

DESIGN AND ACCESS STATEMENT

FULL PLANNING APPLICATION

44 ARKWRIGHT ROAD
LONDON NW3



ARTICLUS

Design Consultants
Unit 5, The Exchange
Brent Cross Gardens
London
NW4 3RJ

www.articlus.co.uk
info@articlus.co.uk
T: 0208 090 4802

PREPARED BY

Articlus Ltd

ON BEHALF OF

Mrs Jane Haddad

JUNE 2018

CONTENTS:

- 1. Preamble**
- 2. Introduction**
- 3. Context**
- 4. Planning History**
- 5. Design Principles**
 - 5.1 Layout and Scale**
 - 5.2 Landscaping**
 - 5.3 Appearance**
 - 5.4 Access**
 - 5.5 Sustainability**
- 6. Summary**

FULL PLANNING APPLICATION FOR DEMOLITION OF EXISTING CONSERVATORY AND CONSTRUCTION OF A NEW CONSERVATORY

Preamble

This document should be read in conjunction with all the relevant Planning drawings and associated documentation produced by Articlus Ltd, alongside any other advice by the relevant consultants. Please note that some statements within this document may be repeated in other supporting documentation.

Introduction

44 Arkwright Road is a single-family semi-detached dwelling house consisting of Basement, Ground Floor, First Floor, Second Floor, a habitable Loft, front and rear gardens. The total Gross Internal Area is currently 460m². The house is within the Camden Council's Reddington Frognal Conservation area and is considered a building that makes a positive contribution to the conservation area. There is currently an existing conservatory with glazed roof to the rear of the house, which is proposed to be demolished.



Context

The house is part of a series of similar 4-storey part yellow brick, part red brick houses (nos. 38-48) with intersecting hip roofs. The general appearance, shape and massing of the house cannot be considered typical for the street as the area consists of several types of houses and a few listed public buildings. A similar in size flat roof conservatory, though different in character to the one proposed herewith, was granted permission at no. 38 in 2009 and has been built since.

Planning History

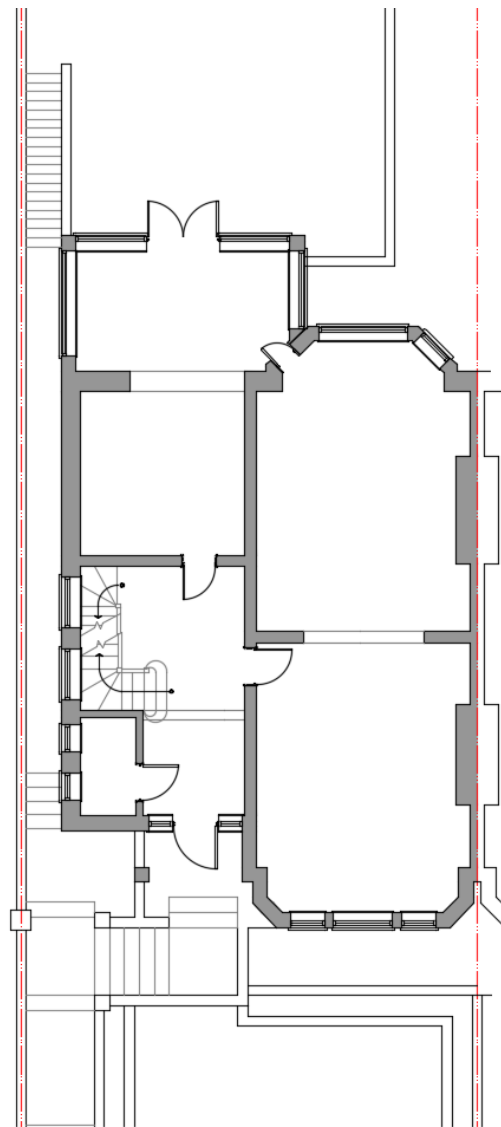
1. 35908 – Construction of a hard-standing and formation of a means of access – 17-03-1983 – Refused;
2. 36351 – Construction of a hard-standing and formation of a means of access – 09-06-1983 – Granted;
3. 8803704 – Construction of a forecourt garage and a means of access to the highway as shown on drawing No.606(01)01 revised on 8th June and 22nd July 1988. – 11-03-1998 – Refused;
4. 2004/3855/P – Demolition of existing conservatory to the rear ground floor level and erection of a new single-storey extension over basement rooms. – 15-10-2004 – Granted;
5. 2009/5490/P – Reconfiguration of front garden including relocation of external steps leading to the front entrance, erection of retaining walls with railings above to create two parking spaces and refuse storage space on site and alterations to front boundary treatment including erection of wall, vehicle and pedestrian gates (following demolition of double garage). – 13-01-2009 – Granted.

Design Principles

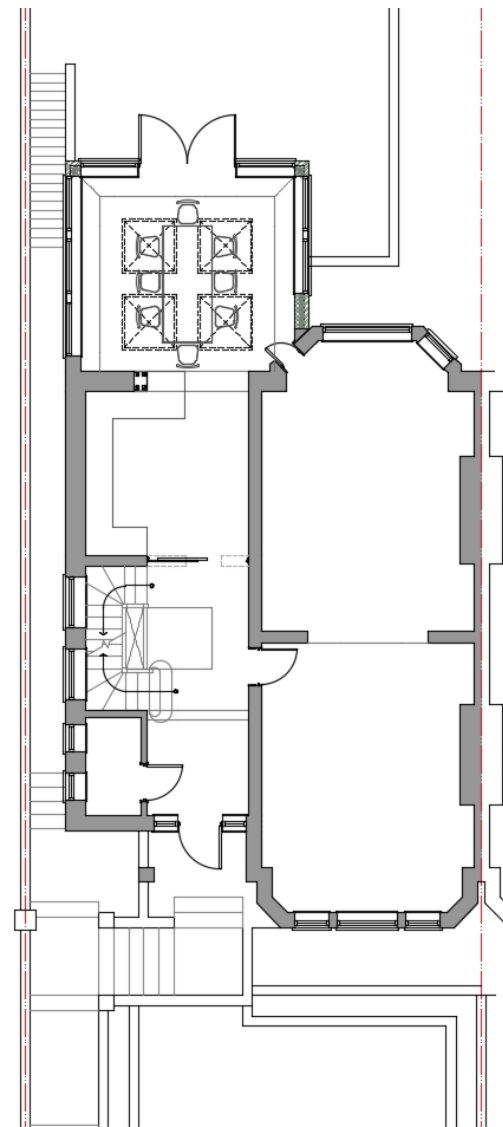
The proposed conservatory is to replace and extend the existing conservatory at the rear of the house and allow for a larger space. The existing conservatory, although an improvement to the original one, detracts from the style of the house. Hence the proposed conservatory is to employ elements and principles from the original house while keeping the interior light, open and well-lit by means of large windows to all sides and 4 no. flat roof lights.

Layout and Scale

The proposed conservatory is to have the same width as the existing one and extend 4.6m beyond the original wall of the house (+1.6m from existing conservatory). It is to have a mansard roof with vaulted ceiling mimicking the existing roof slopes of the original house, which is considered an improvement to the existing conservatory half-pyramid glass roof.



Existing Ground Floor Plan
Scale: 1/100 (A3 Sheet)



Proposed Ground Floor Plan
Scale: 1/100 (A3 Sheet)

Landscaping

There is no proposed change to the existing landscape.

Appearance

The proposed conservatory aims to complement the traditional style of the house, keeping in view that it is within a conservation area, while also making an effort to balance it with more contemporary features - flat skylights and large windows. The external materials are to match those of the existing conservatory.



Sustainability

Although no specific technologies are proposed within the design at this stage, it is intended to review and integrate where possible:

- Efficient thermal envelope.
- Mechanical ventilation.
- Water/energy efficient fittings.

Access

There is no proposed change to the existing access routes.

Summary

The proposal, as a whole, aims to rationalise the existing arrangement at the ground floor of the house and allow for more convenience, while its appearance and massing aim to complement the existing house and its context and contribute to the aesthetics of the conservations area.

Relevant Drawings:

AR-PL-1000 Site Location Plan

AR-PL-1001 Existing and Proposed Ground Floor Plans

AR-PL-1002 Existing and Proposed Roof Plans

AR-PL-1003 Existing Front Elevation (Unchanged)

AR-PL-1004 Existing and Proposed Rear Elevations

AR-PL-1005 Existing Side Elevation (LHS)

AR-PL-1006 Proposed Side Elevation (LHS)

AR-PL-1007 Existing Side Elevation (RHS)

AR-PL-1008 Proposed Side Elevation (RHS)

The logo for Articlus, featuring the word "ARTICLUS" in a bold, blue, sans-serif font. The letter 'A' is stylized with a triangular shape on its left side.