

Application ref: 2018/0986/P  
Contact: Stuart Clapham  
Tel: 020 7974 3688  
Date: 4 May 2018

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE  
Phone: 020 7974 4444  
camden.gov.uk  
[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

Big Picture Design Ltd  
The Old Chapel  
Parkend Road  
Bream  
GL15 6JT  
United Kingdom

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Full Planning Permission Granted**

Address:  
**40 Abingdon Close**  
**London**  
**NW1 9UT**

Proposal:  
Enclosure of existing front and rear balconies to create additional internal accommodation.  
Drawing Nos: 13/111/001 (Site Location Plan), Existing: 13111/002 Rev. A, 13111/002 Rev. A, 13111/003 Rev. A. Proposed: 13111/004 Rev. A, 13111/005 Rev. A.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: 13/111/001 (Site Location Plan), Existing: 13111/002 Rev. A, 13111/002 Rev. A, 13111/003 Rev. A. Proposed: 13111/004 Rev. A, 13111/005 Rev. A.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission.

The front balcony infill would move the window 2.1m forward of its current position, expanding the existing hall 4.5 sq. m. to create a new reception room. The rear balcony infill will measure 2.1m x 1.4m, with a brick wall separating the balcony from the neighbouring flat and window to the street. The new front windows will be located behind the existing balcony balustrade and rear window will be set back 0.3m from the balcony edge. As such the infill extension is considered sympathetic to the proportions of the building and to respect the symmetry of the block (recognising that the symmetry to the front is already broken by another balcony infill). The window frames will be white power-coated metal aluminium which will be consistent with other windows on the building and acceptable considering that the building is neither a positive contributor to the Conservation Area and nor prominent in the streetscape.

No new outlooks are created through this scheme, and privacy will be marginally increased by the erection of a wall to the rear balcony. No other significant amenity impacts are anticipated in terms of noise, light pollution, or impact on daylight or sunlight.

No objections have been received. The site's planning history was also taken into account when coming to this decision.

Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013

As such, the proposed development is in general accordance with policies A1, D1 and D2 of the London Borough of Camden Local Plan 2017. The development also accords with Camden Square Conservation Area Appraisal and Management Strategy as well as the London Plan 2016 and the NPPF 2012.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between

dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

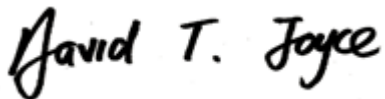
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce  
Director of Regeneration and Planning