

- General Notes
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- NOTES:
1. All new and retained existing structure (walls, columns and downstands beams) to be confirmed by Structural Engineer.
 2. All plant areas and services risers (sizes locations, and routes) to be confirmed by Mechanical Engineer.
 3. Changes to the envelope from the consented planning scheme are to be reviewed and confirmed by Planning Consultant.
 4. Client to confirm Ground and Lower Ground retail strategy.
 5. Planning consent for LG/GF A1 retail limited to a maximum of 2,499sq.m, with A3 Use on Howland-Whitfield St corner.
 6. Refer to M&E consultant report for current M&E retail allowance.
 7. VRF's to perimeter of LG/GF are required if used as office.
 8. Access strategy to Ground and Lower Ground floors from street level is to be developed based on Use type and space planning.
 9. Part-M & DDA compliance (disabled toilets, ramps) to be reviewed by access consultant.
 10. Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
 11. Existing structure based on Arup original design drawings & PCA Survey (2010).
 12. New Structure based on engineers information.
 13. Terraces, landscaping, park, roof plant, and residential layouts illustrative, refer to separate reports.
 14. Additional terraces and changes to atrium to be confirmed by planning authority.
 15. Acoustic performance to be confirmed by acoustic consultant.
- NOTE: Any areas measured from these plans by a quantity surveyor, relate to the likely areas of the building at the current stage of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreement or the like should include due allowance for the increases and decreases inherent in the design development and building processes.

1. Bridge link on Charlotte Street
2. Solar thermal panels
3. Lift overrun
4. Base building roof plant (AHU)
5. Tenant plant space
6. Facade, terrace level and lightwell level door & window rationalisation
7. Brick weave
8. Chitty Street Gate
9. Pocket Park louvres
10. Rainwater pipe integration
11. Loading bay entry
12. 67-69 Whitfield Street roof plant access route
13. 67-69 Whitfield Street terrace parapet & balustrade

CONSENTED

03/24/10/16	Discharge of Conditions	RM
02/11/12/15	Section 73 Demolition	LT
01/13/03/15	Discharge of Conditions	MT
00/09/09/14	Section 73 Roof Terrace	MT

REV	Date	Description	Chk
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FOR PLANNING

DRAWING STATUS

make

32 Cleveland Street,
London, W1T 4JY

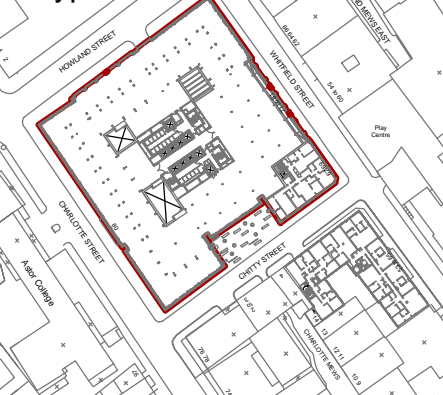
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www.makearchitects.com

Client

Derwent London
West London and Suburban
Property Investments Ltd.
W1S 2ER

Keyplan



Project
80 Charlotte Street

Drawing Title
Architectural GA
Level 09
(Upper level roof)

Scale
1 : 100

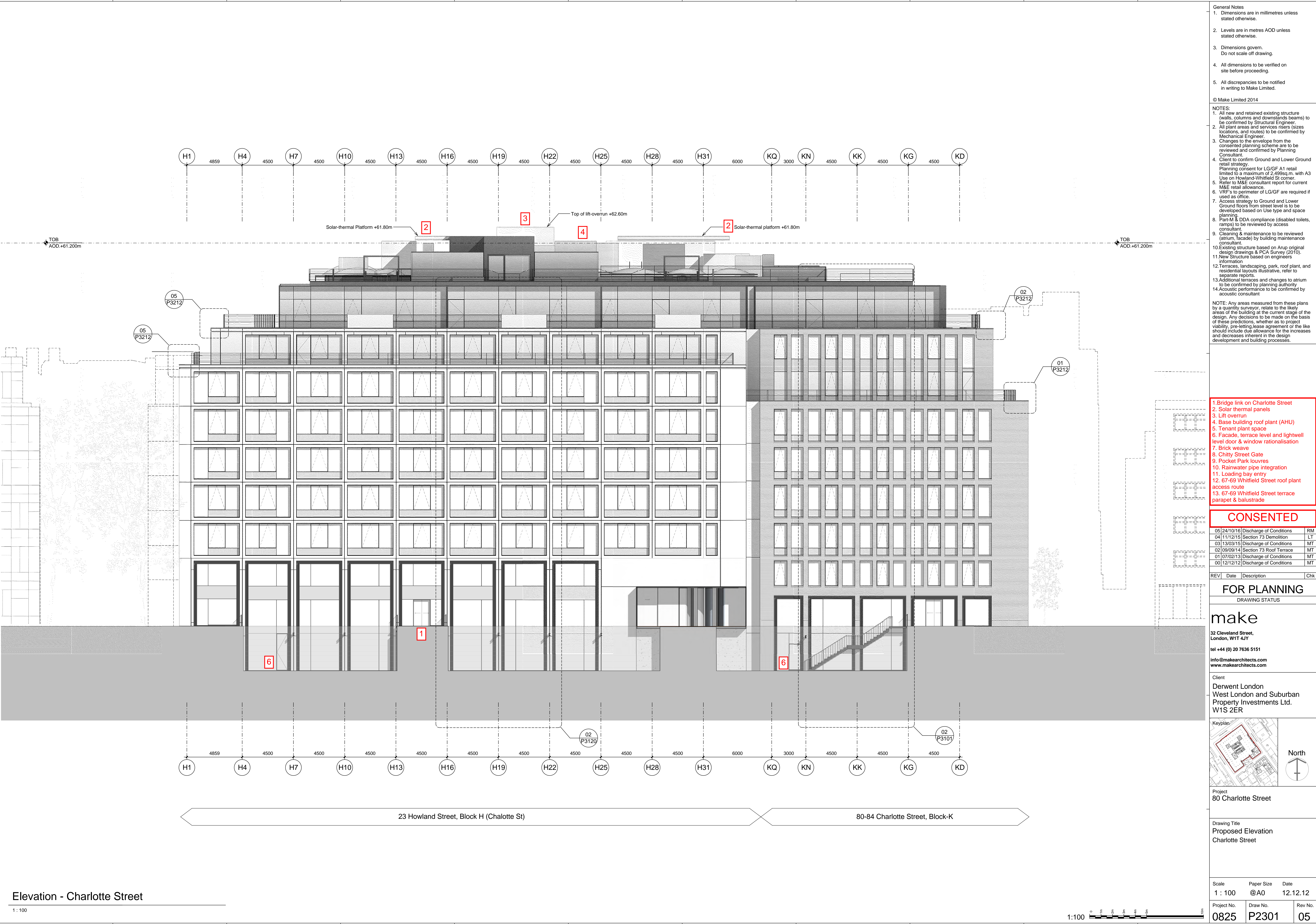
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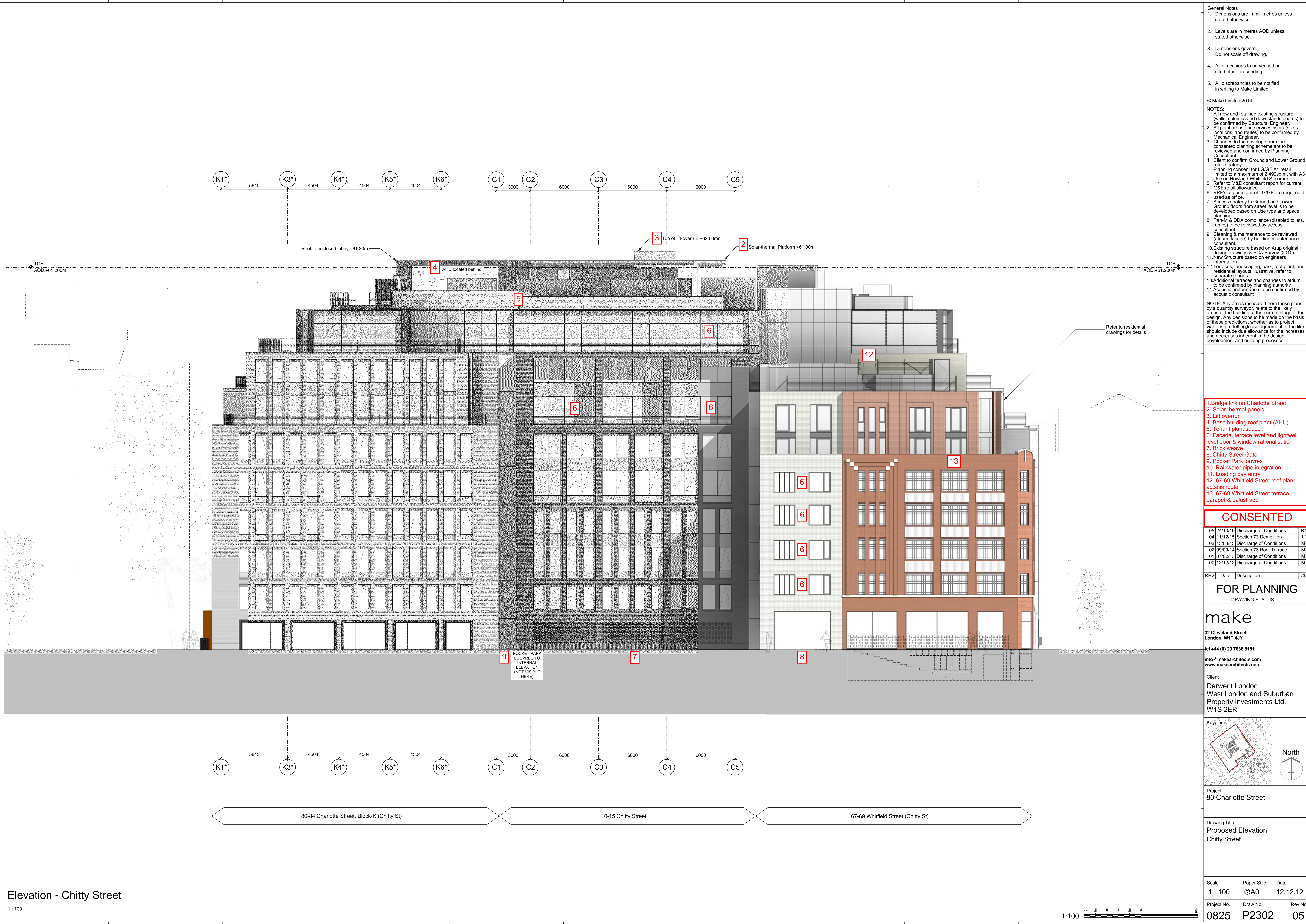
Date
09.09.14

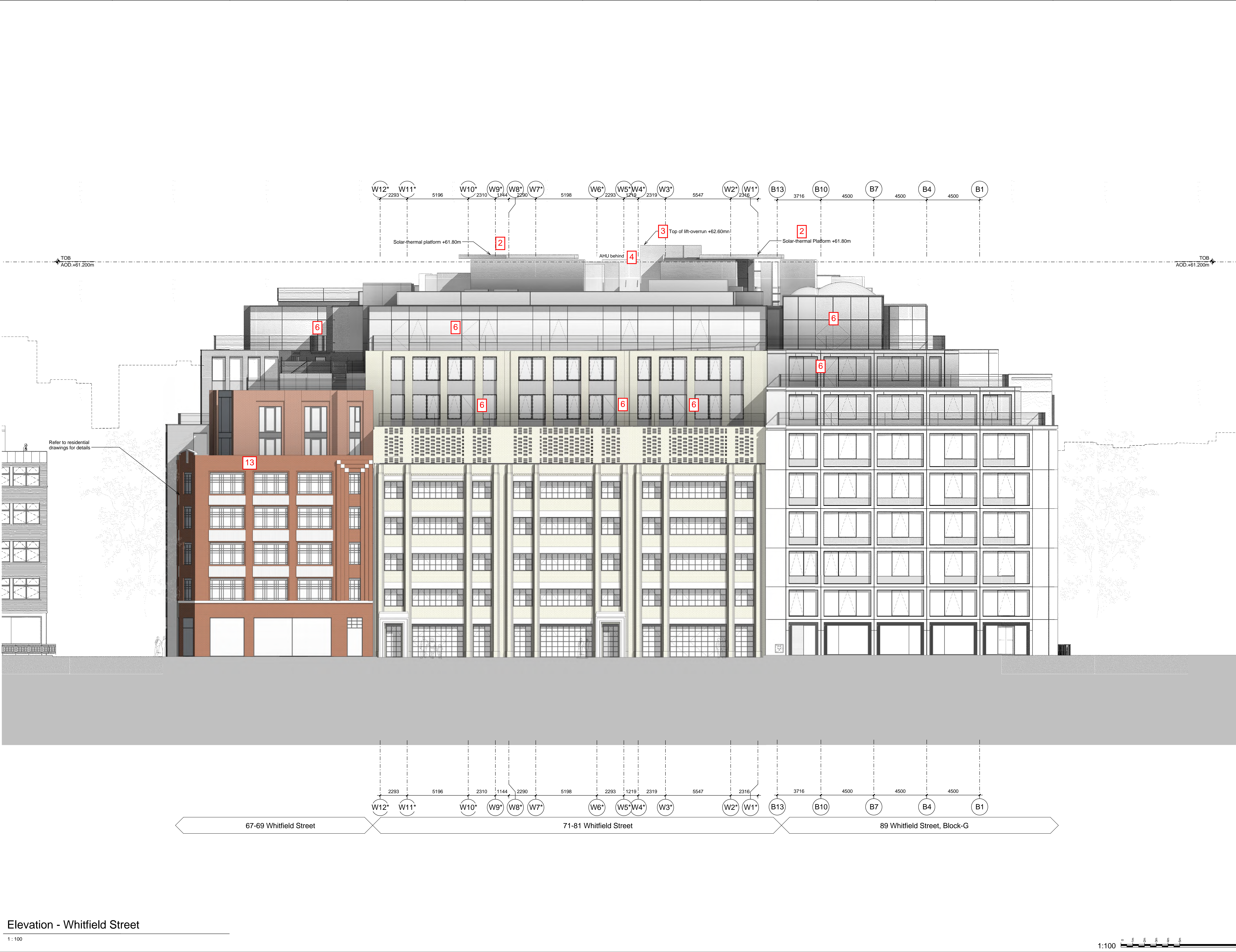
Project No.
0825

Draw No.
P2110

Rev No.
03







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CONSENTED

06 24/10/16 Discharge of Conditions RM

05 11/12/15 Section 73 Demolition LT

04 13/03/15 Discharge of Conditions MT

03 09/09/14 Section 73 Roof Terrace MT

02 07/04/14 Section 73 MT

01 07/02/13 Discharge of Conditions MT

00 12/12/12 Discharge of Conditions MT

REV

Date

Description

Chk

FOR PLANNING

DRAWING STATUS

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London, W1T 4JY

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Client

Derwent London
West London and Suburban
Property Investments Ltd.
W1S 2ER

Keyplan

North

Project

80 Charlotte Street

Drawing Title

Proposed Elevation
Whitfield Street

Scale

Paper Size

Date

1 : 100

@A0

12.12.12

Project No.

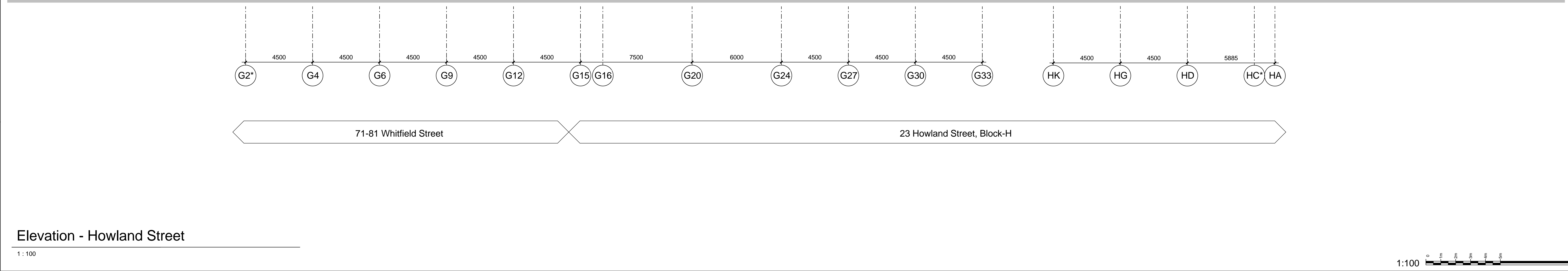
Draw No.

Rev No.

0825

P2303

06



- Bridge link on Charlotte Street
- Solar thermal panels
- Lift overrun
- Base building roof plant (AHU)
- Tenant plant space
- Facade, terrace level and lightwell
- Level door & window rationalisation
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- 0. Rainwater pipe integration
- 1. Loading bay entry
- 2. 67-69 Whitfield Street roof plant access route
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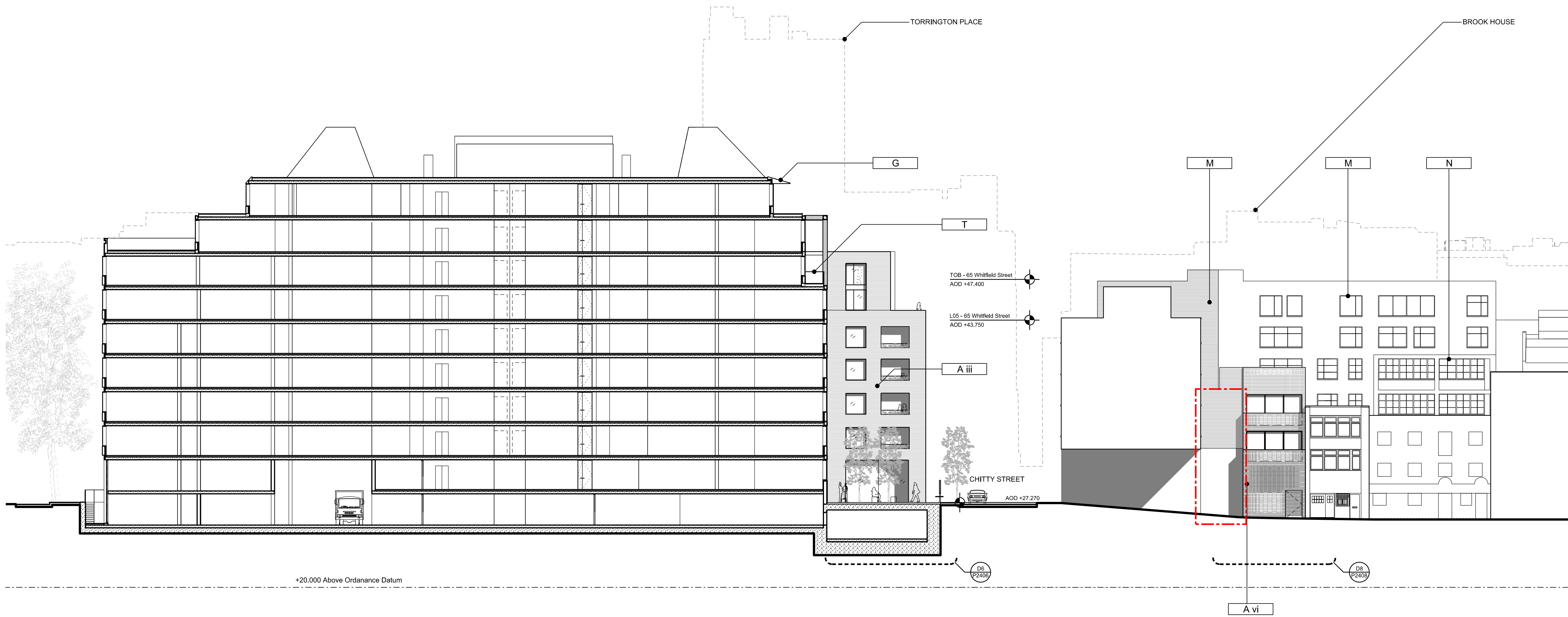
05	24/10/16	Discharge of Conditions	RM
04	11/12/15	Section 73 Demolition	LT
03	13/03/15	Discharge of Conditions	MT
02	09/09/14	Section 73 Roof Terrace	MT
01	07/02/13	Discharge of Conditions	MT
00	12/12/12	Discharge of Conditions	MT

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Derwent London
Vest London and Suburban
Property Investments Ltd.
V1S 2ER



Project No.	Draw No.	Rev No.
0825	P2304	05



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- Additional Notes
- A. All landscaping is illustrative.
B. All entrances and internal layouts are illustrative.
C. All drawings should be viewed at A1.
1:1250@A1 = 1:2500@A3
1:500@A1 = 1:1000@A3
1:200@A1 = 1:400@A3
1:50@A1 = 1:100@A3
These scales are approximate. Do not scale off drawings.
- Material descriptions:
- A New fair-faced brickwork
i Type 1 (Charlotte Street)
ii Type 2 (New Chitty Street elevation)
iii Type 3 (Chitty Street residential)
iv Type 4 (Whitfield Street residential)
v Type 5 (New Whitfield Street extension)
vi Type 6 (New 14 Charlotte Mews)
B Mix of glass & opaque metal cladding panels
C Set-back bays comprised of transparent glass windows with metal reveals & opaque metal cladding panels
D Pushed-out bays comprised of transparent glass windows with metal reveals & opaque metal cladding panels
E Metal-louvers to roof plant
F New fair-faced brick screen wall with metallic channel
G Perforated metal canopy (brise-soleil)
H Glass balustrade with stainless steel channel
I Existing facade retained with improved replacement windows.
J New prefabricated concrete frame
K Glass atrium with metal structure & ETFE roof
L Metallic fascia
M New fair-faced brickwork to match existing & new windows to match those below
N Existing brickwork made good
O Existing concrete sills cleaned and made good
P Existing stone panelling cleaned and made good
Q Existing railings retained
R New metal railings painted black to match existing
S Green/ brown roof
T Terrace/ balcony
U Transparent glass panels

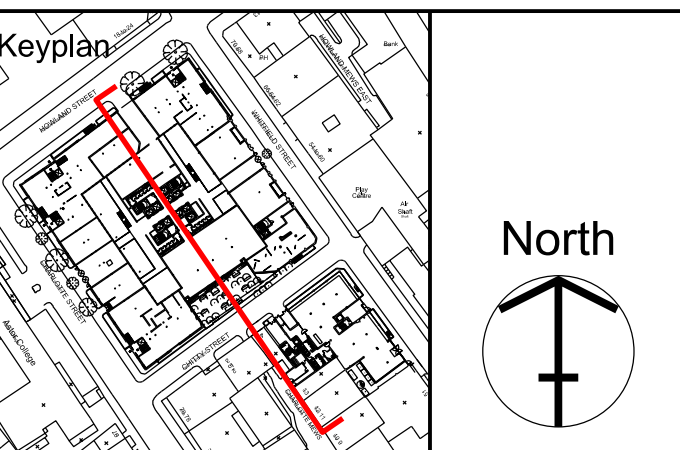
01	18.03.11	Planning Addendum	MT
00	09.12.10	Planning Application	MT
Rev	Date	Reason For Issue	Chk

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Client
**West London & Suburban
Property Investments Limited**



Project
**80 Charlotte Street &
65 Whitfield Street**

Drawing Title
**Proposed elevation:
Charlotte Mews
E-6**

Scale	Paper Size	Date
1: 200	@A1	09.12.10
Project No.	Draw No.	Rev No.
0355	P2305	01

--- BOUNDARY FOR
CHANGES TO ELEVATION

CHARLOTTE MEWS
ELEVATIONS

CONSENTED

Charlotte Mews Elevation

1:200

1:200





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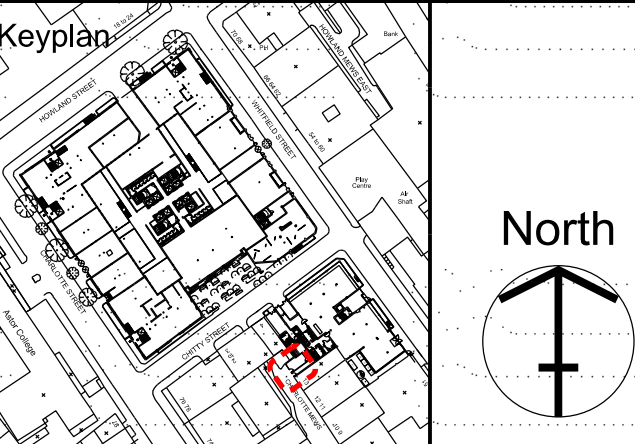
00	09.12.10	Planning Application	MT
Rev	Date	Reason For Issue	Chk

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Client
**West London & Suburban
Property Investments Limited**



Project
**80 Charlotte Street &
65 Whitfield Street**

Drawing Title
**Detail D7:
Charlotte Mews**

Scale	Paper Size	Date
1: 50	@A1	09.12.10

Project No.	Draw No.	Rev No.
0355	P2408	00

CHARLOTTE MEWS
ELEVATIONS

CONSENTED

01 Charlotte Mews Elevation

02 Section

1:50

