

GENERAL NOTES:

All dimensions to be checked on site prior to manufacture. Do not scale from this drawing. Windows/doors shown indicative, refer to manufacturers details. All works to be in accordance with current Building Regulations/ British Standards. All sanitaryware, ironmongery etc. to be co-ordinated with the Client prior to installation.

SPECIFICATION NOTES:

All materials to be installed in accordance with manufacturers recommended guide lines. Setting out dimensions to face of structural element, not to Plasterboard face.

Electrical Installation. To be carried out in accordance with the recommendations of BS 7671:2008 + A3:2015 and the current edition of the Building Regulations for electrical equipment in buildings issued by the Institute of Electrical Engineers. All new electrical installations to be designed, installed, inspected and tested in accordance with the requirements of BS 7671:2008 + A3:2015, the current edition of the Wiring Guidance and Building Regulations Part P (electrical safety) by a person who is a member of the Competent Person Scheme authorised by the Secretary of State. Sockets to be installed between 450mm and 1200mm from floor level to comply with Approved Document M of the Building Regulations unless otherwise agreed. Where original paneling present sockets, switches etc. to be centred an aligned as appropriate (no cutting of architectural features permitted).

The person who is a member of the Competent Person Scheme is to send to the Local Authority or Approved Inspector a self-certification certificate within 30 days of the electrical works completion. The client must receive both a copy of the self-certification certificate and BS 7671:2008 + A3:2015 Electrical Installation Test Certificate.

Fire: All steelwork / structures to receive min 60mins fire resistance/ fire protection. All service penetrations are to be suitably fire sleeved/stopped using Rockwool Corofix Firestop or similar or equal approved. Surface spread of flame within circulation areas to be to Class 0. All Lighting & ducts within ceiling zone to have intumescent hood/fire protection with a minimum of 30mins fire resistance unless a fire rated fitting is installed. Fire alarm system to be installed to comply with BS 5266-1:2016 Escape lighting to be installed to comply with BS 5839-6:2013. Refer to Fire Strategy from IFC for further requirements.

Boilers to be supplied, INSTALLED and TESTED by a Gas SAFE registered installer. All installation and test certificates are to be submitted to Building Control. The following is to be presented to the inspecting Building Control Officer on Site: - The Gas Safe Licence Number - The start and expiry date of the licence - The licence indicates the installer is qualified for the work in hand and the qualifications are up-to-date - Gas burner appliances to be in accordance with Part J of the Building Regulations. If boilers are to be Condensing type they are to have a SEDBUK rating of not less than 90%. All hot water supply and systems to be installed in accordance with Part G of the Building Regulations.

Ventilation and Drainage to be in accordance with Part F and H of the Building Regulations. Extract fan to provide 30lts/sec adjacent to hob (60 ltr/sec if else where) with 15 min overrun in kitchen. Extract fan to provide 15lts/sec with 15 min overrun in bathroom/shower. Extraction fan to provide 30lts/sec for utility. Bathroom shower/utility to extract out external wall within existing apertures. Refer to M&E Consultants details and specification.

Commissioning of Fixed Building Services: Certification is to be provided to the Building Control Officer or Approved Inspector confirming that the fixed building services have been commissioned in accordance with the Domestic Heating Compliance Guide/Manufacturers commissioning procedures by a suitably qualified person or member of a Competent Person Scheme no later than on completion of the work.

Glazing: Impact Resistant Glazing to be used in Critical areas as stated in Part K of the Building Regulations.

Passage of Sound: All new walls and floors to be constructed in compliance with E1 of Approved Document E, to be tested in accordance with the requirements of Regulation 20A of The Building Regulations 2000 (as amended). The testing shall be carried out by a test body with appropriate third party accreditation.

U Values - Proposed Target: Main Roof = 0.18 W/m²K External Walls = 0.25 W/m²K Ground Floor = 0.22 W/m²K External facade windows/Glazing = 1.6 W/m²K (Note: Proposed U-values have been calculated upon the current guidelines in Building Regulation Part L1A 2010).

Target air permeability to achieve 5m³/(h.m²) at 50Pa

Refer to Specialist Consultant information with regards to Structure, MEP and Swimming Pool requirements / specifications.

Above Ground Drainage

All information shown indicatively. Please refer to MEP Engineer's design and specification. All works to be carried out in accordance with Part H of the current Building Regulations. All service penetrations to be sealed to prevent vermin ingress. All internal RWP and SVP to be lagged with minimum 25mm Rockwool Teckuteck or equal approved. All proposed external RWP to match existing.

MH: Manhole Cover - Slim profile mechanically fixed airtight manhole cover (double sealed and locking) with brass edging by Peter Savage or equal approved to suit access requirements of Delta sumps. NOTE: Location indicative and subject to confirmation by M&E specialist.

Below Ground Drainage

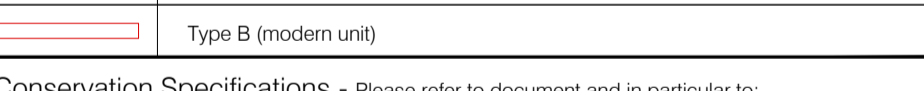
Please refer to Structural Engineer's design and specification. Distances for drainage points, from centre of pipes to internal face of adjacent walls (unless otherwise specifically stated)



* Where passing through external walls, provide pre-cast concrete lintel to give minimum 50mm clearance to all pipes. All branch connectors on "Y" junction to main drain run to have suitable rodding access

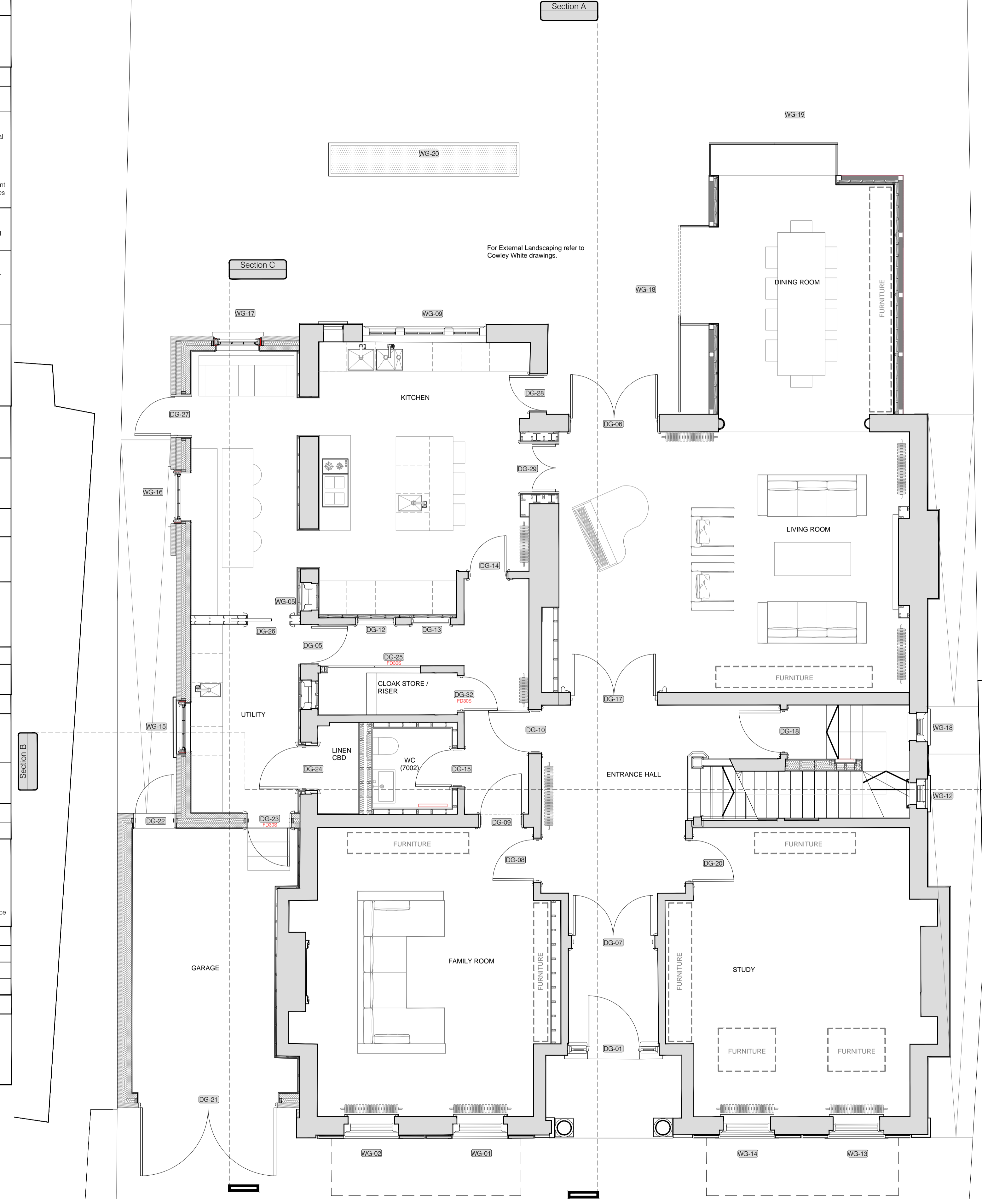
Radiators

All information shown indicatively. Please refer to MEP Engineer's design and specification.



Conservation Specifications - Please refer to document and in particular to:

- 1. GUIDELINES FOR SERVICE REMOVAL / INSTALLATION
2. DETAILS OF NEW OPENINGS
3. DETAILS OF INFILLING OPENING WITHIN MASONRY
4. METHOD STATEMENT FOR REPAIRS TO PANELLING
5. DETAILS OF FIRE LINES AND SURROUNDINGS
6. PAINT STRIPPING AND PREPARATION FOR REDECORATION
7. PLASTER CORNICE REPAIRS
8. REFRESHMENT OF EXISTING WINDOWS

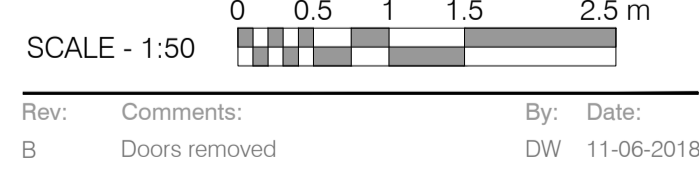


Wall & Floor Specifications (Compliant to Building Regulations Part B, E & L)

Basement floor to concrete slab (U Value 0.22W/m²K): Finished floor built up varies, refer to Kyson 2200 Series of Drawings for information. 65mm SR1 Scream on Vapour Control Layer on 60mm Celotex GA3060 insulation (or similar or equal approved) on 20mm Delta MS20 tanking membrane (or similar or equal approved) on 300mm reinforced concrete slab to Structural Engineers details and specification with perimeter drainage channel. Tanking works to be carried out by approved specialist. 30 years warranty certificate to be provided upon completion. Refer to M&E Specification for underfloor heating requirements. NOTE: All works to be in strict accordance with manufacturer's written recommendations.

Wall & Floor Specifications (Compliant to Building Regulations Part B, E & L)

Independent Wall Lining - Type 1: 1No. Layer of 12.5mm Gyproc Wallboard Plasterboard on 12mm plywood fixed to 89x44mm timber studs at 300mm C/Cs (TBC by Structural Engineer). Plasterboard to be taped and skimmed. NOTE: All works to be in strict accordance with manufacturer's written recommendations.



SCALE - 1:50
Rev: 11-06-2018
Comments: Doors removed
By: DW
Date: 11-06-2018

PLANNING
Client: 28 Scrutton Street London UK EC2A 4RP
Project Title: 24 Heath Drive, London, NW3 7SB
Drawing Title: Proposed Ground Floor

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Revision: B

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