

COOKE
FAWCETT
ARCHITECTS

Rose Cottage, Vale of Health, NW3 1AX
Opening up - revision B
30.04.2018





180430_135_REP_OpeningUp_RevB



1. Plan describing agreed areas of opening up
2. Schedule
3. Photographic record and notes
4. Additional opening up of rear outrigger chimney

Cooke Fawcett Markup
Proposed opening up
01.08.2017

1. Dimensions given in millimetres unless stated otherwise.
2. All levels are in metres above AOD unless stated otherwise.
3. Use written dimensions only; do not scale from drawing.
4. All dimensions to be verified on site prior to proceeding, and all discrepancies to be notified in writing to the Architect.
5. Original survey produced by GeoTop Surveys in April 2017. The Architect is to be informed of any inaccuracies of the existing works or surroundings.

Notes

-  Opening up (floor)
-  Opening up (ceiling)
-  Opening up (wall)
-  Trial Pit

-  Demolition
-  Strip out

Rev.	Description	Date
A	Information	19.05.2017
B	Information	14.06.2017
C	Planning Application	19.06.2017

Project: 950-RVH
Rose Cottage, Vale of Health
London, NW3 1AX

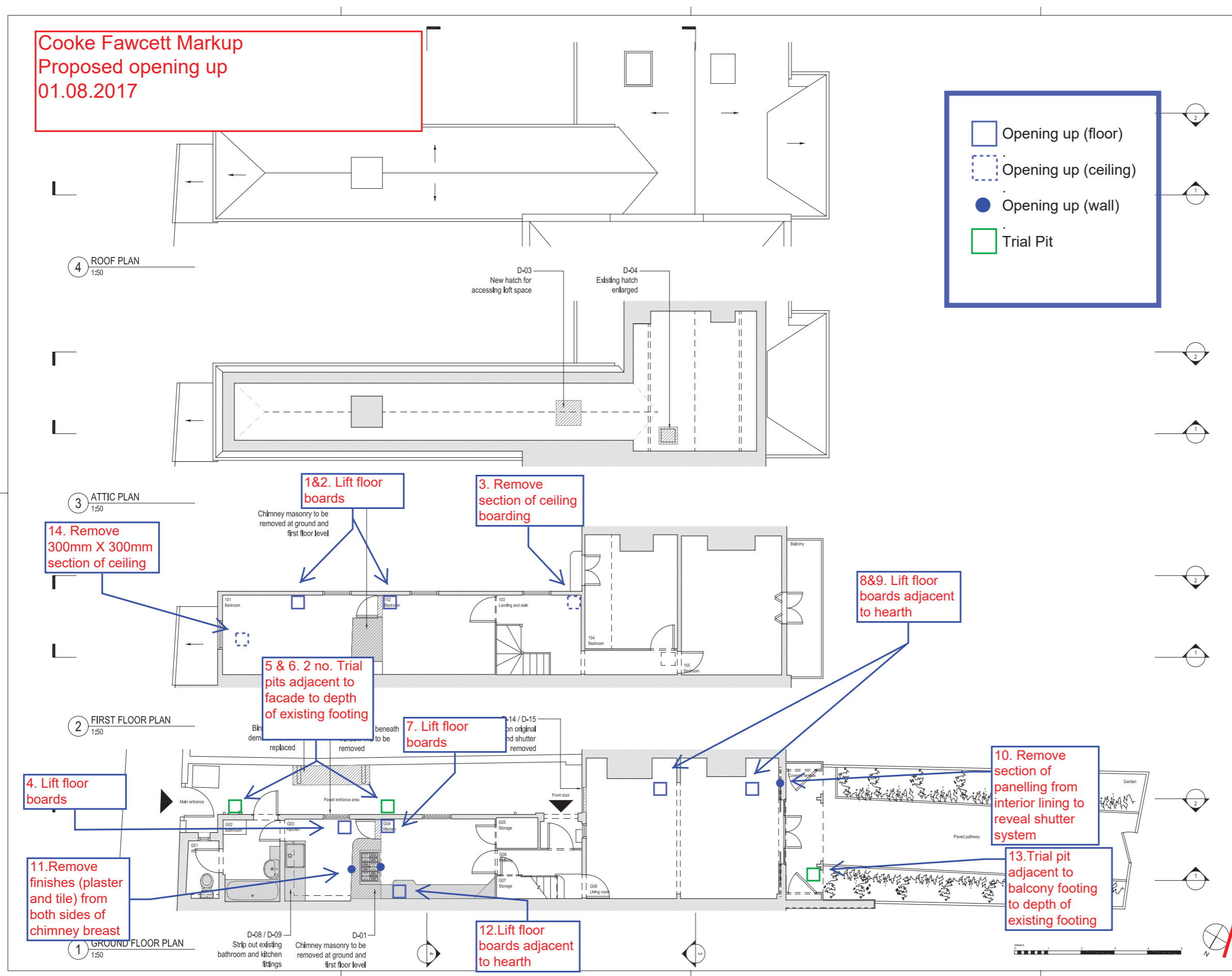
Client: Simon and Sarah Walker

Architect: COOKE FAWCETT ARCHITECTS
1-2 Herbal Hill London EC1R 5EF
+44 (0)20 7078 4030

Scale: 1:50
at A1 / A3 size
NOT FOR CONSTRUCTION

Drawing Title: Floor Plans Existing

Drawing No.: CF-DR-135-1-0100-C



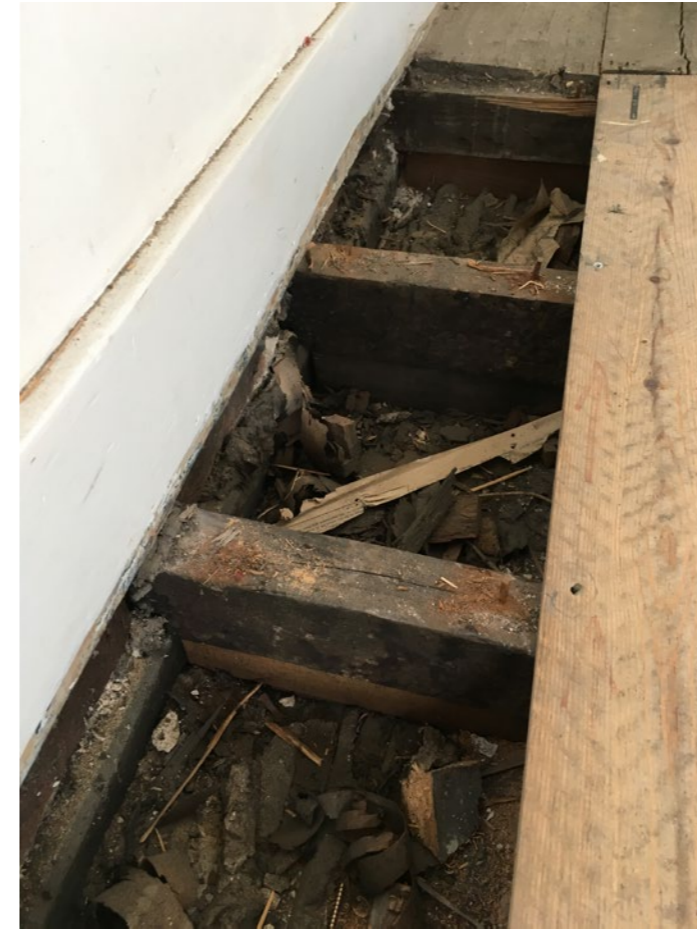
Rose Cottage
CF-SCH-135-101

Trial Pits and Opening Up

03.08.2017

Revision B

Reference			
TP	Location	Description	Aims
TP-01	1st floor room 101 floor	Raise floor boards adjacent to façade. Carefully remove fixings from 2 no. boards, raise boards, protect and set aside, replace boards following inspection	Inspect joists and joist sockets, confirm location of existing services runs
TP-02	1st floor room 102 floor	Raise floor boards adjacent to façade. Carefully remove fixings from 2 no. boards, raise boards, protect and set aside, replace boards following inspection	Inspect joists and joist sockets, confirm location of existing services runs
TP-03	1st floor room 103 ceiling	Remove section of non-original ceiling boarding. Remove fixings from one section of board, carefully remove board, inspect any concealed ceiling finishes and ceiling structure and void above. Replace board afterwards.	Inspect ceiling behind, confirm whether any original fabric remains, confirm ceiling structure and roof structure where possible
TP-04	Ground floor G03 floor	Lift floor boards adjacent to façade and chimney breast. Carefully remove fixings from 2 no. boards and raise boards. Protect boards and set aside, leave any substructure in place, remove any loose soil or dirt to inspect footings. Replace boards following inspection	Inspect sub floor and chimney footings, confirm floor substructure, existing and quality of damp proof course, condition of any timber structure, confirm depth of chimney footings
TP-05	Exterior paving	Trial pit adjacent to façade. Raise existing paving and set aside, dig 450mm X 450mm trial pit to depth of existing footings of flank wall, replace fill and paving following inspection	Determine depth and condition of footings and paving buildup
TP-06	Exterior paving	Trial pit adjacent to façade. Raise existing paving and set aside, dig 450mm X 450mm trial pit to depth of existing footings of flank wall, replace fill and paving following inspection	Determine depth and condition of footings and paving buildup
TP-07	Ground floor G04 floor	Lift floor boards adjacent to hearth, Raise Remove area of non original lino floor tiles, remove fixings from 2 no. boards. Carefully remove fixings from 2 no. boards, raise boards, protect and set aside, replace boards following inspection	Inspect sub floor and chimney footings
TP-08	Ground floor G08 floor	Lift floor boards adjacent to hearth, Raise Remove area of non original lino floor tiles, remove fixings from 2 no. boards. Carefully remove fixings from 2 no. boards, raise boards, protect and set aside, replace boards following inspection	Inspect sub floor and chimney footings, confirm condition of sub structure, ventilation path and hearth construction
TP-09	Ground floor G08 floor	Lift floor boards adjacent to hearth, Raise Remove area of non original lino floor tiles, remove fixings from 2 no. boards. Carefully remove fixings from 2 no. boards, raise boards, protect and set aside, replace boards following inspection	Inspect sub floor and chimney footings, confirm condition of sub structure, ventilation path and hearth construction
TP-10	Ground floor G08 wall lining	Remove section of existing panelling, protect, set aside, replace following inspection	Inspect sliding shutter assembly and wall buildup
TP-11	G03 / G04 chimney breast	Remove existing wall finishes (tile and plaster) from chimney. Carefully remove existing finishes and clean exposed masonry to reveal construction	Determine construction of existing chimney breast and establish whether it has been previously altered.
TP-12	Ground floor G04 floor	Lift floor boards adjacent to party wall and hearth. Carefully remove fixings from 2 no. boards and raise boards. Protect boards and set aside, leave any substructure in place, remove any loose soil or dirt to inspect footings. Replace boards following inspection	Inspect sub floor and chimney footings, confirm floor substructure, existing and quality of damp proof course, condition of any timber structure, confirm depth of chimney footings
TP-13	Exterior paving	Trial pit adjacent to balcony footing, raise existing paving and set aside, dig 450mm X 450mm trial pit to depth of existing footings of balcony footing, replace fill and paving following inspection	Determine depth and condition of footings and paving buildup
TP-14	1st floor room 101 ceiling	Remove 300mm X 300mm section of ceiling finishes, neatly cut away square section of existing ceiling to provide visual access to void above	Inspect ceiling structure, roof structure and attic void



TP - 01
floor in outrigger at 1st floor

- Joists in reasonable condition
- Joist sockets in reasonable condition
- Discovery of vertical timber studs in wall buildup
- Conclusion is that wall has dropped but that joist socket connection remains in reasonable condition

TP - 02
floor in outrigger at 1st floor

- As per TP-01



TP - 03
Ceiling above staircase, 1st floor outrigger

- Original lathe and plaster ceiling has been previously removed
- Layer of boarding above joists suggests that this may have previously been a roof level

TP - 04
Floor between chimney and facade, ground floor outrigger

- Evidence of damp and decay
- Several areas of rot in existing timber



TP - 05
Exterior paving

- No foundations
- Non-original concrete haunch cast against facade
- Soil erosion beneath wall



TP - 06
Exterior paving

- As per TP-05
- Evidence of some servicing (potentially redundant) cast into concrete haunch



TP - 07
Flooring at ground floor adjacent to facade

- Evidence of damp and water ingress
- No discernible DPC or DPM
- Wall plate is rotten and wet
- Damage to joists through decay
- Evidence of mould - spores on earth and timbers





TP - 08
Flooring by hearth in main reception room

- No insulation
- Existing joists are bearing onto patchy arrangement of dwarf walls and existing piers
- Mounds of soil limit space for air circulation
- Floorboards and joists in reasonable condition



TP - 09
Flooring in body of main reception room

- As per TP-08





TP - 10
Finishes concealing sliding shutters

- No insulation
- Sliding mechanism is accessible and can be restored



TP - 11
Finishes to existing chimney

- Unremarkable brickwork
- Some evidence of local cracking





TP - 12
Floor adjacent to kitchen chimney

- No insulation
- Evidence of mould and timber decay
- Damp floor substrate



TP - 13
Footing for balcony

- Timber post sits on interesting stone element with carved drainage channels
- Stone footing then sits on brick and clay tile footing sitting on compacted earth



TP - 14
Footing for balcony

- Boarding above ceiling level suggests that a previous roof may have been flat not pitched



Chimney following opening up: Existing hearth at ground floor (kitchen)



Existing fireplace in back bedroom at 1st floor (Victorian)



Existing fireplace in middle room at 1st floor (likely Edwardian)



Rear of ground floor chimney breast showing poor quality brickwork, areas of non-original brick patching and cracks.

Summary

- Since the original version of this report was issued subsequent opening up of the existing chimney has been agreed. This has revealed the following:
- Existing chimney is made up of poor quality, somewhat cracked unremarkable brickwork.
- Evidence of previous work (patching)
- Fireplaces at 1st floor level fairly ordinary - one likely Edwardian, the other Victorian

© 2017 Cooke Fawcett Ltd.

This document and the ideas incorporated herein, as an instrument of professional service, is the property of Cooke Fawcett Ltd. and is not to be used, reproduced or transmitted, in whole or in part, in any form or by any means without the prior written authorisation of Cooke Fawcett Ltd.

Unless indicated otherwise, all proprietary material in this document is the property of Cooke Fawcett Ltd. Every reasonable attempt has been made to identify the authors and owners of any proprietary material that does not belong to Cooke Fawcett Ltd. We apologise for any errors or omissions that may have occurred. We will endeavour to correct them in subsequent uses.