

Application ref: 2018/0721/P
Contact: Alyce Keen
Tel: 020 7974 1400
Date: 4 May 2018

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
camden.gov.uk
planning@camden.gov.uk
www.camden.gov.uk

Wolff Architects
Chandos Yard
83 Bicester Road
Long Crendon
HP18 9EE

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
31 Hollycroft Avenue
LONDON
NW3 7QJ

Proposal:
Demolition and replacement of single storey infill extension. External alterations including landscaping works, new retaining wall to the boundary with No.33, and alterations to party boundary wall with No.29.
Drawing Nos: 009_0; 010_0; 011_0; 012_0; 013_0; 020_0; 022_0; 030_0; 032_0; 034_0.
202_B; 209_B; 210_B; 211_C; 220_D; 222_D; 230_D; 232_D; 234_0.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as

possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:
009_0; 010_0; 011_0; 012_0; 013_0; 020_0; 022_0; 030_0; 032_0; 034_0.
202_B; 209_B; 210_B; 211_C; 220_D; 222_D; 230_D; 232_D; 234_0.

Reason:

For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission.

The proposed single storey infill extension is considered subordinate in terms of its form and scale would preserve the character and setting of the host and neighbouring properties.

The proposed development would be located to the rear of the site and its simple contemporary design with lightweight materials would ensure no significant impact to the appearance of the surrounding conservation area would occur as a result of the development.

Whilst the development will have some impact in terms of sense of enclosure to the adjoining property at no. 29 Hollycroft Avenue. Due to the proposed extension's height being limited to approximately 3 metres and only adding approximately 1m to the existing boundary wall to conceal the extension, there would be negligible harm to the amenity of any adjoining residential occupiers in terms of loss of light, outlook or privacy. Both rooms situated to the rear of the adjoining property are served by dual aspect windows therefore light will still be received. Council is also aware that the adjoining property owners at no. 29 Hollycroft Avenue intend to submit a planning application for a single storey rear extension to be located adjacent to the proposed extension.

No objections were received following statutory consultation. The sites planning history and relevant appeal decisions were taken into account when coming to this decision.

Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

As such, the proposed development is in general accordance with policies A1 (Managing the impact of development), D1 (Design) and D2 (Heritage) of the Camden Local Plan 2017.

- 2 Your proposals may be subject to control under the Building Regulations and/or the

London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

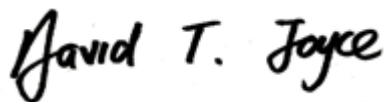
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning