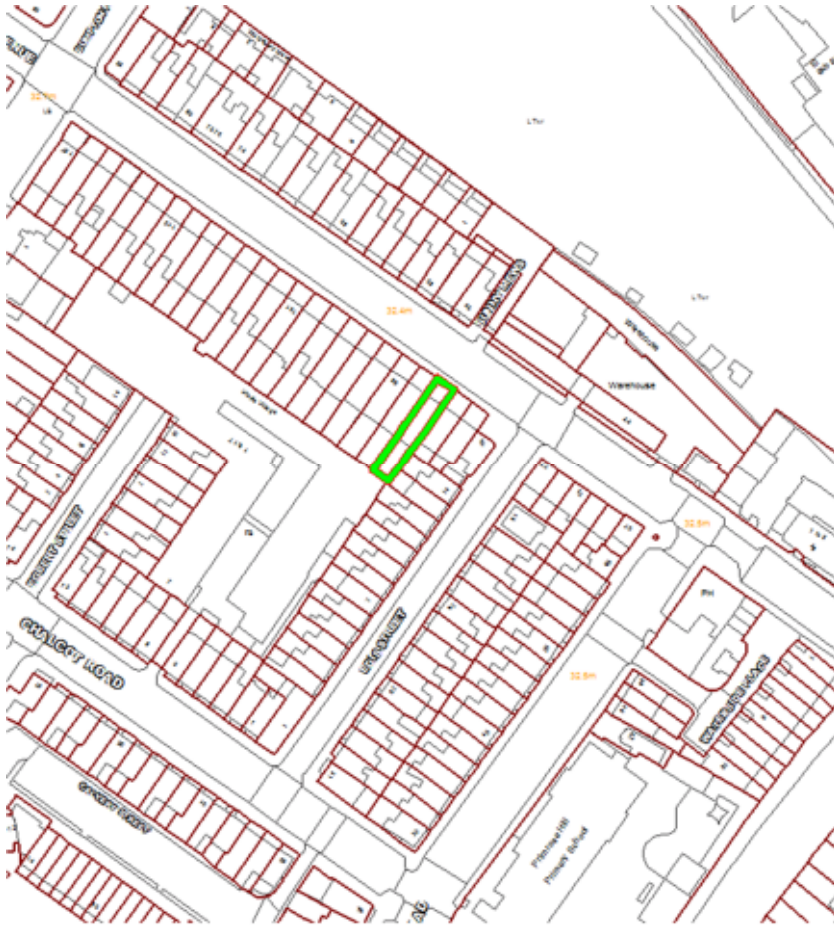


2017/7092/P - 85 Gloucester Avenue



1. Bird's eye view of the rear streetscape including the current extension



Existing rear extension. Existing fenestration to be slightly altered

Existing single storey extension to be replaced with 2-storey infill extension

2, Street elevation
neighbours



3. Rear elevation viewed from adjoining



Delegated Report (Members' Briefing)		Analysis sheet		Expiry Date:	16/02/2018
		N/A		Consultation Expiry Date:	22/02/2018
Officer			Application Number(s)		
Matthias Gentet			2017/7092/P		
Application Address			Drawing Numbers		
85 Gloucester Avenue LONDON NW1 8LB			Refer to draft decision notice.		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s) Erection of a two-storey lower and ground floor infill rear extension with rooflight, conversion of front vaults into wc/utility room, addition of metal access staircase to front lightwell and raising of the garden level.					
Recommendation(s):		Grant conditional Planning Permission			
Application Type:		Householder Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	02	No. of objections	02
Summary of consultation responses:	<p>Consultation Letters were sent on 23/01/2018 and expired on 13/02/2018, Site Notices were displayed on 31/01/2018 and expired on 21/02/2018 and a Press Advert was published on 01/02/2018 and expired on 22/02/2018.</p> <p>An objection from Owner/occupier, No14 Edis Street, NW1 8LE was received, summarised as follow:</p> <ul style="list-style-type: none">- Creates issue with overlooking due to Juliette balcony being flush with the existing back extension;- Once built, it would look directly into our property;- Not objecting to proposed extension on principle but requesting that it is to be set back similar to No87;- Overlooking issue also with the widening of the rear window under 5ft from the back wall of our property; <p><u>Officer's Response:</u> <i>See paragraphs 2.1 to 2.11, 4.1 to 4.6, 5.1 to 5.4 in the assessment section of the report</i></p>					
Primrose Hill Conservation Area Advisory Committee	<p>An objection from the Primrose Hill Conservation Area Advisory Committee was received, as follow:</p> <p>The form of the proposed rear extension is in basic contradiction of Primrose Hill conservation area Statement policy guidance at PH27 which states that extensions should be in harmony with the original form and character of the house.</p> <p>We would not object in principle to an infill extension which respected the form of the original back addition.</p> <p><u>Officer's Response:</u> <i>See paragraphs 2.1 to 2.11, 4.1 to 4.6 in the assessment section of the report</i></p>					

Site Description

The site address is a 3-storey with basement Victorian mid terrace property set back from the pavement with a front garden. It is located on the south-west side of Gloucester Avenue, approximately 50m from the corner with Edis street and with Utopia Village to the rear.

The property sits in Primrose Hill Conservation Area. However, it is not listed.

Relevant History

Site History:

2017/7094/P – (granted on 13/04/2018) - Erection of roof extension with front dormers and rear roof terrace with balustrade to create additional habitable space for dwellinghouse.

PE9606095R1 – (granted on 04/04/1997) - Construction of a conservatory to the side of the rear addition at lower basement level, new ironwork railings within the front garden, enclosure of the area under the front stairs by the erection of

a wall at basement level and the erection of a new gate.

Adjacent Sites History:

No83

2009/2868/P – (granted on 21/01/2010) - Change of use from single family dwellinghouse into 3 self-contained flats (1x 1-bedroom flat, 1x 2-bedroom flat and 1x 3-bedroom maisonette) and associated alterations and extensions including basement excavation, erection of a 2-storey rear extension (on lower ground and upper ground floor levels) and mansard roof extension with terrace at rear and replacement of windows.

No87

2005/3715/P – (granted on 09/01/2006) - Erection of two storey fully glazed infill extension to rear (replacing existing single storey infill extension) and rear mansard extension to single family dwelling house (Class C3).

No89

2008/3387/P – (granted on 01/09/2008) - Change of use of ground and lower ground floor one bedroom flats to form a four bedroom maisonette, and the erection of a 2 storey rear extension.

No91

35583 – (granted on 16/03/1983) - Erection of a roof extension and 2 storey rear conservatory extension and associated works of rehabilitation to the house.

No93

8601803 – (granted on 12/11/1986) - External alterations including the erection of a single -storey rear extension with roof terrace at basement-level and the construction of a roof extension including terrace at third-floor level; all as an amendment to the planning permission granted on 3rd March 1986 (Reg.No.PL/8502020/R2) for the change of use and works of conversion to form one self-contained flat and two self-contained maisonettes including the addition of a mansard roof extension.

Relevant policies

National Planning Policy Framework, 2012

The London Plan 2016

London Borough of Camden Local Plan 2017

A1 (Managing the impact of development)

D1 (Design)

D2 (Heritage)

Camden Planning Guidance (2013)

CPG6 – Amenity – Chap 7

Camden Planning Guidance (2015)

CPG1 – Design – Chap 3 & 4

Camden Planning Guidance (2018)

CGP1 – Design (July 2015 updated March 2018)

CPG – Amenity – Chap 2

Primrose Hill Conservation Area Appraisal (2000)

1. Proposal

- 1.1 The proposal seeks permission for the erection of a two-storey lower and ground floor infill rear extension with rooflight, conversion of front vaults into wc/utility room, raising of the garden level and addition of metal access staircase to front lightwell, all in connection with single dwelling (Class C3).

2. Background

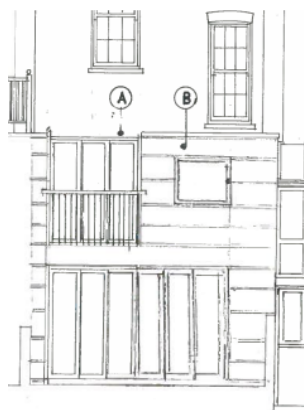
Rear Extension

- 2.1 The original proposal consisted of a two-storey infill extension blending into the existing two-storey extension (brick walls with traditional timber sash windows) with a tall 3 glazing panel window at first floor level stretching all the way to the roof ridge, 6 glazing panel sliding doors at ground floor level and glass roof.
- 2.2 The two sash windows would be removed to allow for the implementation of the new fenestrations at ground floor level and the top window would be replaced by a modern, rectangular opening.
- 2.3 The property currently has a two-storey stock brick closet return and a visually lightweight modern infill extension at the rear. Two storey rear returns are characteristic of the terrace and in order to comply with Local Plan Policy D1 (a and b) any proposal to the rear should therefore ensure that this feature is retained and given visual primacy where new development is proposed.

The original proposed prior to amendments being sought

- 2.4 In the originally proposed scheme, there was no visual separation between the new extension and the closet return. The extension read as one solid mass. Incised stucco would not be traditionally found to the rear of terraced buildings and the use of incised render across the full width of the rear extension would appear incongruous in relation to the host building and the rest of the terrace.
- 2.5 It also exacerbated the lack of differentiation between the old and new elements of the proposal and gives a strong horizontal emphasis at odds with the architectural language of the host building.
- 2.6 Concerns were also raised in respect of the originally proposed fenestration which failed to relate to the proportions or architectural style of the fenestration above and the use of aluminium, not being a traditional material.
- 2.7 The Juliet balcony and sliding screen with structural glass roof light were also considered to appear as incongruous features, at odds with the distinct architectural character of the terrace.

Original Proposed



Existing



Bin Store

2.8 The proposal also involves alterations to the front of the property. This includes the addition of a bin/cycle store, however this has subsequently been removed from the proposals for the following reasons:

2.9 The front garden of this property and the adjoining terrace are very small and cannot accommodate a bin and bike store without it appearing as a visually obtrusive and cluttered element in the streetscape.

Amendments

2.10 Amendments were therefore sought and the revised proposal consist of the following:

- (i) Retention of the existing details of rear extension (brick work, timber frame sash windows);
- (ii) Reduction in size of the proposed first floor windows on the infill extension;
- (iii) Reduction in size of the proposed ground floor sliding doors to match the above proposed window;
- (iv) Infill extension to be slightly set back, thus subordinate to the existing extension;
- (v) Replacement of glass roof with pitch roof light
- (vi).Extension to be made of bricks with timber frame sliding doors/windows
- (vii) Removal of the bin/cycle store

Amended



2.11 It must be noted that the revisions were forwarded to the Primrose CAAC for them to reconsider their position in term of the initial objection. However, no response was received.

3. Assessment

3.1 The principle considerations in the determination of this application are:

- Design and Heritage
- Amenity

4. Design and Heritage

Extension

4.1 The proposed two-storey rear infill extension is to provide more habitable space with a more accessible addition. The current single storey extension is a conservatory with little merit in terms of architectural value and practicality.

4.2 CPG1 (Design) states that a rear extension '*Rear extensions should be designed to be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing, respect and preserve the original design and proportions of the building, including its architectural period and style, not cause a loss of amenity to adjacent properties with regard to sunlight, daylight, outlook, overshadowing, light pollution/spillage, privacy/overlooking, and sense of enclosure, allow for the retention of a reasonable sized garden*'.

4.3 It also states that *materials should be chosen that are sympathetic to the existing building wherever possible.*

- 4.4 The rear elevation of the terrace of properties is characterised by properties with 2 storey closet wings, many of the gaps between the closet wings have been infilled with two storey extensions.
- 4.5 The proposed infill extension would sit next to the existing two-storey brick extension with a consistent height other than the proposed pitched skylight above which would have a maximum height of 0.4 metres above the height of the existing closet wing. The infill extension would be set back from the rear elevation of the closet wing by 0.5 metres which ensures the additional would remain subordinate to the host building.
- 4.6 The infill would be constructed with bricks to match the existing brickwork with timber frame fenestrations. Although the windows at first floor level and the sliding doors at ground floor level are of a modern design, the use of timber softens their inclusion within the new infill. Their symmetry in terms of size, design and location within the rear elevation of the infill is producing a balanced façade.
- 4.7 The skylight would match the current skylight of the lower ground floor conservatory and there are similar features visible within the rear streetscape of Gloucester Avenue. As such, this is considered to be acceptable.

Front Alterations

- 4.8 There are three vaults beneath the front gardens that are to be converted into habitable space to provide a utility room, a shower room and WC. These would be accessed by the same current link. The conversion of the vaults would require the addition of small windows located on the house facing elevation of the lightwell, they would not be visible from the public realm.
- 4.9 The existing access door from the passage onto the lightwell is to be relocated to the left (when facing the link's elevation) with the addition of a window to its right.
- 4.10 Another element of the conversion is the lowering of the floor within the vault, link and lightwell. Currently, the floor level is roughly 0.1m lower than the main house basement floor level. To address the minimum height requirement for habitable space/rooms, the floor level would be dropped by approximately 0.4m. As this excavation is less than 0.5 metres a Basement Impact Assessment is not required.
- 4.11 In conjunction with the lowering of the lightwell and vault's floor level, it is also proposed to raise the height of the garden level above by approximately 0.3m, creating a small step at the garden's entrance, similar to the garden level as No83, No99 and No101 Gloucester Avenue.
- 4.12 The alterations to the basement floor level and garden would generate an increase in height within the vault that would provide a floor to ceiling height of 2.5m.
- 4.13 Metal stair case is to be re-introduced within the lightwell. This would give direct access to the front garden from the basement level. It is likely that the front lightwells would have originally had a metal stair to access the coal vaults and it is noted that a number of the properties in the terrace do have a front lightwell stair. As such, it would be a welcome addition that would bring back an historical feature.
- 4.14 It must be noted that the layout of the basement level is to be reconfigured to provide, in conjunction with the new infill extension, an independent unit to be used as a 'granny annex'. It has its own front entrance but is linked to the main house internally. The proposal is not for a separate residential unit from the main house. To ensure that the use of the basement is not to be other than of ancillary use to the house, a condition has been added to this effect.

5. Amenity

- 5.1 CPG (Amenity) states that interior and exterior spaces that are overlooked lack privacy, which can affect the quality of life of occupants. The Council therefore expects development to be designed to protect the privacy of the occupants of both new and existing dwellings to a reasonable degree. Therefore, new buildings, extensions, roof terraces, balconies and the location of new windows should be carefully designed to avoid overlooking. Balconies and roof terraces have the potential to increase opportunities for overlooking. Balconies and roof terraces should therefore be carefully sited and designed to reduce potential overlooking of habitable rooms or gardens of neighbouring residential buildings.
- 5.2 The two-storey rear infill extension, in terms of its size, design and sitting back from the main rear elevation will not be the cause of overlooking and/or loss of privacy. Neighbours have raised concerns about overlooking. It should be noted that as roof of the proposed two storey infill extension includes a pitched skylight which covers the roof it

could not be used as a roof terrace. As such, a condition restricting use of the roof as a roof terrace is not necessary.

5.3 The alterations within the front lightwell will not be visible from the public realm and the introduction of windows at basement level, by virtue of them facing either the host property or the lightwell side wall, will not permit for any out-looking into any residential windows.

5.4 As such, the proposal is in accordance with policy A1 of the Camden Local Plan 2017.

6. Conclusion

6.1 The proposed two-storey rear infill extension would not be unduly dominant. Its design and materials would be subordinate to the existing extension and would retain the traditional element by use of brick and timber. The conversion of front vaults into habitable rooms and associated raising of the garden level, and the addition of metal access staircase to front lightwell would have very little impact on the front of the property and wider vista. The proposal and associated alterations, in terms of size, design, location and materials to be used are considered to be acceptable and will preserve the character and appearance of the host and adjacent buildings, Primrose Hill Conservation Area and the front and rear streetscape.

7. Recommendation

7.1 Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 30th April 2018, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2017/7092/P
Contact: Matthias Gentet
Tel: 020 7974 5961
Date: 18 April 2018

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

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www.camden.gov.uk

Tekton DPW Architects
12 Station Road
Hanwell
W7 3JE

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

**85 Gloucester Avenue
LONDON
NW1 8LB**

DECISION

Proposal:

Erection of a two-storey lower and ground floor infill rear extension with rooflight and associated alterations to fenestration of existing rear extension, conversion of front vaults into wc/utility room and addition of metal access staircase to front lightwell, all in connection with single dwelling (Class C3).

Drawing Nos: Design and Access Statement revB (revised 19/04/2018); [17/438/E] 01, 02, 03, 04, 05; 17/438/LP 01; [17/438/P1] 01revC, 02 revC, 03 revC, 04 revC, 05 revC.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: Design and Access Statement (revised); [17/438/E] 01, 02, 03, 04, 05; 17/438/LP 01; [17/438/P1] 01revC, 02 revC, 03 revC, 04 revC, 05 revC.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 The use of the lower ground floor of the property shall remain ancillary to the use of the main dwelling house and shall not be used as a separate dwelling house. Planning permission would be required should the lower ground floor be used as a separate dwelling house.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

David Joyce

DRAFT

DECISION