

31 Grafton Road London NW3 3DX

**Proposed Second Floor Extension
with Roof Terrace above and cycle
store to front garden**
Application for Planning Consent

Supporting Statement

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4099-03A-Supporting Statement
18/05/03



Front street elevation of 31 Grafton Road

1.0 Introduction

31 Grafton Road is a three-storey terrace property, built within a row of houses along the west side of Grafton Road at sometime between 1855-60.

The house is within the Inkerman Conservation Area, designated by Camden Council in October 2001. The conservation area statement makes reference to the plainer elevation along Grafton Road, in comparison to other terrace houses in the area, with stuccoed horizontal bands to parapets and stucco around windows with console supports to some upper level windows. The property comprises an original two-storey extension to the rear with a rear garden.

The house is divided into two dwellings: a separate ground floor apartment with rear garden and a separate first/second floor maisonette where our client resides.

2.0 Proposed works

The proposed works comprise a second floor rear extension with a roof terrace above, minor interior alterations and a purpose built, timber cycle store with sedum roof to the front garden area.

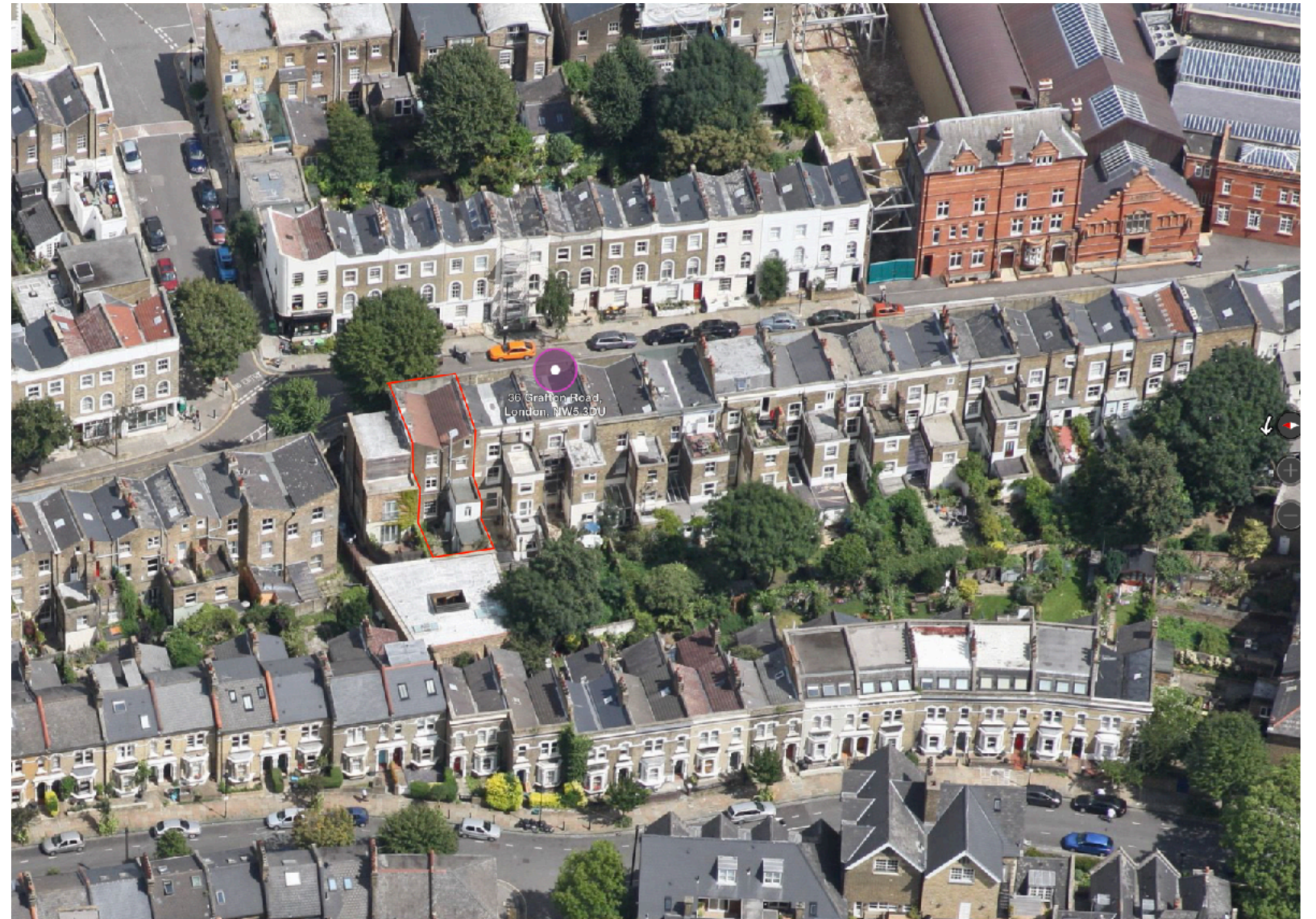
The proposed second floor rear extension is a continuation of the character, form and rhythm of the rear elevations to neighbouring properties along Grafton Road, as shown in the aerial view attached. The proposal seeks to reinforce and complement this urban pattern. Roof terraces are common among the neighbouring properties with access off the half landing. New masonry will be built in London Stock brickwork to match the existing masonry and new railings to the roof terrace will be in black metal finish.

The application includes a purpose built, timber cycle store with sedum roof to the front garden area. This will be a low-level timber structure with double doors that provides safe and secure cycle storage with minimal visual impact to the street elevation.

3.0 Summary

The proposal is modest in scale. The rear extension will not be visible from any public streets whilst the cycle store will be a discrete addition to the front garden. Materials will complement the host building, its neighbouring context and the conservation area at large.

Access arrangements for the house are not altered by the proposals.



Aerial view of rear elevations along Grafton Road (31 Grafton Road highlighted in red)