

SUMMARY OF PROPOSALS - ROOF

timber elements of roof to be repaired as described here and on drawing 14  
- rafters checked for integrity and repaired as required

roof membrane has been patched over time and there are missing areas and areas of continuous water ingress

parapet gutters to be rebuilt with improved falls - see drawing 14

a new breathable membrane is required fixed over the rafters throughout - carefully weathered at parapets to kerb the severe water ingress

dormers lead roofs to be repaired

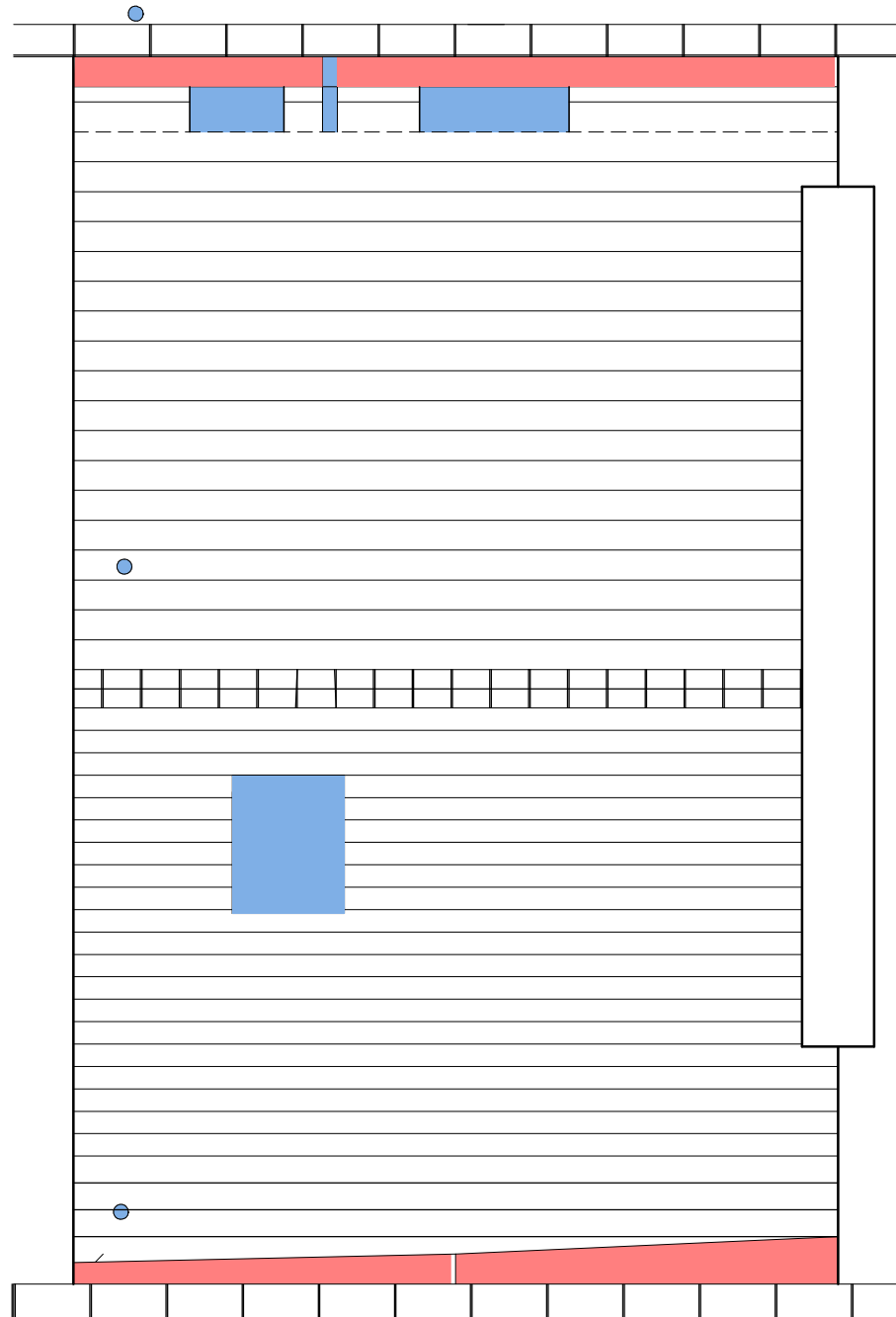
new lead weatherings to all junctions between roof and masonry to be repaired and areas where missing to be fitted with new

lead hatch RETAINED

existing slates reused  
new slates to match - sample submitted

parapet stones examined for stability and made good  
gutter repaired - new sprocketed eaves and new lead gutter laid to adequate falls

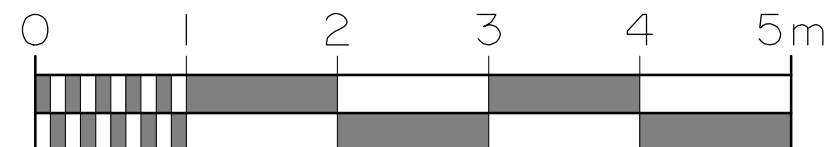
dormers repaired and new lead weatherings fitted to dormer roof and mansard



gutter repaired - new sprocketed eaves and new lead gutter laid to adequate falls

PARAPET stones examined for condition and rebbed as required

PROPOSED ROOF PLAN



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PROJECT <b>49 Marchmont Street, WC1N 2AN</b>	
DRAWING PROPOSED ROOF PLAN FOR PLANNING PURPOSES ONLY NOT FOR CONSTRUCTION	
DRG. No <b>15</b>	REVISION <b>D</b>
SCALE <b>1:50 @ A3 PAPER</b>	DATE <b>4 April 2018</b>