

Design Explanation
49 - 51 Farringdon Road
EC1M 3JP

Prepared by Aros Architects
May 2018

49 - 51 Farringdon Road

Design Explanation
Amendments To Consented Roof Extension

8th June 2018

Aros

01 Introduction

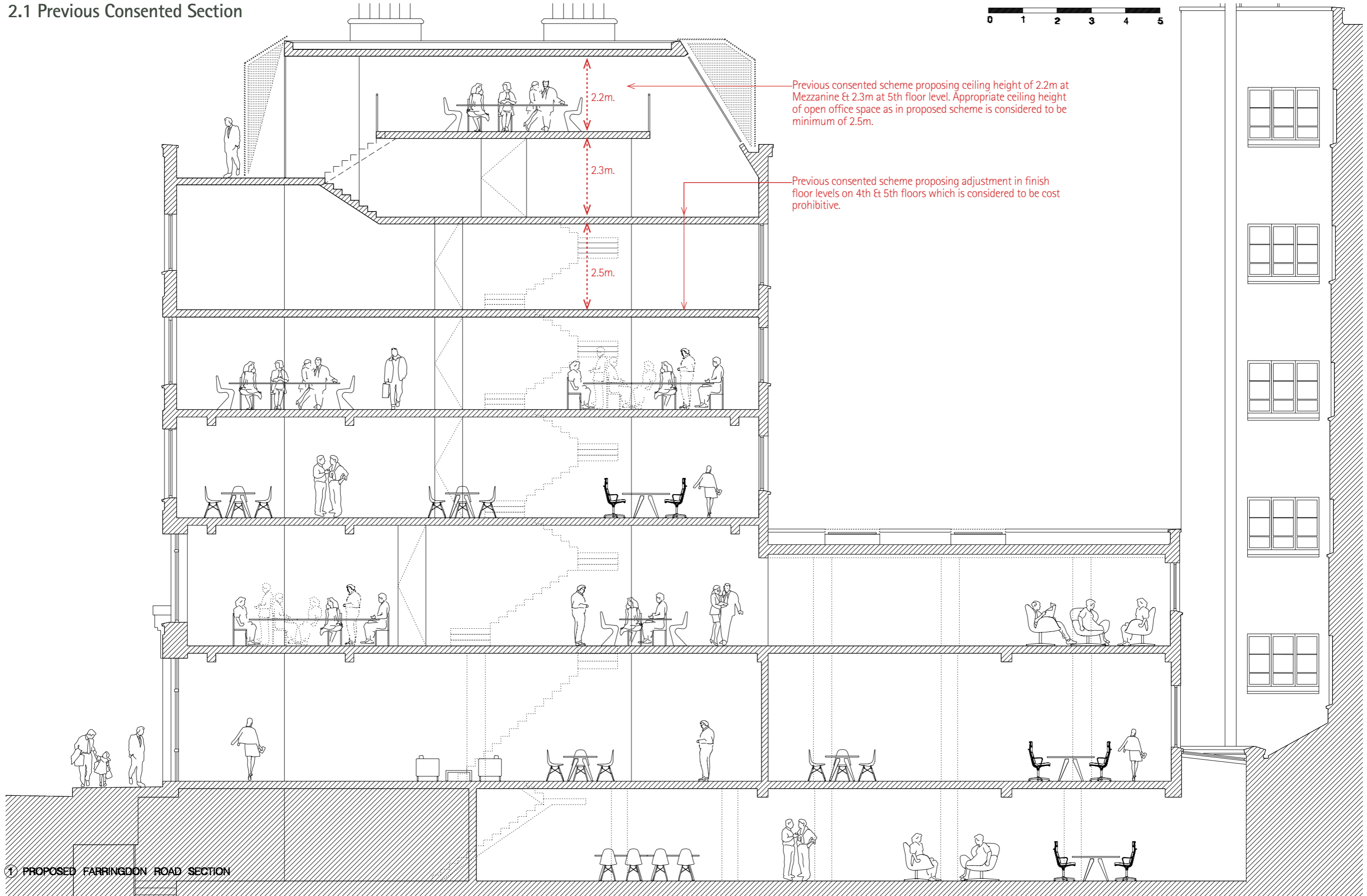
This Design Explanation document has been prepared to describe the design intentions of the proposed amendments to the roof extension at 49 - 51 Farringdon Road, compared to the existing consent.

The previous application at the address for 'Internal and external alterations, extensions and reconfiguration of building to provide a replacement roof extension at fifth floor level; a first floor rear extension; internal reconfiguration and extension of retail (A1), healthcare (D1) and office (B1a) uses with an overall uplift of 115sq.m (GIA); restoration of facade and upgrading of shopfront; alterations to rear elevation and associated additions/alterations' (Ref:**2016/6194/P**) was granted on 14th December 2017.

The site, location and surrounding buildings, as well as other parts of the proposed scheme are as described in the previous consented application.

- 02 Proposed Roof Extension
 - 2.1 Previous Consented Section
 - 2.2 Proposed Section with Design Explanation
 - 2.3 Proposed Roof Form & Materials
 - 2.4 Verified Views of Consented & Proposed Scheme

2.1 Previous Consented Section



REVISION:	PURPOSE:	DATE:
E	ISSUED FOR PLANNING - FULL APPLICATION	08/11/16
F	ISSUED FOR PLANNING - FULL APPLICATION - REVISED D/LIMIT AND STREET LEVEL ELEVATION	09/01/17
G	ISSUED FOR PLANNING - FULL APPLICATION - AMENDED FOLLOWING DESIGN DEVELOPMENT WITH OFFICER	10/01/17

Notes:

1. Construction are not to directly under all site changes. Construction should be obtained from the Engineer or Architect, who should not any discrepancy between drawings reported.
2. The design and these drawings are to be completed after the final approval of the Client/Contractor. London EC2M 3JP, T: 020 7288 8444 F: 020 7288 8888

Legend:
 I=Information, C=Contract, P=Planning, T=Tender, S=Completion

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 12-13 Clerkenwell Green
 London EC2M 3JP
 T: 020 7288 8444 F: 020 7288 8888
 E: studio@amin-taha.co.uk

CLIENT:
 Andrew Kirk Management Ltd

PROJECT:
 49-51 Farringdon Road
 London EC1M 3JP

DWG TITLE:
 Proposed Farringdon Road Section

REVISION: G	DATE: JAN 2017	SCALE: AS 1:100 AS 1:200
DWG No: 239-405	PURPOSE OF ISSUE: P	DR: RC CR: AT

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Pitched roof which is not visible from street level was added in order to achieve the minimum ceiling height in average of 2.5m. Introducing pitched roof means having longer lifespan, lower maintenance which reduces a risk involving the maintenance as accessing to the roof is required less frequently.

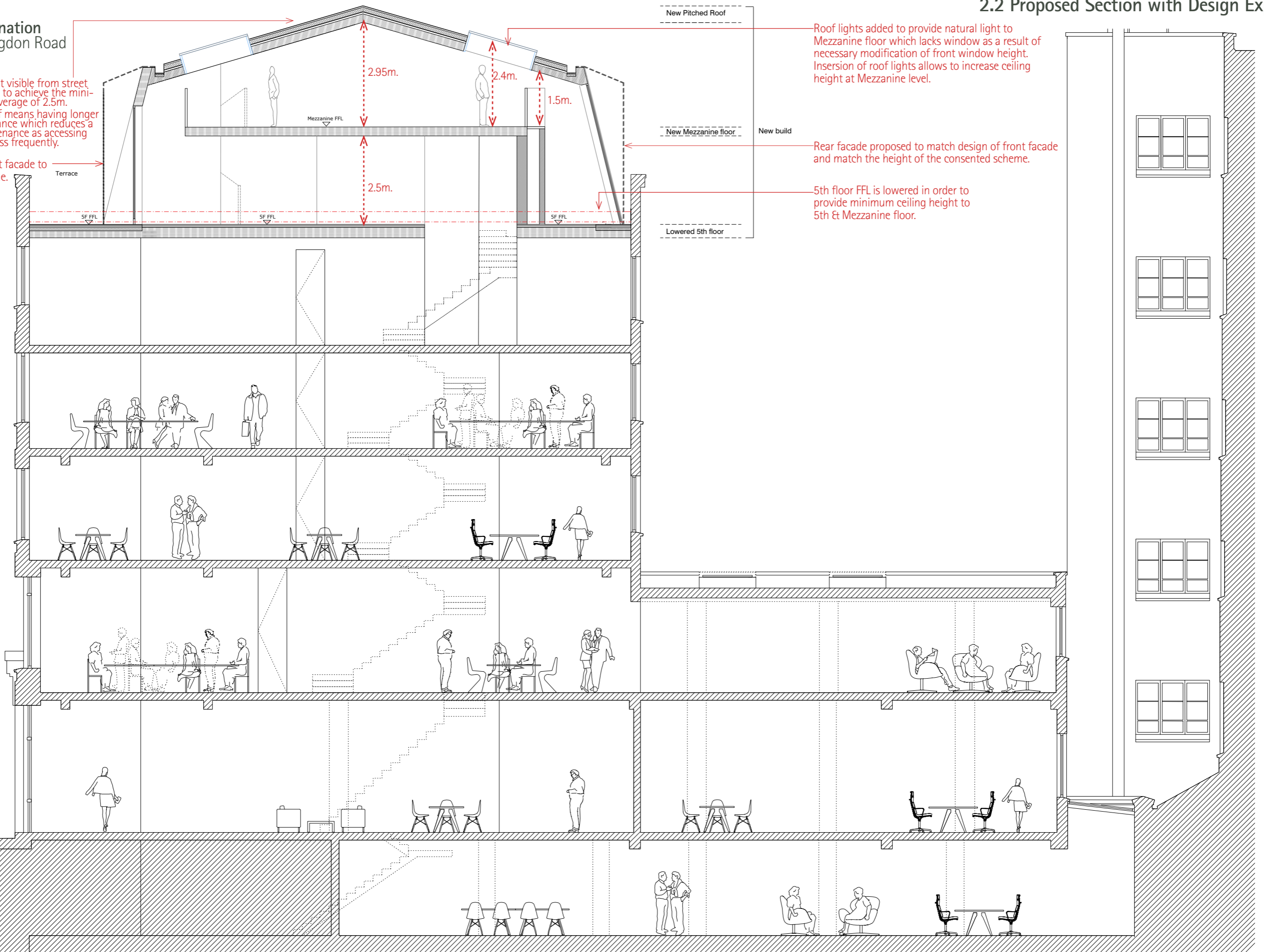
Height & Design of front facade to match consented scheme.

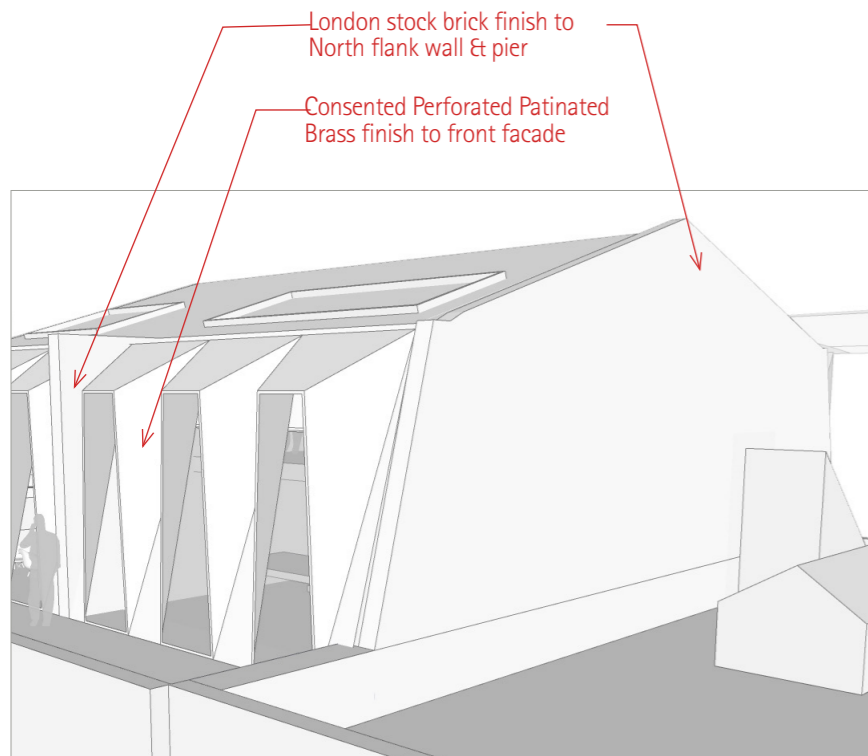
2.2 Proposed Section with Design Explanation

Roof lights added to provide natural light to Mezzanine floor which lacks window as a result of necessary modification of front window height. Inclusion of roof lights allows to increase ceiling height at Mezzanine level.

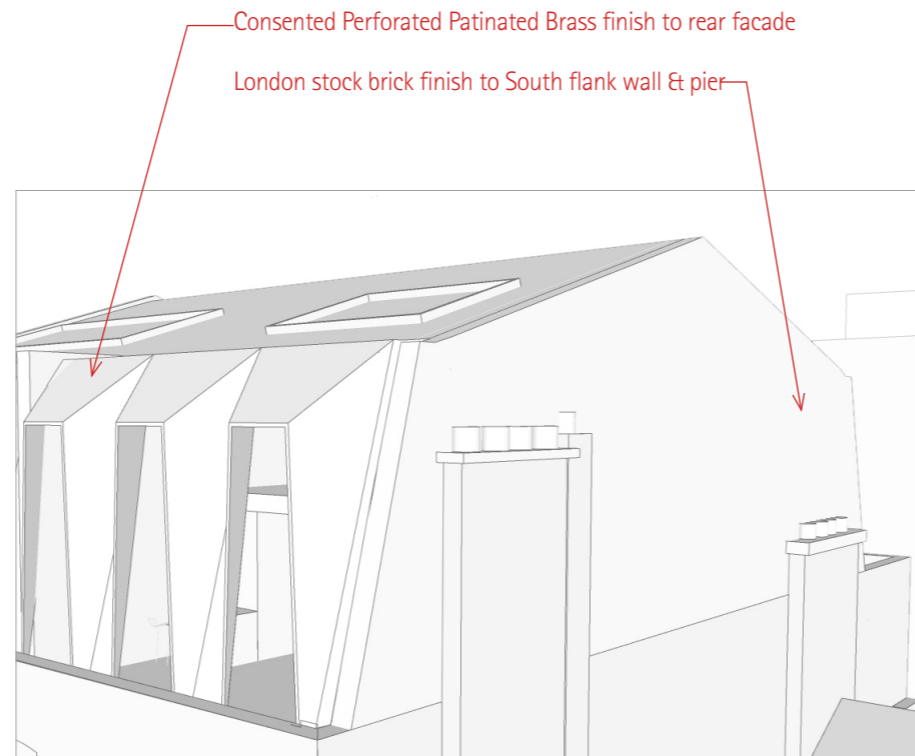
Rear facade proposed to match design of front facade and match the height of the consented scheme.

5th floor FFL is lowered in order to provide minimum ceiling height to 5th & Mezzanine floor.





3D view of Proposed North Elevation



3D view of Proposed South Elevation

The proposed front and rear facades to roof extension will be finished in the approved Perforated Patinated Brass finish.

The flank elevations comprising party walls will be finished in London stock brick as per approved scheme, which will also be reflected within a central brick pier on the front and rear elevations to help maintain the appearance that No.49 and 51 are distinct buildings; again as per the approved scheme.

The only change to the roof form is the addition of a pitched roof with conservation rooflights which, as illustrated overleaf, will not be visible at street level.



View of neighbouring flank walls at roof level.

49-51 Farringdon Road AVR

10

View 02 View from Farringdon road near junction with Cowcross street



View as existing



View Location map



View as approved



View as proposed

49-51 Farringdon Road AVR

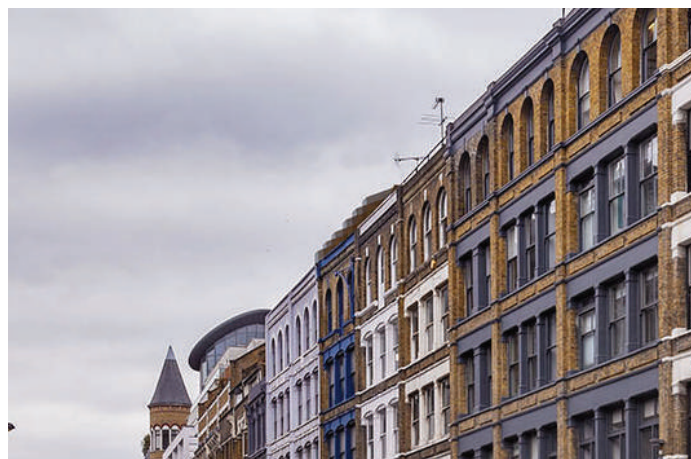
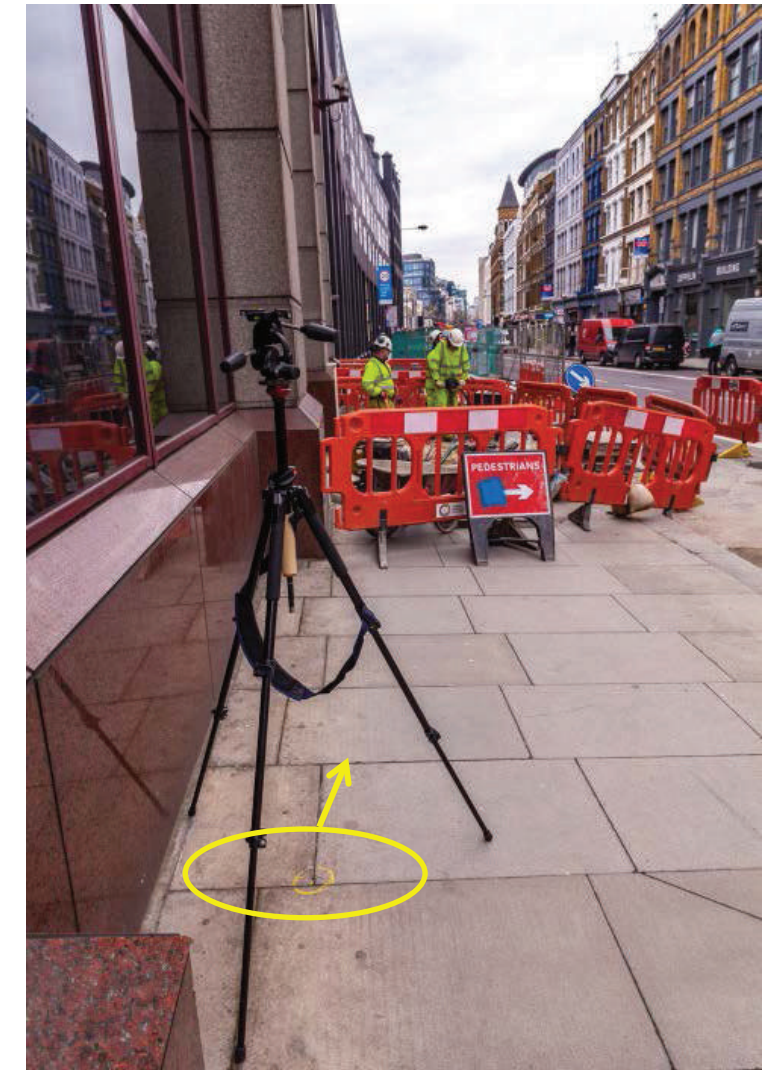
View 01 View from Farringdon road opposite junction with St Cross street



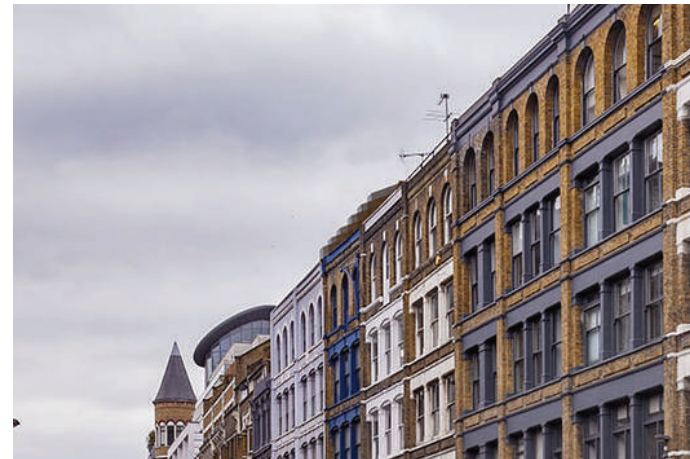
View as existing



View Location map



View as approved



View as proposed