

Application ref: 2018/1346/P
Contact: Robert Lester
Tel: 020 7974 2188
Date: 26 April 2018

Development Management
Regeneration and Planning
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Crawshaw Architects
Unit 105 Curtain House
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Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Variation of Condition Granted

Address:

Flat 1
98 Greencroft Gardens
London
NW6 3PH

Proposal: Variation of condition 2 of permission ref: 2017/1441/P (dated 27/04/2017, as varied by permission ref: 2017/2649/P dated 23/06/2017) for conversion of two flats to one with external alterations; namely to provide a replacement part-obscure glazed timber sash window in the west elevation and a replacement fully-obscure glazed timber sash window in the east elevation.

Drawing Nos: 095 SKY 000, 095 SY 01, 095 SY 02, 095 SY 03, 095 SY 04, 095 SKD 01A, 095 SKD 02B, 095 SKD 03D, 095 SKD 04A, 095 SKD 05, 095 SY 04A

The Council has considered your application and decided to grant permission subject to the following conditions:

Conditions and Reasons:

- 1 The development hereby permitted must be begun not later than the end of three years from 27/04/2017.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 For the purposes of this decision, condition 2 (approved plans) of planning permission 2017/1441/P dated 27/04/2017 (as varied by planning permission ref 2017/2649/P dated 23/06/2017) shall be replaced with the following condition:

REPLACEMENT CONDITION 2

The development hereby permitted shall be carried out in accordance with the following approved plans:

095 SKY 000, 095 SY 01, 095 SY 02, 095 SY 03, 095 SY 04, 095 SKD 01A, 095 SKD 02B, 095 SKD 03D, 095 SKD 04A, 095 SKD 05, 095 SY 04A

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The windows hereby approved shall be fitted with obscure glazing as shown on the submitted and approved plans on this application prior to the first use of the development.

Reason: To safeguard the amenities of the adjoining premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Reasons for Granting Permission (Delegated) -

This application is for the variation of condition 2 of permission ref: 2017/1441/P dated 27/04/2017 as varied by permission ref: 2017/2649/P dated 23/06/2017 (conversion of two existing 2 bed ground floor flats to one 4 bed flat, together with external alterations to create a door to the rear and window to the side) to allow minor material amendments to provide a replacement part-obscure glazed timber sash window in the west elevation and a replacement fully-obscure glazed timber sash window in the east elevation.

The proposed replacement timber sash windows would be installed in the centre of the west flank elevation and at the rear of the east flank elevation at ground floor level. These amendments would therefore not be visible within the conservation area. They would be sympathetic alterations to the building which would not harm the character of the conservation area.

The replacement window in the west flank elevation would face onto an existing flank elevation window at 100 Greencroft Gardens, but would be obscure glazed up to 1.8 m above finished floor level. The replacement window in the east flank elevation would face onto the side boundary fence with no. 96 Greencroft Gardens and would be fully obscure glazed. It is therefore considered that the development would not impact on neighbouring amenity by reason of overlooking. A condition has been added to ensure that the windows are obscure glazed.

The development would otherwise remain as assessed and approved in permission ref: 2017/1441/P as varied by permission ref 2017/2649/P.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

The planning history of the site was taken into account when coming to this decision. No comments or objections were received from local residents.

As such, the proposed development is in general accordance with policies H3, A1, D1, D2 & T2 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework 2012.

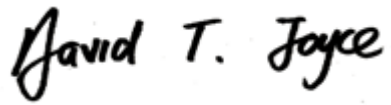
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 4 You are advised that Section 44 of the Deregulation Act 2015 [which amended the Greater London Council (General Powers) Act 1973]] only permits short term letting of residential premises in London for up to 90 days per calendar year. The person who provides the accommodation must be liable for council tax in respect of the premises, ensuring that the relaxation applies to residential, and not commercial, premises.
- 5 This approval under Section 73 of the 1990 Act effectively varying the relevant condition of the previous planning permission is subject otherwise to the same terms, drawings, conditions (and obligations where applicable) as attached to the previous planning permission. This includes condition 1 providing for a 3 year time period for implementation which for the avoidance of doubt commences with the date of the original decision (and not this variation).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive style with a large initial 'D' and 'J'.

David Joyce
Director of Regeneration and Planning