

Application ref: 2018/1461/P  
Contact: Seonaid Carr  
Tel: 020 7974 2766  
Date: 8 June 2018

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE  
Phone: 020 7974 4444  
camden.gov.uk  
[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

Montagu Evans LLP  
5 Bolton Street  
London  
W1J 8BA

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Approval of Details Granted**

Address:  
**50 Redington Road**  
**London**  
**NW3 7RS**

Proposal:  
Details SUDs required by condition 8 of planning permission 2014/4531/P dated 31/03/2015 (for the erection of new dwellinghouse comprising three storeys plus excavation of two basement levels, following demolition of existing.)

Drawing Nos: SuDSmart Pro Ref: 70589R1REV1 by Geo Smart dated March 2018

The Council has considered your application and decided to approve details.

Informative(s):

1

Condition 8 requires submission of a sustainable urban drainage system as part of the basement excavation and new dwelling. The applicant has submitted a report detailing the drainage approach which will include rainwater harvesting and underground storm cell attenuation crates. These proposed methods of SUDs would ensure a 74% reduction in the site surface water runoff at peak times and 50% reduction in the site surface water runoff rate at peak times. The details submitted also include a management and maintenance plan for the SUDs. It is considered sufficient detail has been provided for condition 8 for be approved.

The site's planning history and relevant appeal decisions were taken into account when coming to this decision.

The details provided are in general accordance with policies CS13 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

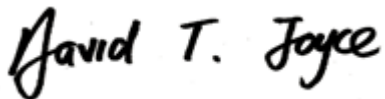
- 2 You are reminded that conditions 3 (materials) of planning permission 2014/4531/P granted on 31/03/2015 are outstanding and require details to be submitted and approved.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce  
Director of Regeneration and Planning