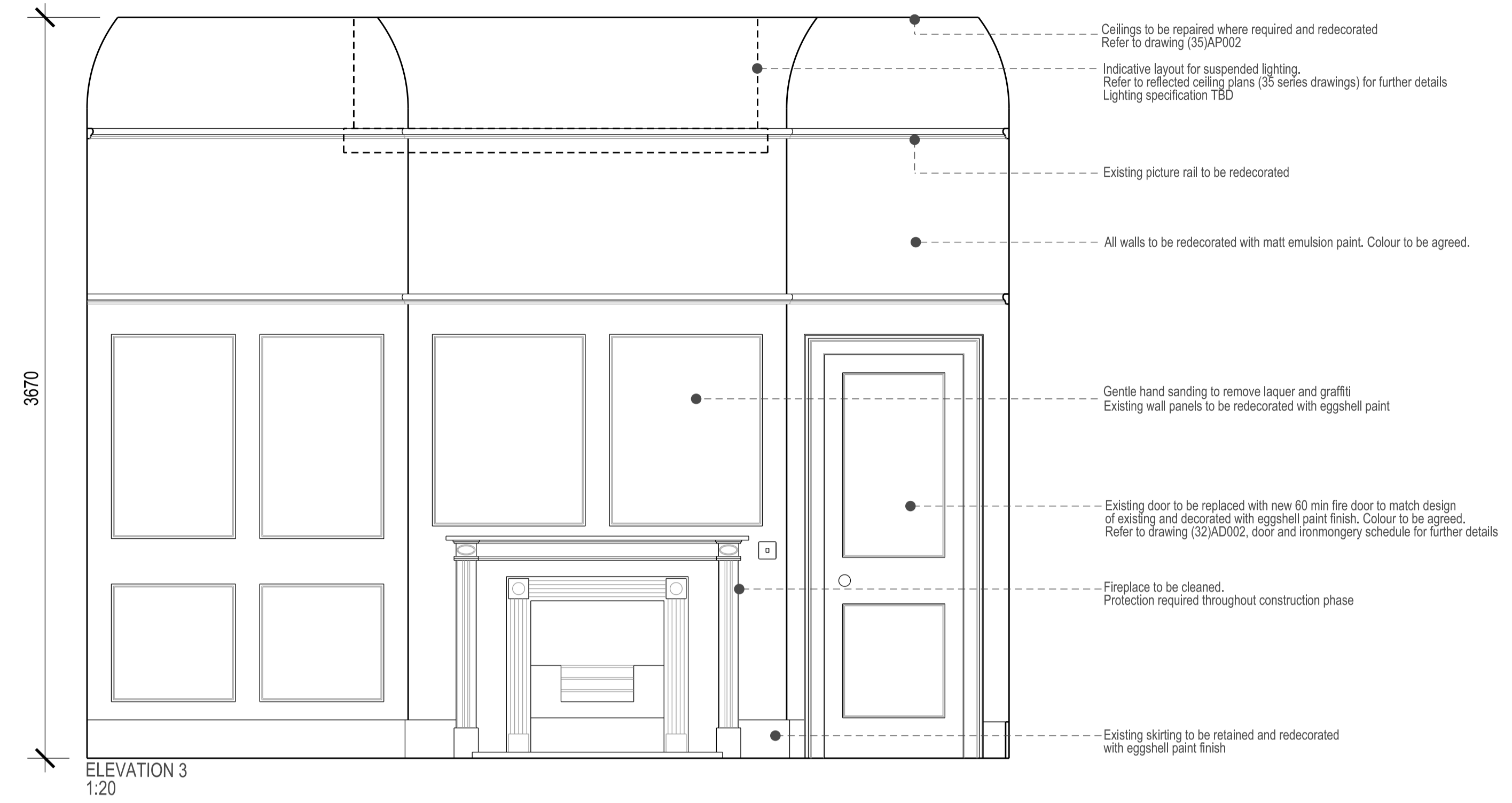
Doors to be redecorated in eggshell paint finish to match joinery. Refer to Door schedule for further information. Requirement for fire upgrade tbd.

JOINERY

Areas of missing skirting to be replaced with new hardwood boards to match the existing profile. Extent illustrated within red lines of drawing. Eggshell paint decoration in colour to be agreed.

NOTES

-  EXISTING STRUCTURE
-  NEW CONSTRUCTION
-  EXTENT OF REPAIR WORK



REVISION DESCRIPTION	DRAWN	CHECKED	DATE
D - Information to discharge condition 5	MF	AC	20/06/18
C - For Planning and Listed Building Consent Application	NA	AC	24/04/18
B - For Planning and Listed Building Consent Application	LBE	MB	23/06/17
A - For Planning and Listed Building Consent Application	RC	MB	01/06/17
FIRST ISSUE	RC	MB	12/05/17



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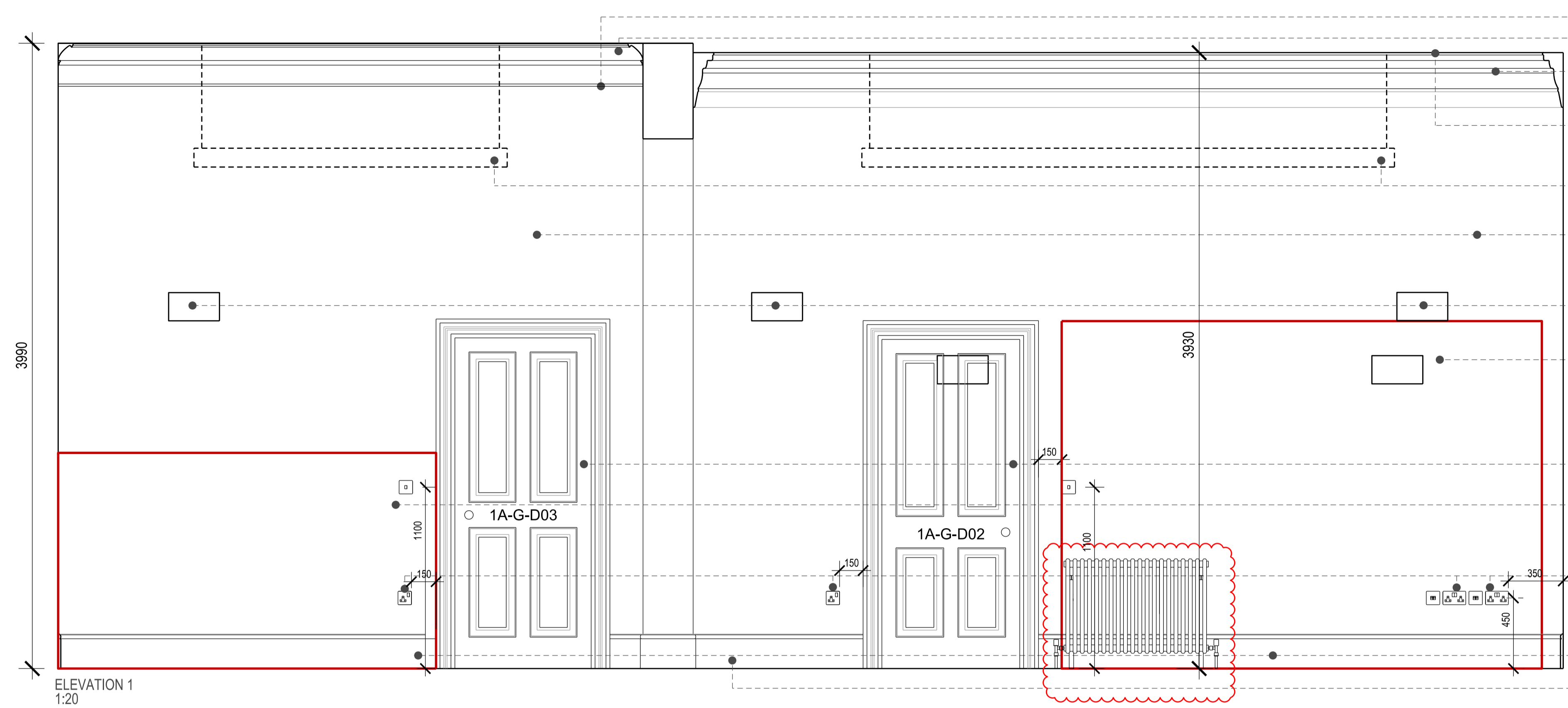
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British Museum Perimeter Properties Refurbishment	
P2007246	
PROJECT TITLE 1 Montague Street Ground Floor Level 1MS/2/004 Internal Elevations 3 - 4 Planning and LBC Application	SCALE 1:20@A1
DATE May '17	REVISION D
DRAWING NO. (70)AD022	

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NOTES

-  EXISTING STRUCTURE
-  NEW CONSTRUCTION
-  EXTENT OF REPAIR WORK
-  REVISION CLOUD REFERS TO RADIATOR RELOCATED



New suspended ceiling. Refer to drawing (35)AD001
 Existing cornice carefully removed and set aside with care. Reinstalled when the overboarding of the wall is completed (TBC)
 Existing cornice carefully removed and set aside with care. Reinstalled and redecorated when the overboarding of the wall is completed (TBC)
 Ceilings to be repaired where required and redecorated. Refer to drawing (35)AP002
 Indicative layout for suspended lighting. Refer to reflected ceiling plans (35 series drawings) for further details. Lighting specification TBD
 Wall to be overboarded with new plasterboard to provide the required 30 minute fire protection (TBC). New skim coat and decoration with matt emulsion paint finish. Colour to be agreed.
 New wall lighting: Astro Rio 325 7172
 Metalwork to be carefully removed. Damaged modern plaster finishes made good to provide suitable surface for new plasterboard.(TBC)
 Existing doors containing asbestos to be replaced with new 30 min fire doors to match design of existing and decorated with eggshell paint finish. Colour to be agreed. Refer to drawing (32)AD001, door and ironmongery schedule for further details
 Plaster made good where kitchen units and tiles have been removed
 New recessed electrical socket outlets. Allow for routing cabling within plasterboard and any resultant repair works.
 New hardwood skirting to match profile of existing. New eggshell paint finish to match adjacent joinery.
 Existing skirting in good condition to be carefully removed, set aside with care and reinstated and redecorated in eggshell paint finish to match adjacent joinery when the overboarding is completed (TBC)

ELEVATION 1
1:20

METHOD STATEMENT
SEE SPECIFIC NOTES FOR EACH WALL

INTERNAL WALLS
Carefully remove all modern plasterboard and plaster finishes from areas identified in the drawings.

Ensure existing laths are trimmed and fixed to end on a timber stud.

Fix new timber replacement laths spaced approximately 6-8mm apart to allow enough space for the haired plaster to be pushed up between them, and to form good nibs or keys. Laths to be fixed parallel to one another by nailing them to every stud that they cross. Replacement laths to be trimmed to length so that they end on a stud. A gap of 3mm to be allowed between butt ends of laths. Joints in laths to be staggered every 12th lath. Where laths pass over joists, beams, posts or studs wider than 75mm, counter lathing should be used to form a space behind the laths to accommodate plaster nibs. All new metal fixings to be non-ferrous or stainless steel.

A new 3 coat non-hydraulic lime plaster finish to be applied consisting of:
 1) Pricking up coat- 1 part mature lime putty, 2.5 parts well-graded sand, 5kg hair per m3 of coarse stuff
 2) Floating coat- 1 part mature lime putty, 2.5 parts well-graded sand, 3-5kg hair per m3 of coarse stuff
 3) Setting coat plaster- 1 part mature lime putty, 1 part fine sand

New lime plaster finish to finish flush with existing adjacent plasterwork.

New matt emulsion paint decoration- Allow for 2no. coats based on colour selection to be agreed with architect and British Museum. Farrow and Ball colours to be matched with Dulux trade paint.

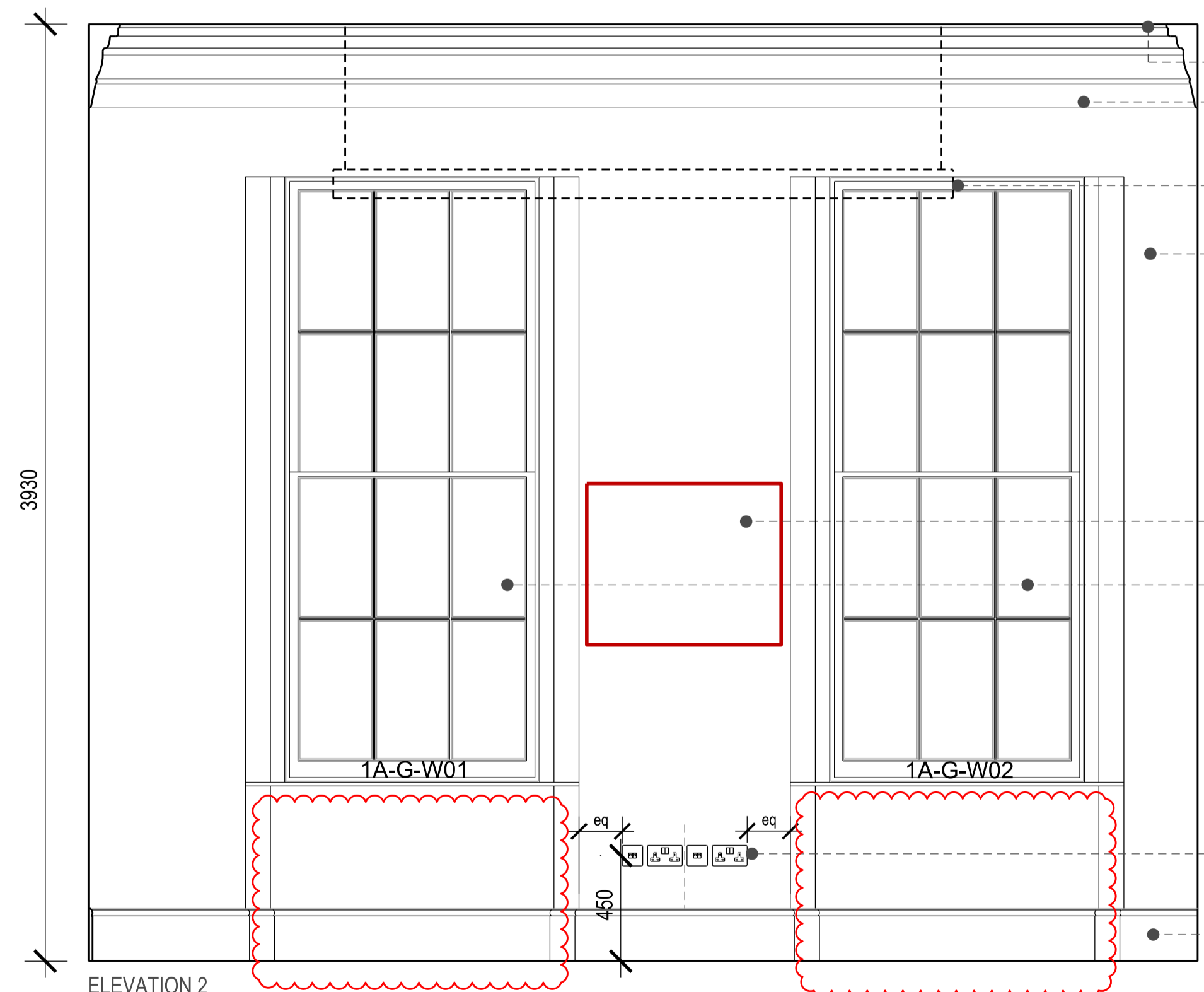
Repair all intrusive investigations in walls with lime plaster as above.

CEILINGS
 Front room: New matt emulsion paint decoration. Colour to be agreed with architect and British Museum. Refer to (45) series reflected ceiling plans for additional information.
 Rear room: New suspended ceiling. Refer to drawing (35)AD001

WINDOWS
 Overhaul of existing sash windows to ensure full operation. To be fully redecorated. Refer to Window schedule for specific information.

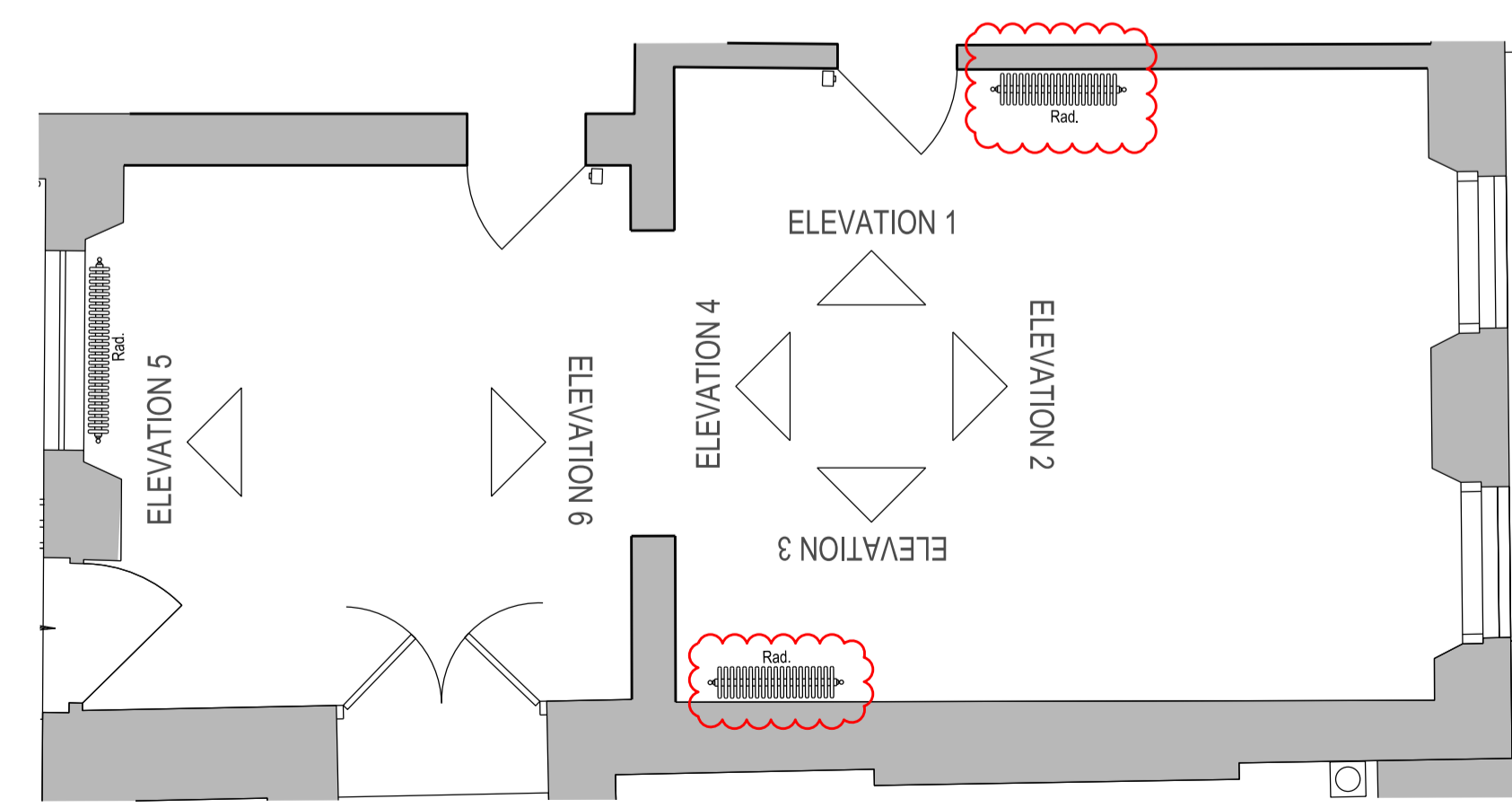
DOORS
 Doors to be redecorated in eggshell paint finish to match joinery. Refer to Door schedule for further information. Requirement for fire upgrade tbd.

JOINERY
 Areas of missing skirting to be replaced with new hardwood boards to match the existing profile. Extent illustrated within red lines of drawing. Eggshell paint decoration in colour to be agreed.



Ceilings to be repaired where required and redecorated. Refer to drawing (35)AP002
 Existing plaster cornice to be redecorated
 Indicative layout for suspended lighting. Refer to reflected ceiling plans (35 series drawings) for further details. Lighting specification TBD
 All walls to be redecorated with matt emulsion paint. Colour to be agreed.
 Localised plaster repair
 Windows to be redecorated (Refer to window schedule for further detail)
 New recessed electrical socket outlets. Allow for routing cabling within lath and plaster finishes. Any resultant repair works to be carried out using lime plaster as specified.
 Existing skirting in good condition to be retained and redecorated in eggshell paint finish

ELEVATION 2
1:20



PLAN - 1AMS/2/013
1:50

Scale bar 1:20 0 1 2 3 4 5m

REVISION DESCRIPTION	DRAWN	CHECKED	DATE
D - Information to discharge condition 5	MF	AC	20/06/18
C - For Planning and Listed Building Consent Application	NA	AC	24/04/18
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FIRST ISSUE	RC	MB	12/05/17







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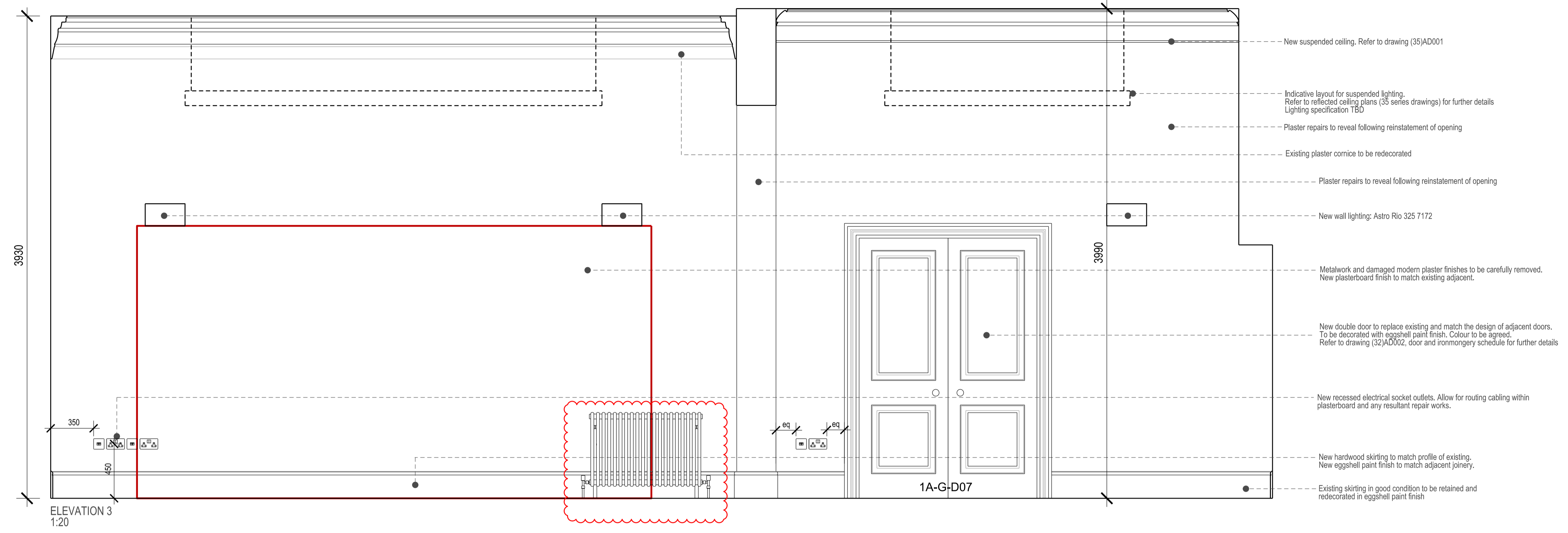
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British Museum Perimeter Properties Refurbishment	
P2007246	
PROJECT TITLE 1A Montague Street Ground Floor Level 1AMS/2/013 Internal Elevations 1 - 2 Planning and LBC Application	SCALE 1:20@A1
DATE May '17	REVISION D
PROJECT NO. (70)AD023	

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NOTES

-  EXISTING STRUCTURE
-  NEW CONSTRUCTION
-  EXTENT OF REPAIR WORK
-  REVISION CLOUD REFERS TO RADIATOR RELOCATED



ELEVATION 3
1:20

METHOD STATEMENT
SEE SPECIFIC NOTES FOR EACH WALL

INTERNAL WALLS
Carefully remove all modern plasterboard and plaster finishes from areas identified in the drawings.

Ensure existing laths are trimmed and fixed to end on a timber stud.

Fix new timber replacement laths spaced approximately 6-8mm apart to allow enough space for the haired plaster to be pushed up between them, and to form good nibs or keys. Laths to be fixed parallel to one another by nailing them to every stud that they cross. Replacement laths to be trimmed to length so that they end on a stud. A gap of 3mm to be allowed between butt ends of laths. Joints in laths to be staggered every 12th lath. Where laths pass over joists, beams, posts or studs wider than 75mm, counter lathing should be used to form a space behind the laths to accommodate plaster nibs. All new metal fixings to be non-ferrous or stainless steel.

A new 3 coat non-hydraulic lime plaster finish to be applied consisting of:
 1) Pricking up coat- 1 part mature lime putty, 2.5 parts well-graded sand, 5kg hair per m3 of coarse stuff
 2) Floating coat- 1 part mature lime putty, 2.5 parts well-graded sand, 3-5kg hair per m3 of coarse stuff
 3) Setting coat plaster- 1 part mature lime putty, 1 part fine sand

New lime plaster finish to finish flush with existing adjacent plasterwork.

New matt emulsion paint decoration- Allow for 2no. coats based on colour selection to be agreed with architect and British Museum. Farrow and Ball colours to be matched with Dulux trade paint.

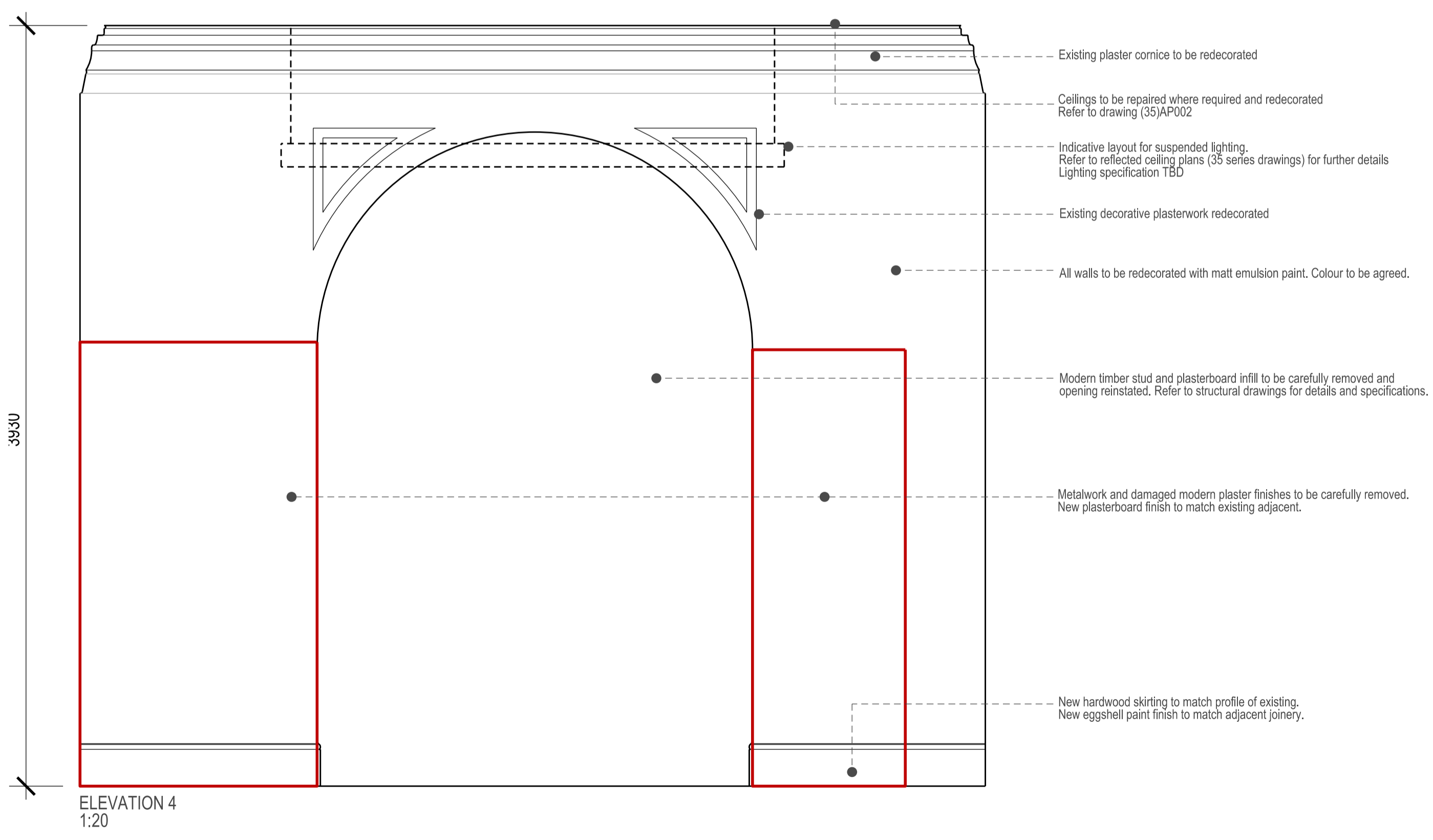
Repair all intrusive investigations in walls with lime plaster as above.

CEILING
 Front room: New matt emulsion paint decoration. Colour to be agreed with architect and British Museum. Refer to (45) series reflected ceiling plans for additional information.
 Rear room: New suspended ceiling. Refer to drawing (35)AD001

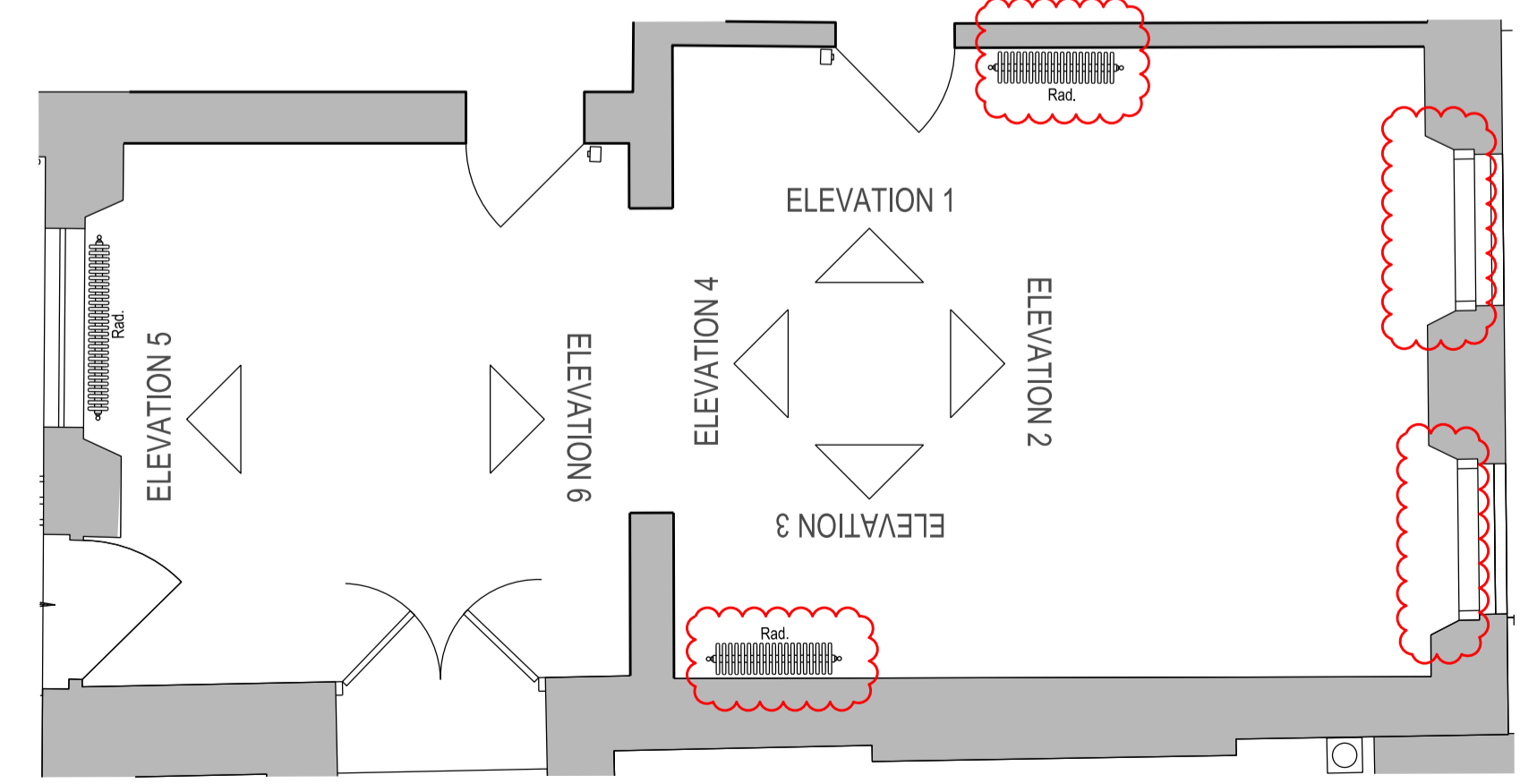
WINDOWS
 Overhaul of existing sash windows to ensure full operation. To be fully redecorated. Refer to Window schedule for specific information.

DOORS
 Doors to be redecorated in eggshell paint finish to match joinery. Refer to Door schedule for further information. Requirement for fire upgrade tbd.

JOINERY
 Areas of missing skirting to be replaced with new hardwood boards to match the existing profile. Extent illustrated within red lines of drawing. Eggshell paint decoration in colour to be agreed.



ELEVATION 4
1:20



PLAN - 1AMS/2/013
1:50



REVISION DESCRIPTION	DRAWN	CHECKED	DATE
D - Information to discharge condition 5	NA	AC	20/06/18
C - For Planning and Listed Building Consent Application	NA	AC	24/04/18
B - For Planning and Listed Building Consent Application	LBE	MB	23/06/17
A - For Planning and Listed Building Consent Application	RC	MB	01/06/17
FIRST ISSUE	RC	MB	12/05/17



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British Museum
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P2007246

DATE/TITLE	SCALE
1A Montague Street Ground Floor Level 1AMS/2/013 Internal Elevations 3 - 4 Planning and LBC Application	1:20@A1
(70)AD024	DATE May '17
	REVISION D

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METHOD STATEMENT
 SEE SPECIFIC NOTES FOR EACH WALL

INTERNAL WALLS
 Carefully remove all modern plasterboard and plaster finishes from areas identified in the drawings.
 Ensure existing laths are trimmed and fixed to end on a timber stud.

Fix new timber replacement laths spaced approximately 6-8mm apart to allow enough space for the haired plaster to be pushed up between them, and to form good nibs or keys. Laths to be fixed parallel to one another by nailing them to every stud that they cross. Replacement laths to be trimmed to length so that they end on a stud. A gap of 3mm to be allowed between butt ends of laths. Joints in laths to be staggered every 12th lath. Where laths pass over joists, beams, posts or studs wider than 75mm, counter lathing should be used to form a space behind the laths to accommodate plaster nibs. All new metal fixings to be non-ferrous or stainless steel.

A new 3 coat non-hydraulic lime plaster finish to be applied consisting of:
 1) Pricking up coat- 1 part mature lime putty, 2.5 parts well-graded sand, 5kg hair per m3 of coarse stuff
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 3) Setting coat plaster- 1 part mature lime putty, 1 part fine sand

New lime plaster finish to finish flush with existing adjacent plasterwork.

New matt emulsion paint decoration- Allow for 2no. coats based on colour selection to be agreed with architect and British Museum. Farrow and Ball colours to be matched with Dulux trade paint.

Repair all intrusive investigations in walls with lime plaster as above.


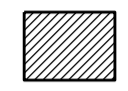


CEILINGS
 Front room: New matt emulsion paint decoration. Colour to be agreed with architect and British Museum. Refer to (45) series reflected ceiling plans for additional information.
 Rear room: New suspended ceiling. Refer to drawing (35)AD001

WINDOWS
 Overhaul of existing sash windows to ensure full operation. To be fully redecorated. Refer to Window schedule for specific information.

DOORS
 Doors to be redecorated in eggshell paint finish to match joinery. Refer to Door schedule for further information. Requirement for fire upgrade tbd.

JOINERY
 Areas of missing skirting to be replaced with new hardwood boards to match the existing profile. Extent illustrated within red lines of drawing. Eggshell paint decoration in colour to be agreed.

NOTES

-  EXISTING STRUCTURE
-  NEW CONSTRUCTION
-  EXTENT OF REPAIR WORK
-  REVISION CLOUD REFERS TO RADIATOR RELOCATED

REVISION DESCRIPTION	DRAWN	CHECKED	DATE
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FIRST ISSUE	RC	MB	12/05/17

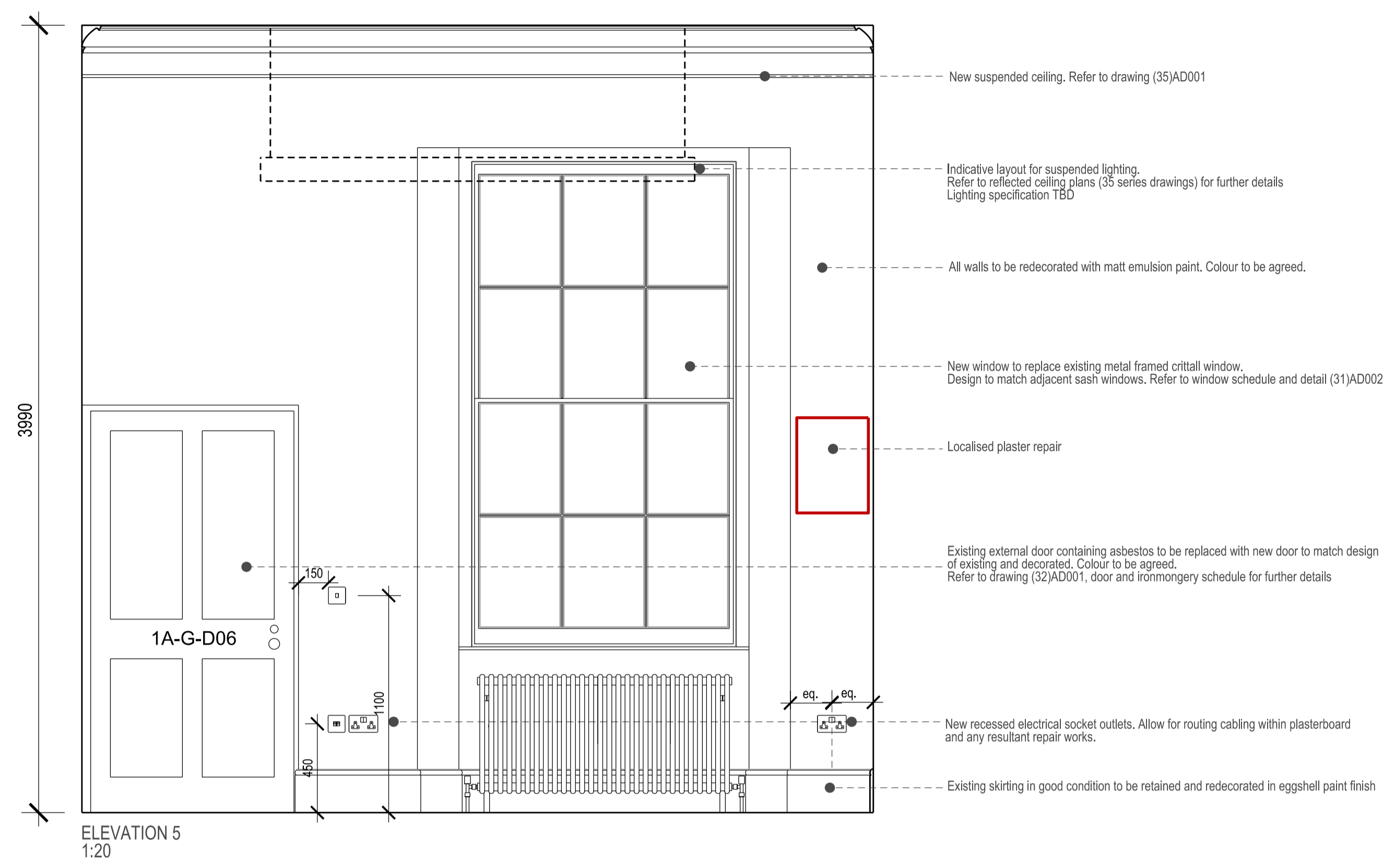


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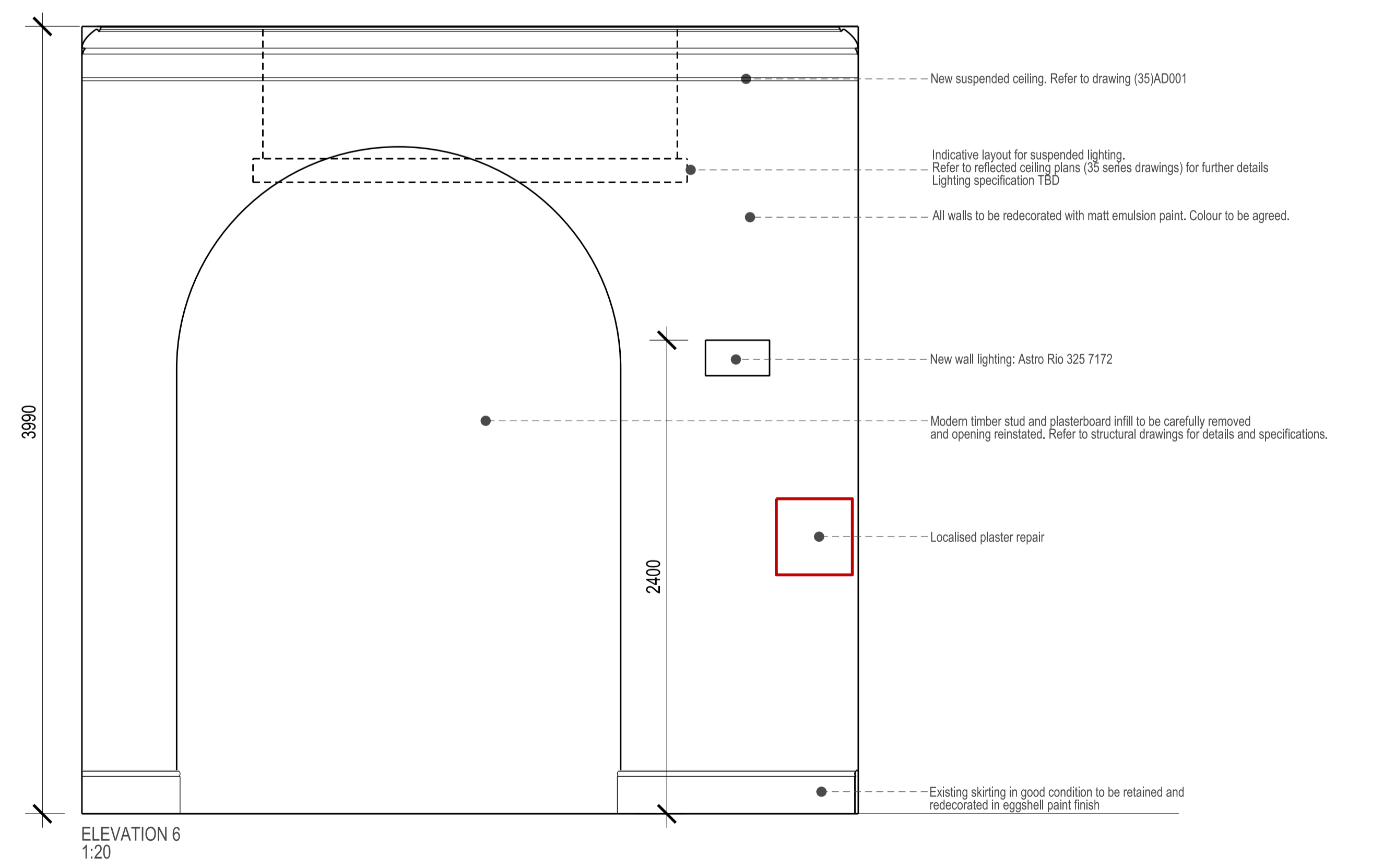
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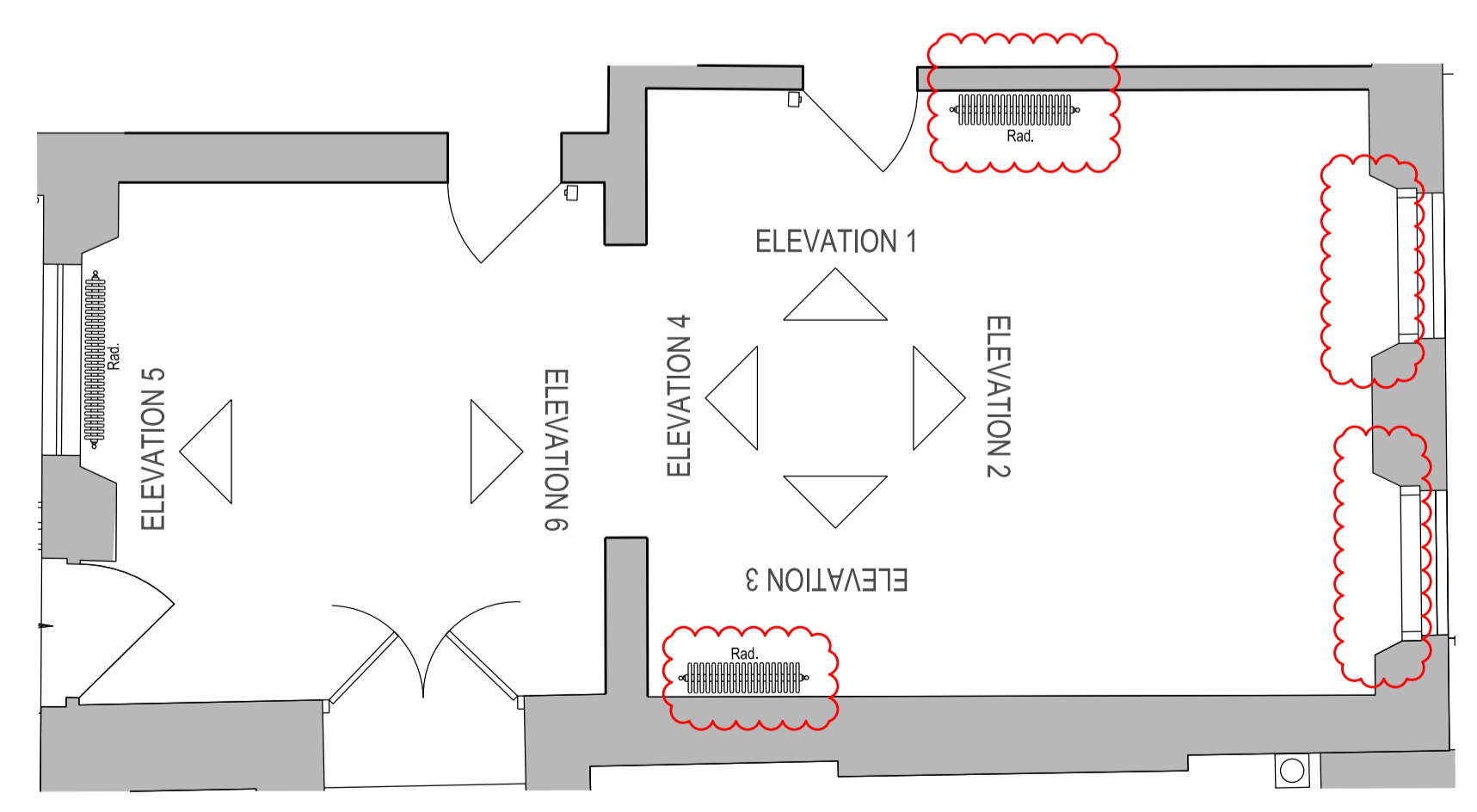
British Museum Perimeter Properties Refurbishment	
P2007246	
DRAWING TITLE 1A Montague Street Ground Floor Level 1AMS/2/013 Internal Elevations 5 - 6 Planning and LBC Application	SCALE 1:20@A1 DATE May '17 REVISION D
DRAWING NO. (70)AD025	



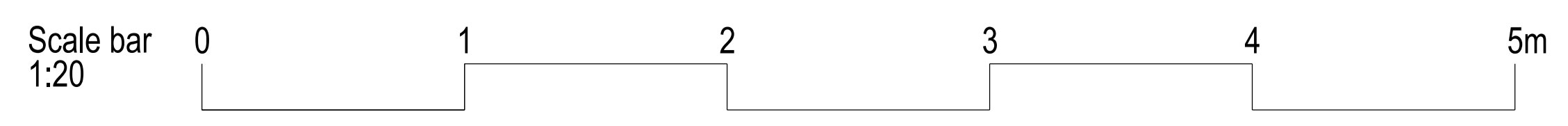
ELEVATION 5
1:20



ELEVATION 6
1:20



PLAN - 1AMS/2/013
1:50



METHOD STATEMENT
SEE SPECIFIC NOTES FOR EACH WALL

INTERNAL WALLS

All metal elements associated with previous museum shelving to be carefully removed.

Carefully remove all modern plasterboard and plaster finishes from areas identified in the drawings.

Ensure existing laths are trimmed and fixed to end on a timber stud.

Fix new timber replacement laths spaced approximately 6-8mm apart to allow enough space for the haired plaster to be pushed up between them, and to form good nibs or keys. Laths to be fixed parallel to one another by nailing them to every stud that they cross. Replacement laths to be trimmed to length so that they end on a stud. A gap of 3mm to be allowed between butt ends of laths. Joints in laths to be staggered every 12th lath. Where laths pass over joists, beams, posts or studs wider than 75mm, counter lathing should be used to form a space behind the laths to accommodate plaster nibs. All new metal fixings to be non-ferrous or stainless steel.

A new 3 coat non-hydraulic lime plaster finish to be applied consisting of:
1) Pricking up coat- 1 part mature lime putty, 2.5 parts well-graded sand, 5kg hair per m3 of coarse stuff
2) Floating coat- 1 part mature lime putty, 2.5 parts well-graded sand, 3-5kg hair per m3 of coarse stuff
3) Setting coat plaster- 1 part mature lime putty, 1 part fine sand

New lime plaster finish to finish flush with existing adjacent plasterwork.

New matt emulsion paint decoration- Allow for 2no. coats based on colour selection to be agreed with architect and British Museum. Farrow and Ball colours to be matched with Dulux trade paint.

Repair all intrusive investigations in walls with lime plaster as above.

CEILINGS

New matt emulsion paint decoration. Colour to be agreed with architect and British Museum. Refer to (45) series reflected ceiling plans for additional information.

WINDOWS

Overhaul of existing sash windows to ensure full operation. To be fully redecorated. Refer to Window schedule for specific information.

DOORS

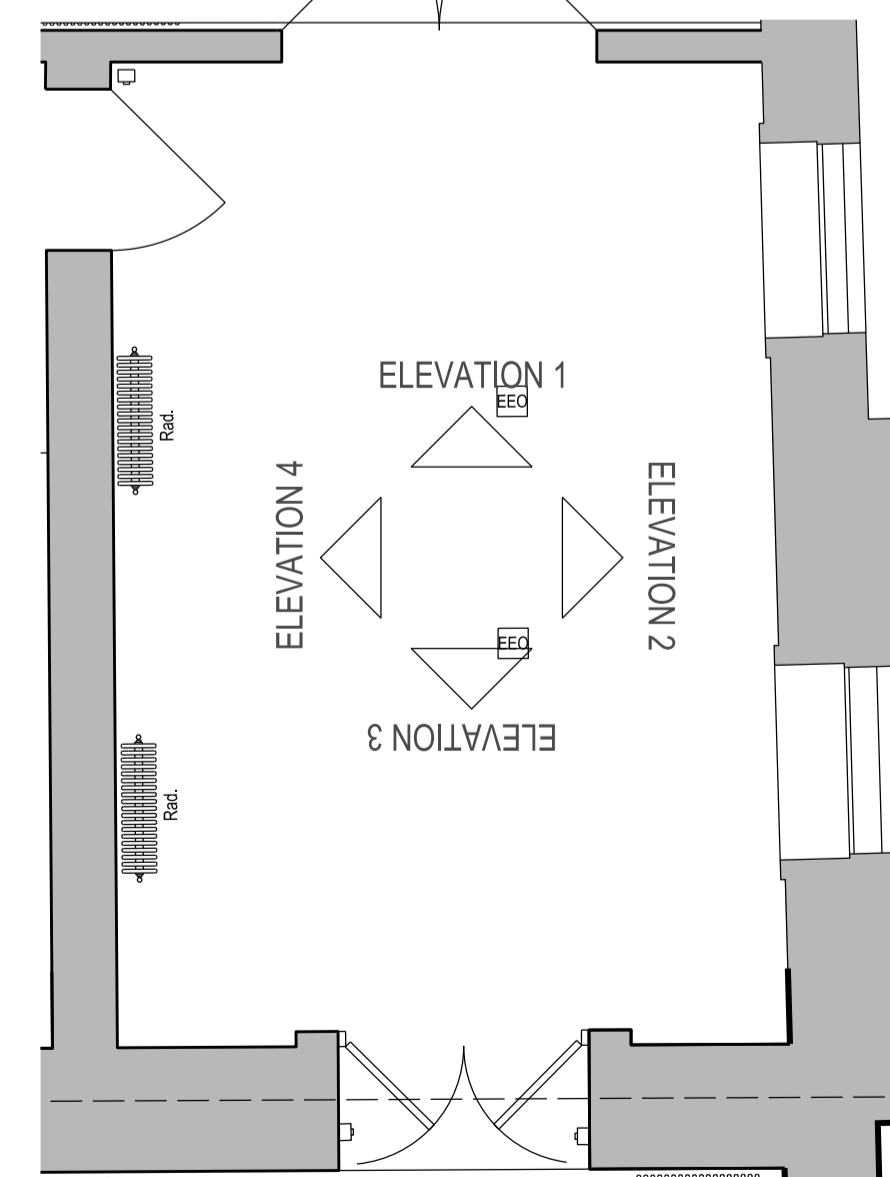
Doors to be redecorated in eggshell paint finish to match joinery. Refer to Door schedule for further information. Requirement for fire upgrade tbd.

JOINERY

Areas of missing skirting to be replaced with new hardwood boards to match the existing profile. Extent illustrated within red lines of drawing. Eggshell paint decoration in colour to be agreed.

DECORATIVE PLASTERWORK

Surfaces to be dusted down and any loose debris removed. New thin paint coating to be applied using water soluble soft distemper or water thinned alkyd resin paints to ensure decorative detail is not lost. Water thinned contract grade emulsion may be acceptable. Suggested trial area for inspection. Applies to full extent of cornices in principal spaces at ground and first floor levels.



PLAN - 1MS/3/003
1:50




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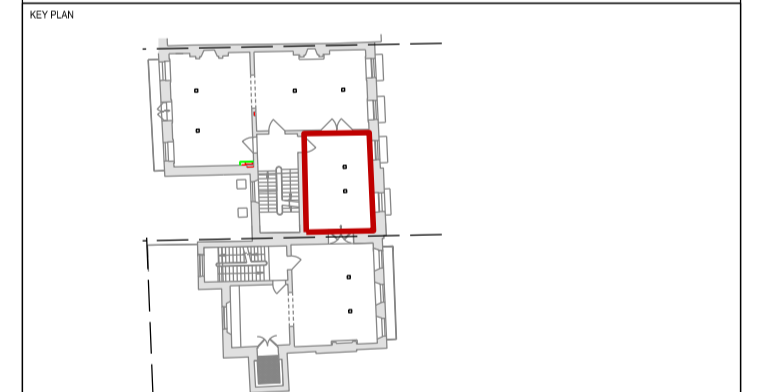
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NOTES

-  EXISTING STRUCTURE
-  NEW CONSTRUCTION
-  EXTENT OF REPAIR WORK

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FIRST ISSUE		RC	MB	12/05/17

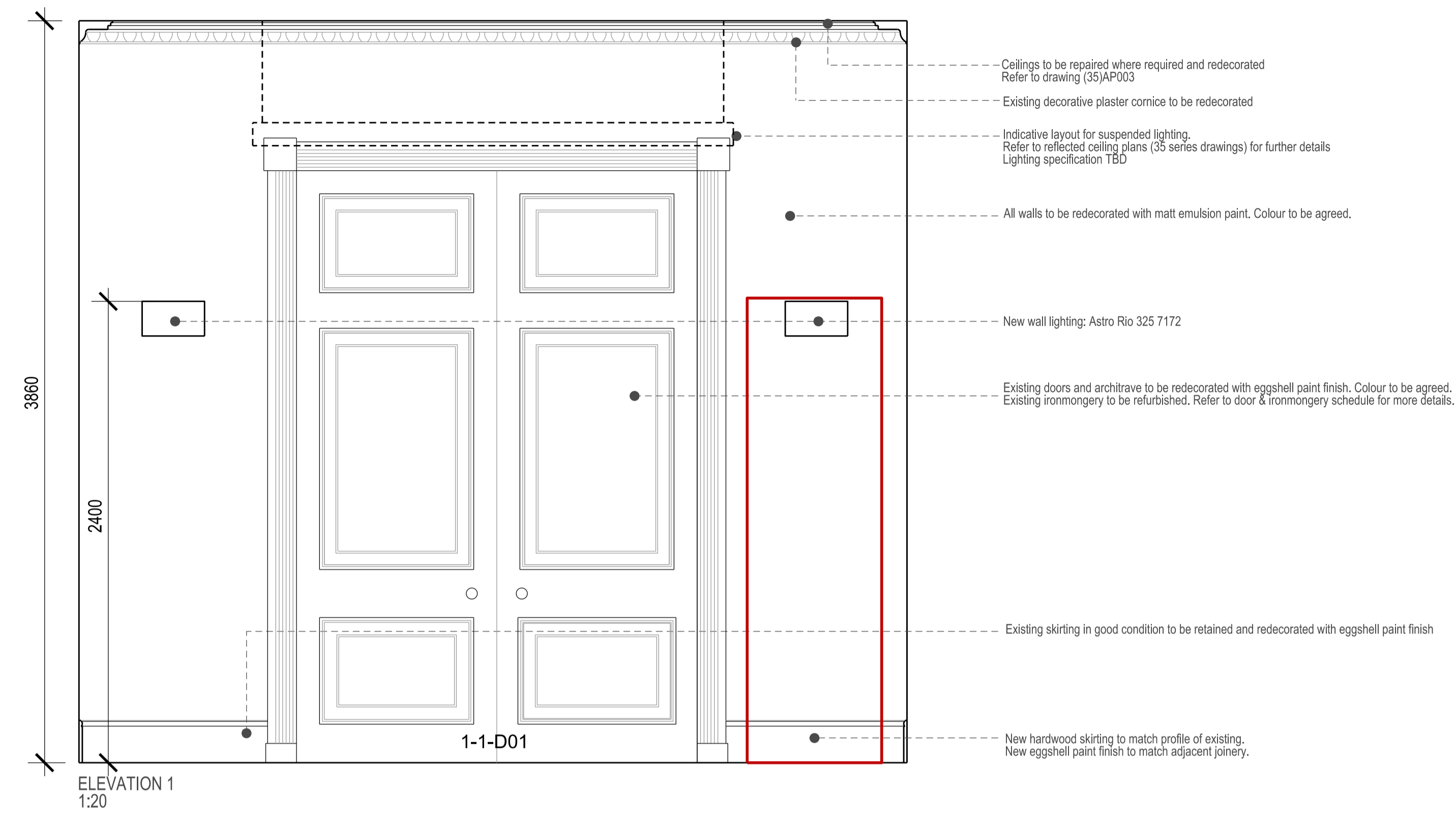


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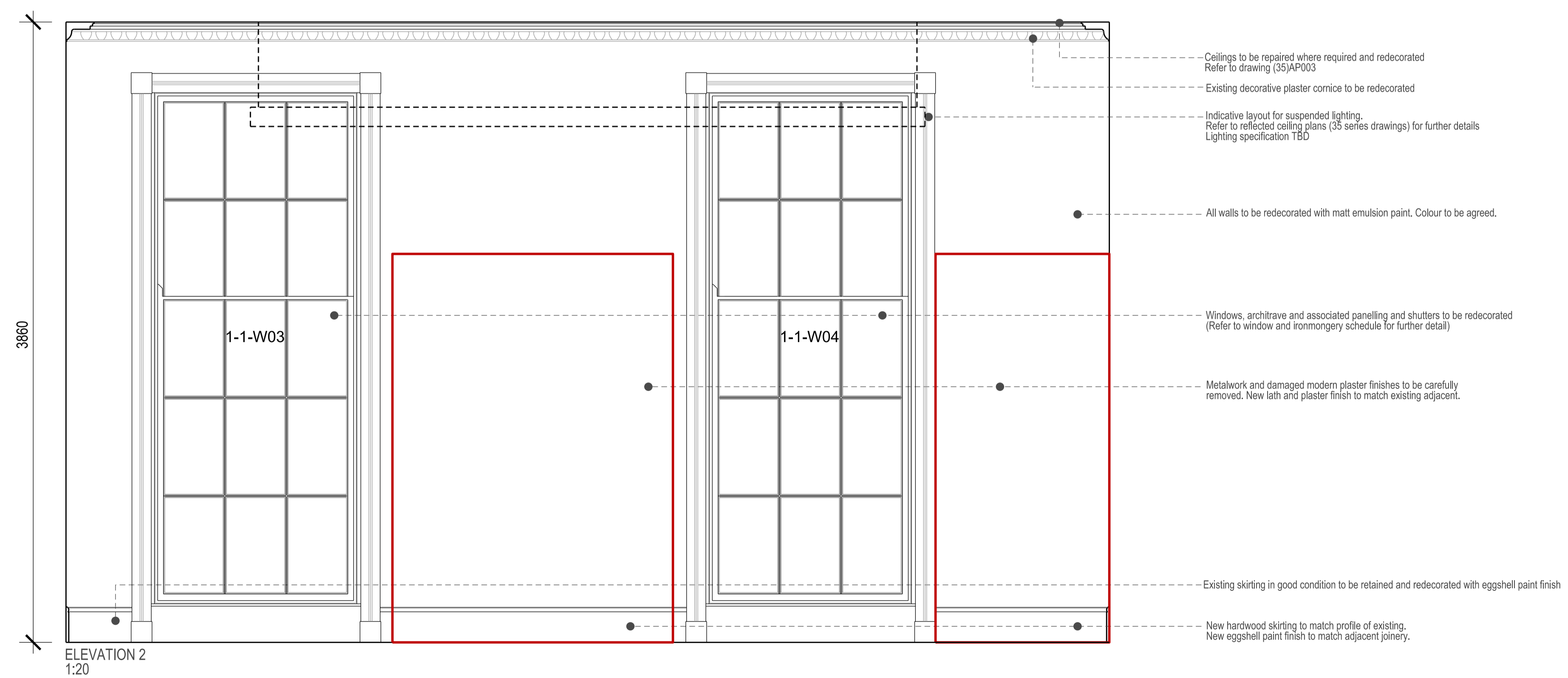
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PROJECT TITLE 1 Montague Street First Floor Level 1MS/3/003 Internal Elevations 1 - 2 Planning and LBC Application	SCALE 1:20@A1
DATE May '17	REVISION D
DRAWING NO. (70)AD026	



ELEVATION 1
1:20



ELEVATION 2
1:20



METHOD STATEMENT
SEE SPECIFIC NOTES FOR EACH WALL

INTERNAL WALLS

All metal elements associated with previous museum shelving to be carefully removed.

Carefully remove all modern plasterboard and plaster finishes from areas identified in the drawings.

Ensure existing laths are trimmed and fixed to end on a timber stud.

Fix new timber replacement laths spaced approximately 6-8mm apart to allow enough space for the haired plaster to be pushed up between them, and to form good nibs or keys. Laths to be fixed parallel to one another by nailing them to every stud that they cross. Replacement laths to be trimmed to length so that they end on a stud. A gap of 3mm to be allowed between butt ends of laths. Joints in laths to be staggered every 12th lath. Where laths pass over joists, beams, posts or studs wider than 75mm, counter lathing should be used to form a space behind the laths to accommodate plaster nibs. All new metal fixings to be non-ferrous or stainless steel.

A new 3 coat non-hydraulic lime plaster finish to be applied consisting of:
1) Pricking up coat- 1 part mature lime putty, 2.5 parts well-graded sand, 5kg hair per m3 of coarse stuff
2) Floating coat- 1 part mature lime putty, 2.5 parts well-graded sand, 3-5kg hair per m3 of coarse stuff
3) Setting coat plaster- 1 part mature lime putty, 1 part fine sand

New lime plaster finish to finish flush with existing adjacent plasterwork.

New matt emulsion paint decoration- Allow for 2no. coats based on colour selection to be agreed with architect and British Museum. Farrow and Ball colours to be matched with Dulux trade paint.

Repair all intrusive investigations in walls with lime plaster as above.

CEILINGS

New matt emulsion paint decoration. Colour to be agreed with architect and British Museum. Refer to (45) series reflected ceiling plans for additional information.

WINDOWS

Overhaul of existing sash windows to ensure full operation. To be fully redecorated. Refer to Window schedule for specific information.

DOORS

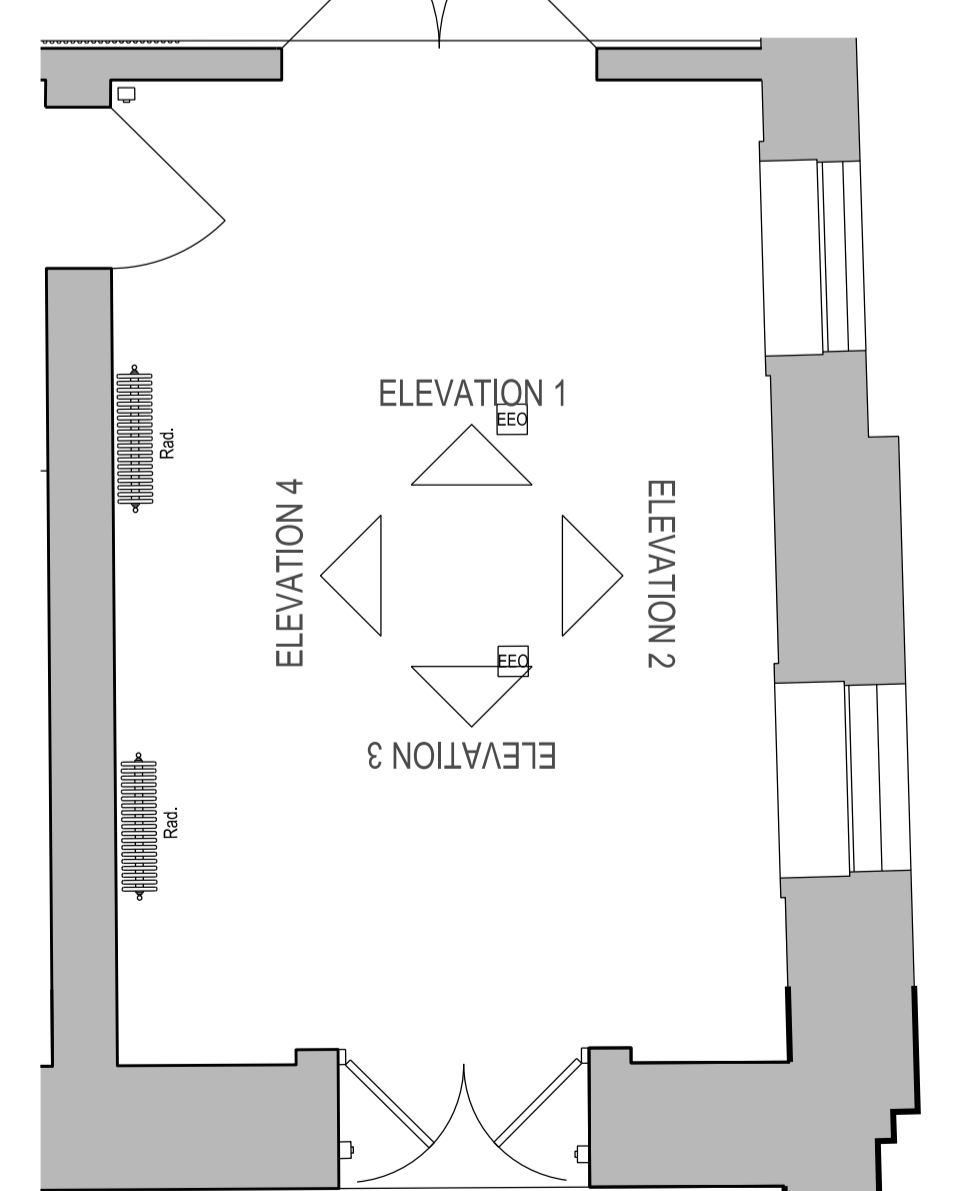
Doors to be redecorated in eggshell paint finish to match joinery. Refer to Door schedule for further information. Requirement for fire upgrade tbd.

JOINERY

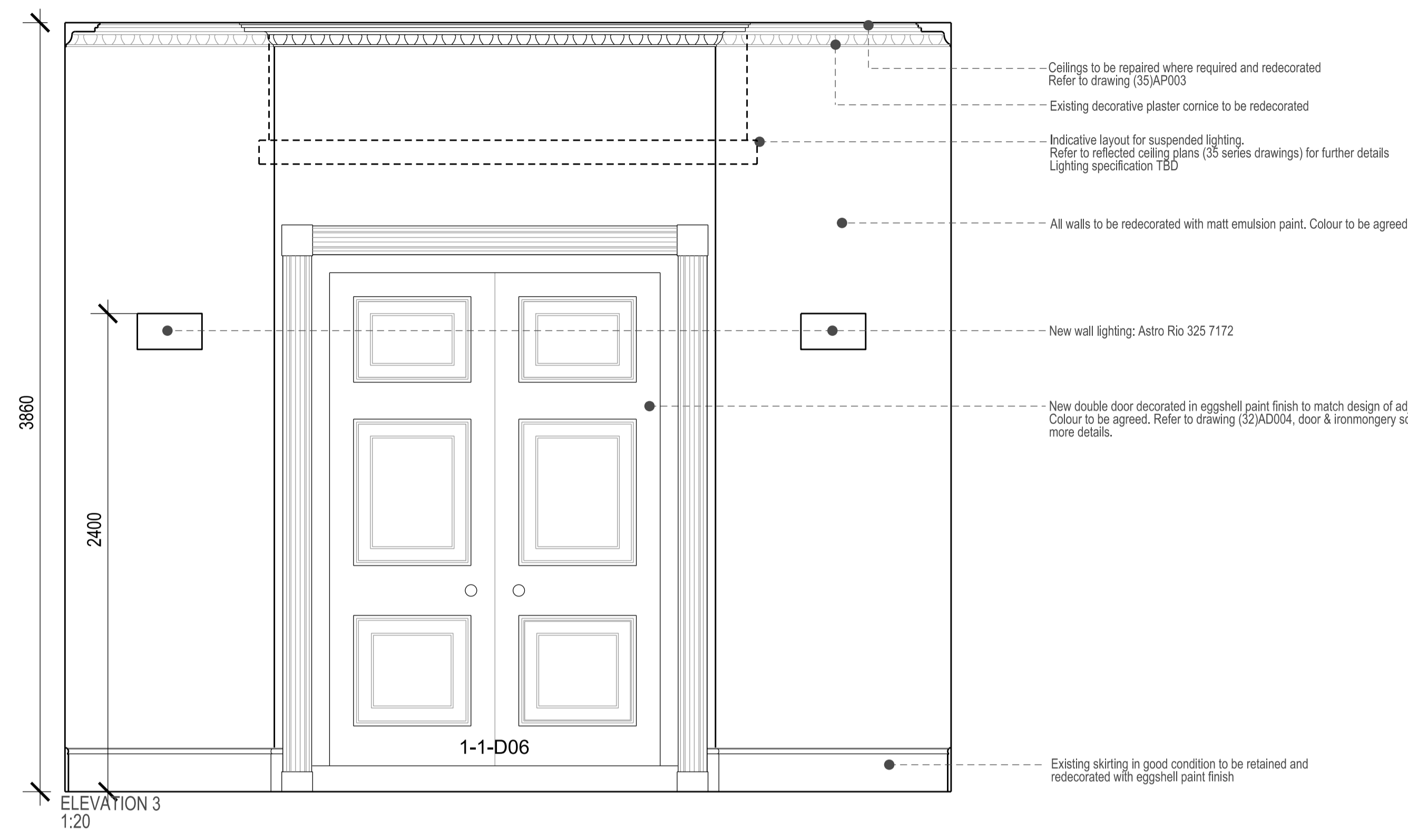
Areas of missing skirting to be replaced with new hardwood boards to match the existing profile. Extent illustrated within red lines of drawing. Eggshell paint decoration in colour to be agreed.

DECORATIVE PLASTERWORK

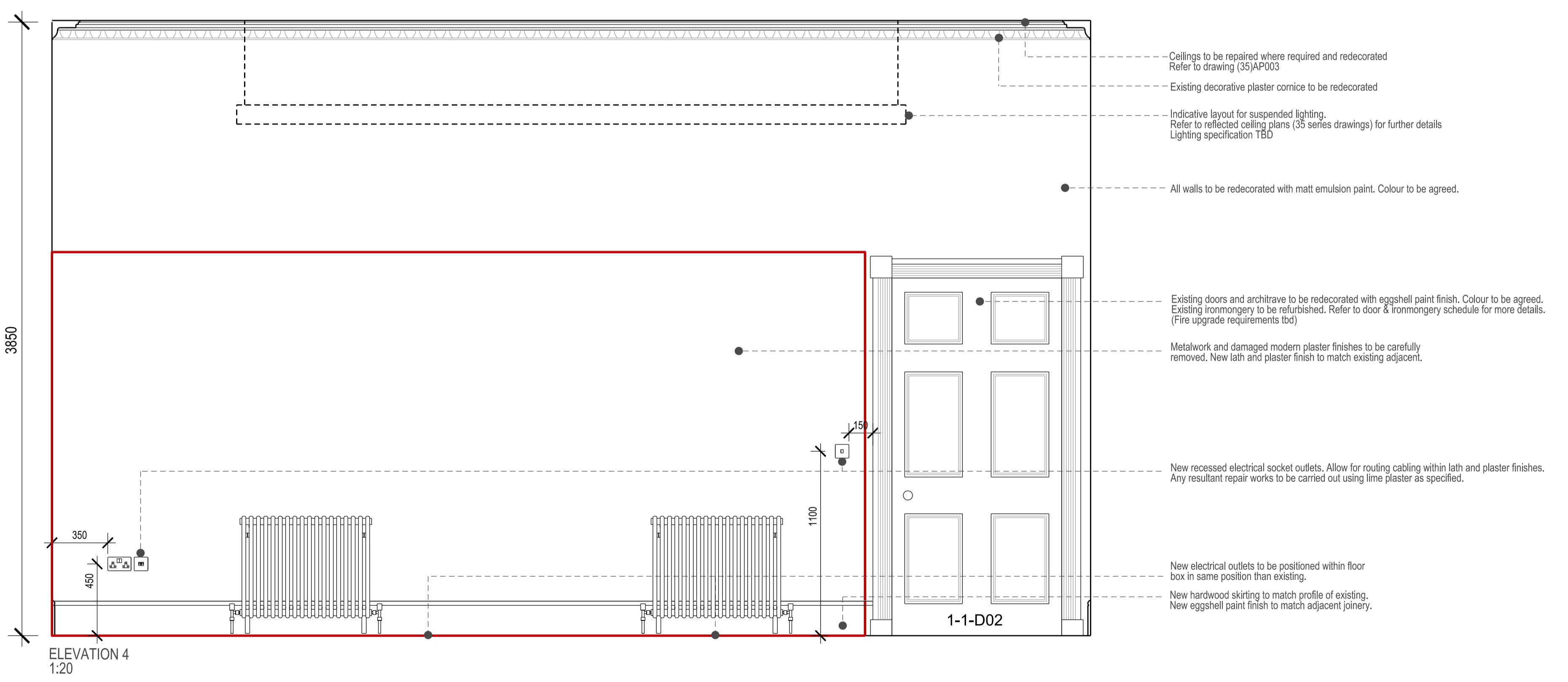
Surfaces to be dusted down and any loose debris removed. New thin paint coating to be applied using water soluble soft distemper or water thinned alkyd resin paints to ensure decorative detail is not lost. Water thinned contract grade emulsion may be acceptable. Suggested trial area for inspection. Applies to full extent of cornices in principal spaces at ground and first floor levels.



PLAN - 1MS/3/003
1:50



ELEVATION 3
1:20



ELEVATION 4
1:20

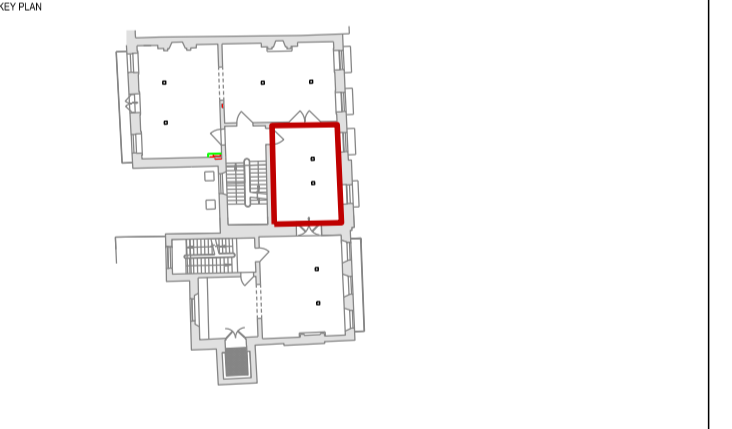


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NOTES

- EXISTING STRUCTURE
- NEW CONSTRUCTION
- EXTENT OF REPAIR WORK

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
D	Information to discharge condition 5	MF	AC	20/06/18
C	For Planning and Listed Building Consent Application	NA	AC	24/04/18
B	For Planning and Listed Building Consent Application	LBE	MB	23/06/17
A	For Planning and Listed Building Consent Application	RC	MB	01/06/17
	FIRST ISSUE	RC	MB	12/05/17



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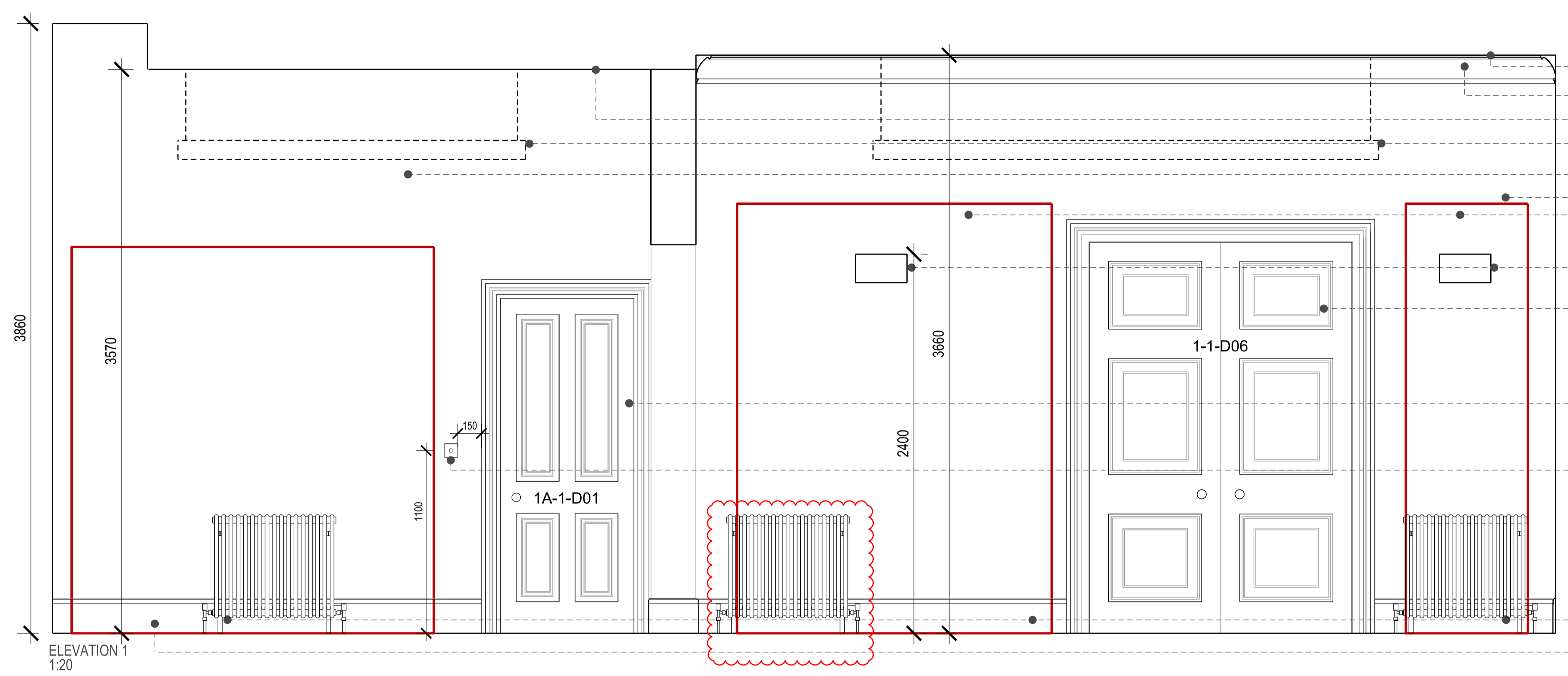
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British Museum Perimeter Properties Refurbishment	
P2007246	
PROJECT TITLE 1 Montague Street First Floor Level 1MS/3/003 Internal Elevations 3 - 4 Planning and LBC Application	SCALE 1:20@A1
DATE May '17	REVISION D

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NOTES

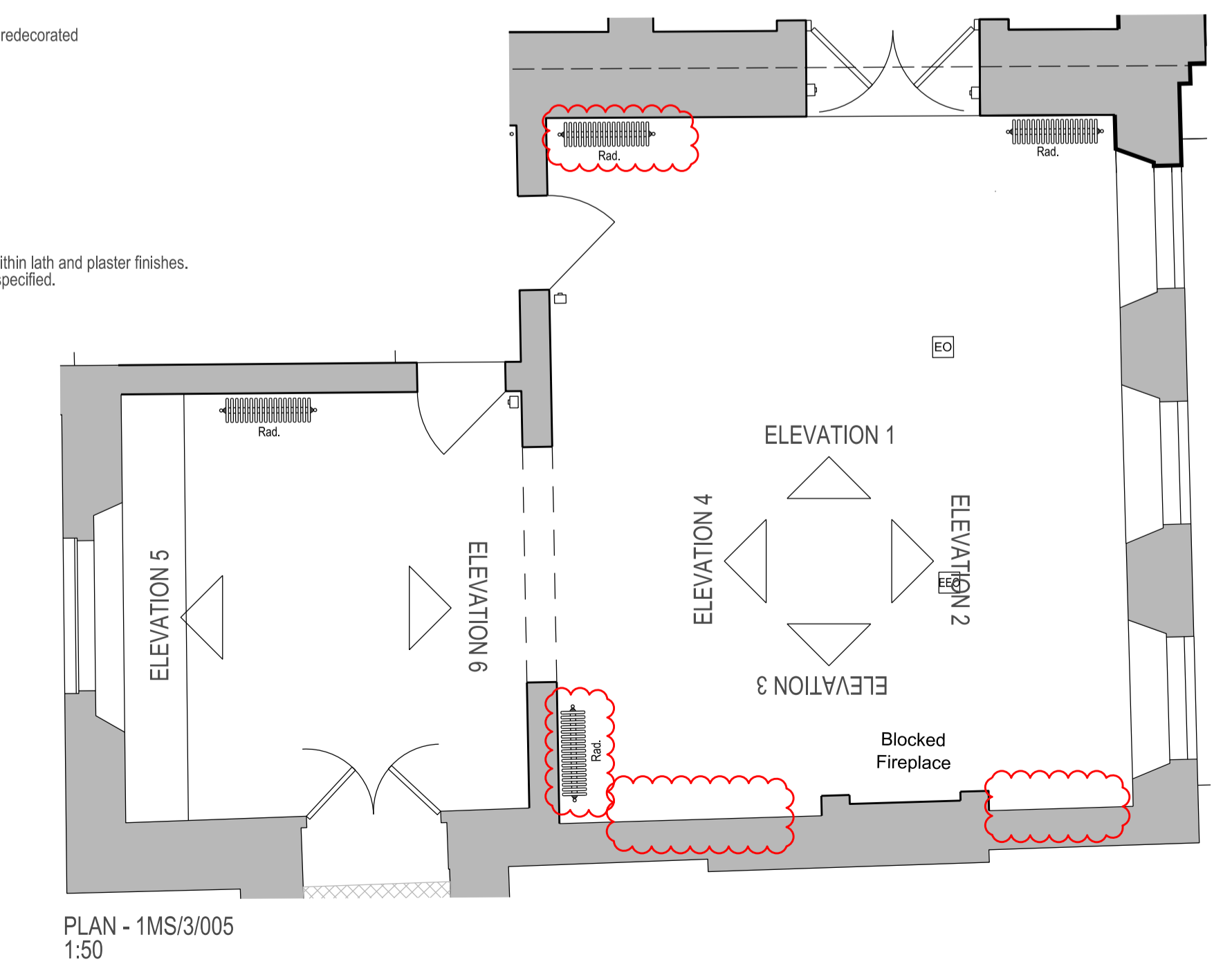
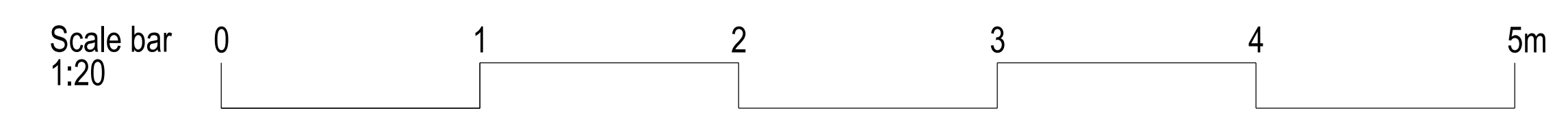
-  EXISTING STRUCTURE
-  NEW CONSTRUCTION
-  EXTENT OF REPAIR WORK
-  REVISION CLOUD REFERS TO RADIATOR RELOCATED



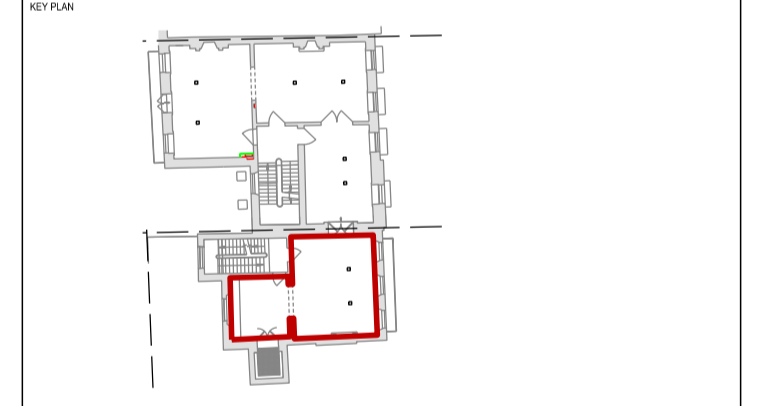
- Ceilings to be repaired where required and redecorated. Refer to drawing (35)AP003
- Existing decorative plaster cornice to be redecorated
- New suspended ceiling
- Indicative layout for suspended lighting. Refer to reflected ceiling plans (35 series drawings) for further details. Lighting specification TBD
- Wall to be overboarded with new plasterboard to provide the required ~30 minute fire protection (TBC). New skim coat and decoration with matt emulsion paint finish. Colour to be agreed.
- All walls to be redecorated with matt emulsion paint. Colour to be agreed.
- Metalwork and damaged modern plaster finishes to be carefully removed. New lime plaster finish to brickwork to match existing adjacent.
- New wall lighting: Astro Rio 325 7172
- New double door decorated in eggshell paint finish to match design of adjacent doors. Colour to be agreed. Refer to drawing (32)AD004, door & ironmongery schedule for more details.
- Existing doors containing asbestos to be replaced with new 30 min fire doors to match design of existing and decorated with eggshell paint finish. Colour to be agreed. Refer to drawing (32)AD001, door and ironmongery schedule for further details
- New recessed electrical socket outlets. Allow for routing cabling within plasterboard and any resultant repair works.
- New hardwood skirting to match profile of existing. New eggshell paint finish to match adjacent joinery.
- Metalwork to be carefully removed. Damaged modern plaster finishes made good to provide suitable surface for new plasterboard.(TBC)



- Existing decorative plaster cornice to be redecorated
- Ceilings to be repaired where required and redecorated. Refer to drawing (35)AP003
- Indicative layout for suspended lighting. Refer to reflected ceiling plans (35 series drawings) for further details. Lighting specification TBD
- All walls to be redecorated with matt emulsion paint. Colour to be agreed.
- Windows, architrave and associated panelling and shutters to be redecorated. Refer to window and ironmongery schedule for further details
- Localised plaster repairs
- New recessed electrical socket outlets. Allow for routing cabling within lath and plaster finishes. Any resultant repair works to be carried out using lime plaster as specified.
- Existing skirting in good condition to be retained and redecorated with eggshell paint finish
- New electrical outlets to be positioned within floor box.



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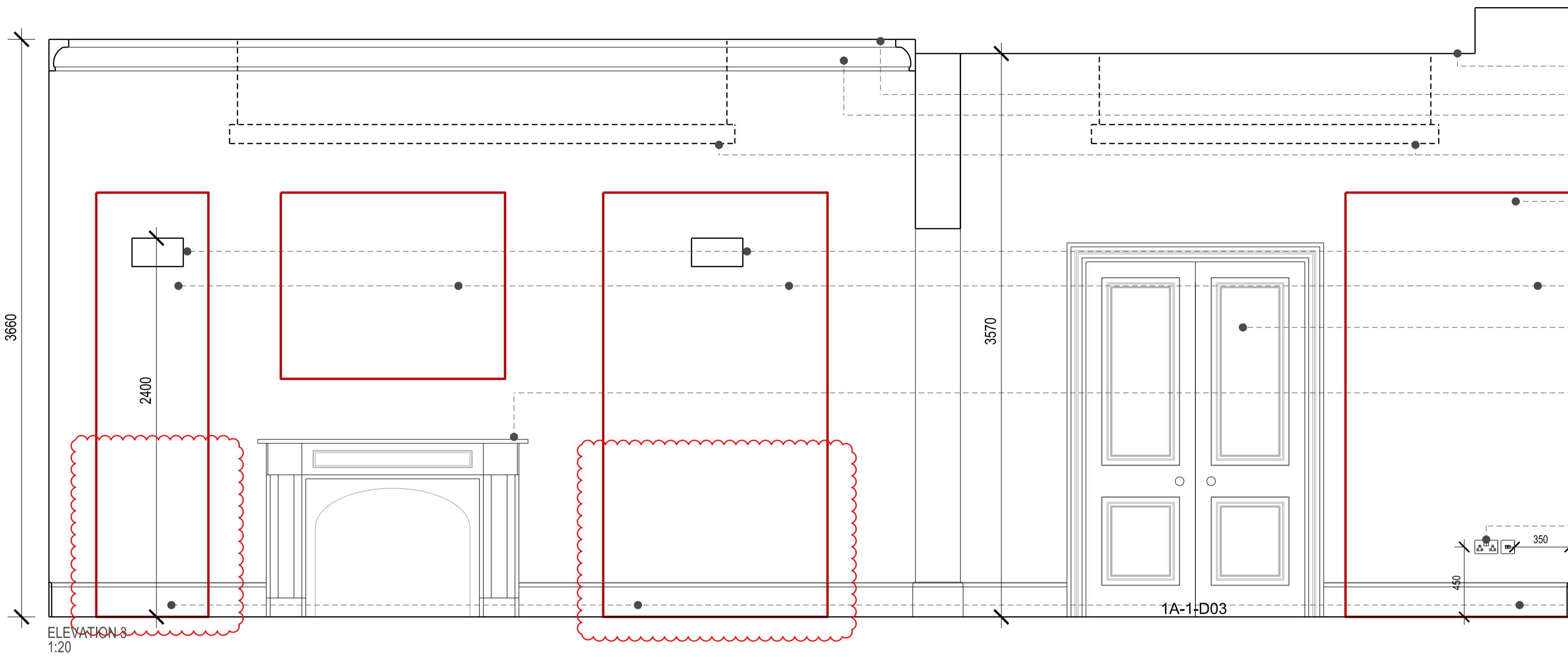
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British Museum Perimeter Properties Refurbishment	
P2007246	SCALE
1A Montague Street First Floor Level 1AMS/3/005 Internal Elevations 1 - 2 Planning and LBC Application	1:20@A1
(70)AD028	DATE May '17
	REVISION D

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NOTES

-  EXISTING STRUCTURE
-  NEW CONSTRUCTION
-  EXTENT OF REPAIR WORK
-  REVISION CLOUD REFERS TO RADIATOR RELOCATED



- New suspended ceiling
- Ceilings to be repaired where required and redecorated. Refer to drawing (35)AP003
- Existing decorative plaster cornice to be redecorated
- Indicative layout for suspended lighting. Refer to reflected ceiling plans (35 series drawings) for further details. Lighting specification TBD
- All walls to be redecorated with matt emulsion paint. Colour to be agreed.
- New wall lighting: Astro Rio 325 7172
- Metalwork and damaged modern plaster finishes to be carefully removed. New lime plaster finish to brickwork to match existing adjacent.
- New double door decorated in eggshell paint finish to match design of adjacent doors. Colour to be agreed. Refer to drawing (32)AD002, door & ironmongery schedule for more details.
- Fireplace to be cleaned. Protection required throughout construction phase
- New recessed electrical socket outlets. Allow for routing cabling within plasterboard and any resultant repair works.
- New hardwood skirting to match profile of existing. New eggshell paint finish to match adjacent joinery.

CEILING

New matt emulsion paint decoration. Colour to be agreed with architect and British Museum. Refer to (45) series reflected ceiling plans for additional information.

WINDOWS

Overhaul of existing sash windows to ensure full operation. To be fully redecorated. Refer to Window schedule for specific information.

DOORS

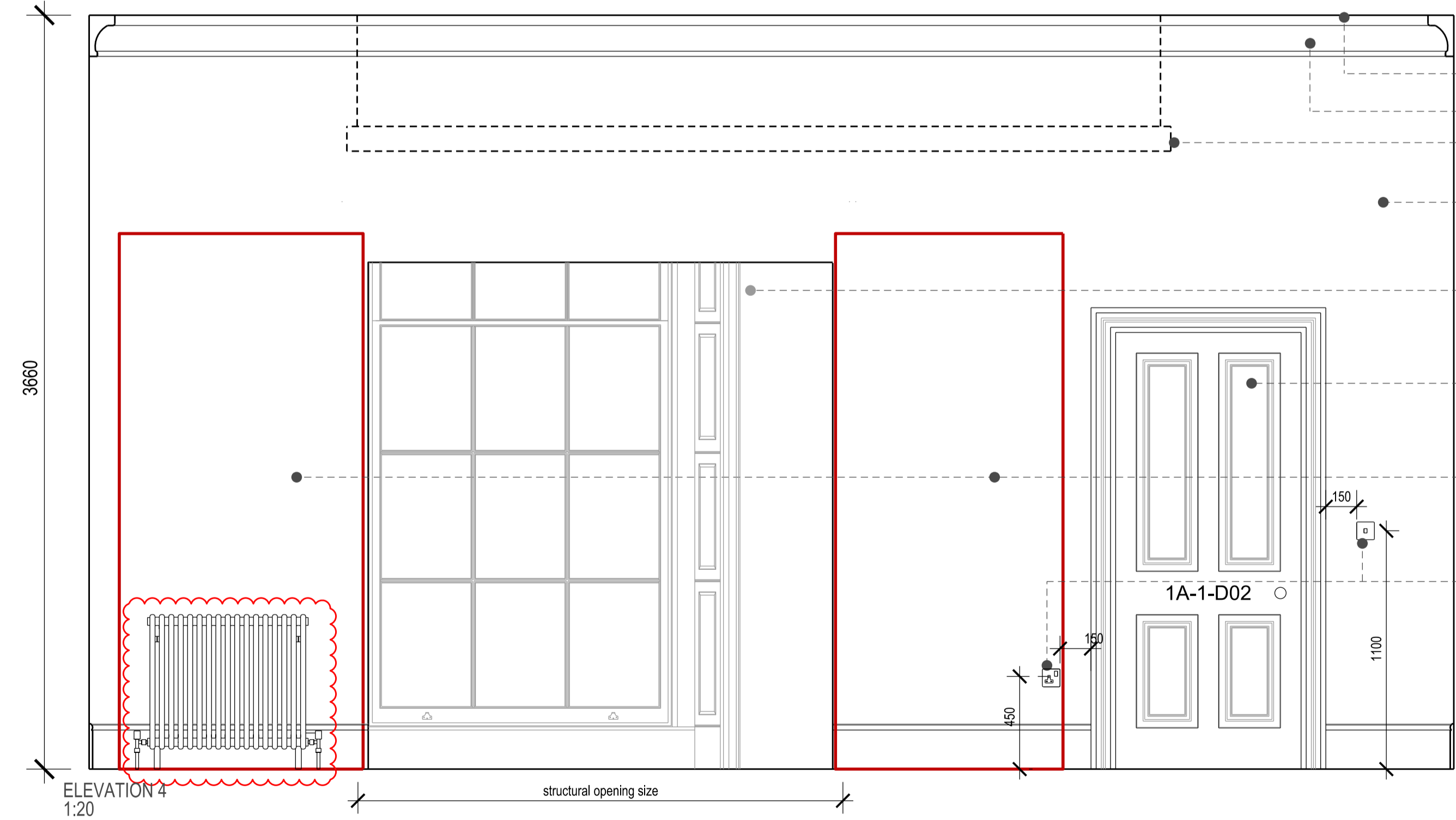
Doors to be redecorated in eggshell paint finish to match joinery. Refer to Door schedule for further information. Requirement for fire upgrade tbd.

JOINERY

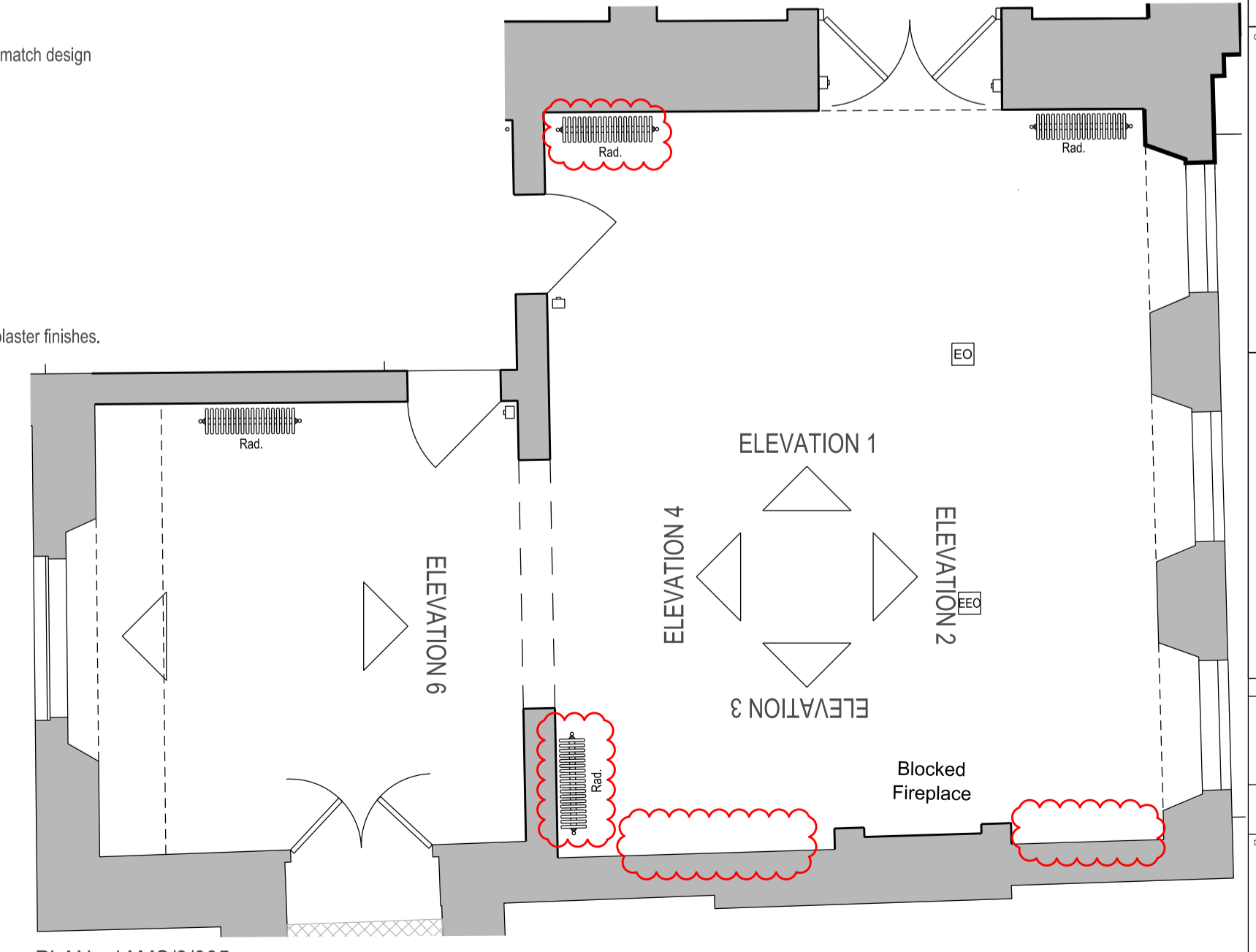
Areas of missing skirting to be replaced with new hardwood boards to match the existing profile. Extent illustrated within red lines of drawing. Eggshell paint decoration in colour to be agreed.

DECORATIVE PLASTERWORK

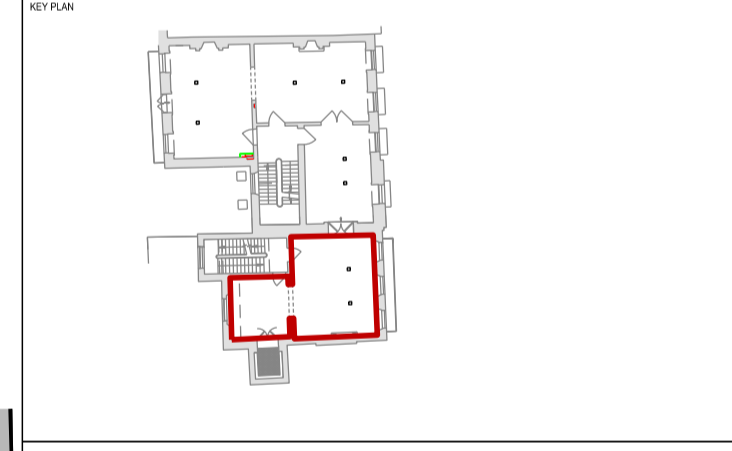
Surfaces to be dusted down and any loose debris removed. New thin paint coating to be applied using water soluble soft distemper or water thinned alkyd resin paints to ensure decorative detail is not lost. Water thinned contract grade emulsion may be acceptable. Suggested trial area for inspection. Applies to full extent of cornices in principal spaces at ground and first floor levels.



- Ceilings to be repaired where required and redecorated. Refer to drawing (35)AP003
- Existing decorative plaster cornice to be redecorated
- Indicative layout for suspended lighting. Refer to reflected ceiling plans (35 series drawings) for further details. Lighting specification TBD
- All walls to be redecorated with matt emulsion paint. Colour to be agreed.
- Modern timber stud and plasterboard infill to be carefully removed and opening reinstated. Refer to structural drawings for details and specifications.
- Existing doors containing asbestos to be replaced with new 30 min fire doors to match design of existing and decorated with eggshell paint finish. Colour to be agreed. Refer to drawing (32)AD001, door and ironmongery schedule for further details
- Metalwork and damaged modern plaster finishes to be carefully removed. New lime plaster finish to brickwork to match existing adjacent.
- New recessed electrical socket outlets. Allow for routing cabling within lath and plaster finishes. Any resultant repair works to be carried out using lime plaster as specified.



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British Museum
 Perimeter Properties Refurbishment

P2007246

1A Montague Street
 First Floor Level 1AMS/3/005
 Internal Elevations 3 - 4
 Planning and LBC Application

Scale: 1:20@A1
 Date: May '17
 Revision: D

