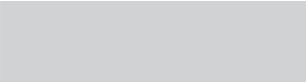




Planning and Heritage Statement

1 and 1a Montague
Street, Bloomsbury

April 2018



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1.0

// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



Introduction

1.0 INTRODUCTION

- 1.1
- Montagu Evans has been instructed by the British Museum (hereby referred to as the 'Applicant') to produce this Planning and Heritage Statement in support of the resubmission of the proposals at 1 and 1a Montague Street, WC1B 5BH, hereafter referred to as 'the Site'.
- 1.2
- The application seeks planning permission and listed building consent for internal refurbishment consistent with the continued use of the buildings as office space (B1).
- 1.3
- This report was first submitted with an application for planning permission and listed building consent in July 2017. The contents of the application have since been revised and are submitted again under the same application reference numbers 2017/4724/L and 2017/4112/P.
- 1.4
- The description of development for the applications that are currently registered with the Council is as follows:
"External and internal works including replacement of ground and first floor windows on rear elevation of 1A, replacement dormer window within the valley roofslope of 1A, new stair within front lightwell to no. 1A, installation of air conditioning units and associated 2.4m high timber acoustic enclosure and hard and soft landscaping of the rear garden to the rear of no. 1 Montague Street, installation of railings to rear boundary wall of no. 1A, external lighting on rear and side ground floor elevations, cycle storage area within front vault at 1A Montague Street. Internal works including replacement internal doors, creation of new openings first, second and third floors, new partitions, installation of new servicing, service risers, new suspended lighting, fire safety upgrades, surface-mounted dado trunking."
- 1.5
- The description of development may change following the submission of the revised materials.

Site description

- 1.6
- The Site is located in the London Borough of Camden (the 'Council'). The Site is described in detail at **Section 4.0** and also within the Design and Access Statement prepared by BDP. **Figure 1.1** outlines the boundary of the Site. An aerial view of the Site from Bing maps is provided at **Figure 1.2**.
- 1.7
- The Site comprises two 18th century townhouses on the west side of Montague Street. No.1 was built by James Burton between 1803 and 1806, whilst 1a was a later addition, built for Bloomsbury Savings Bank with accommodation in 1836. The rear of the properties face the British Museum, and the two have been part of the British Museum Estate since 1896. The buildings have subsequently been combined internally.
- 1.8
- The houses are included on the statutory list at Grade II and are within the Bloomsbury Conservation Area, which is the subject of an Appraisal which was adopted by the London Borough of Camden in April 2011.
- 1.9
- The two buildings were most recently used by the museum to house their Britain, Europe and Prehistory Department, which required the installation of display cabinets to house heavy sensitive and valuable artefacts. This has affected the internal fabric of the building, as the cabinets were attached to wall surfaces.
- 1.10
- These cabinets have now been removed with the Council's agreement and internal wall surfaces will require remedial works as part of the proposed refurbishment works in order to provide high quality office space.
- 1.11
- Additionally, the building has been the subject of structural movement due to settlement over time (approx. 30 years). Large cracks are visible both internally and externally. Structural surveys show that the building is no longer moving, but a large internal scaffolding structure remains at the rear part of the building.

- 1.12
- The proposals which are the subject of this application seek to refurbish the properties internally, to facilitate their use as lettable B1 office space. In summary the proposals include:
 - General works to repair and redecorate the interior;
 - Reinstatement of some existing openings and creation of new;
 - Installation of new services;
 - Windows to be repaired and made good, non-original metal framed windows to rear of 1a to be replaced with timber sashes;
 - Rear brick displaced by settling to be reinstated; and
 - Preservation of historic features in situ.

Purpose of the Report

- 1.13
- By virtue of paragraph 128 of the NPPF, applicants for development proposals which have an effect upon the historic environment are required to describe the significance of the identified assets so that the impact of the proposals may be understood. This report will fulfil this requirement by presenting a detailed historic and architectural appraisal of the properties based upon archival and documentary research and an assessment of the contribution made by the properties to the significance of the Bloomsbury Conservation Area.
- 1.14
- This Planning and Heritage Statement provides an assessment of the impact of the Proposed Development on 1 and 1a Montague Street, and on the Bloomsbury Conservation Area.
- 1.15
- The term 'heritage asset' is used within this report to describe both designated (E.g. Listed buildings, conservation areas) and non-designated (identified by the local authority, E.g. buildings which make a positive contribution to the conservation area) assets. This report does not include the consideration of archaeological remains.
- 1.16
- The assessment is qualitative, describing the effects of the development within the context of planning policy and best practice guidance. Narrative text is necessary because such assessment is not a strict quantitative process and some considerations will depend on professional judgment.

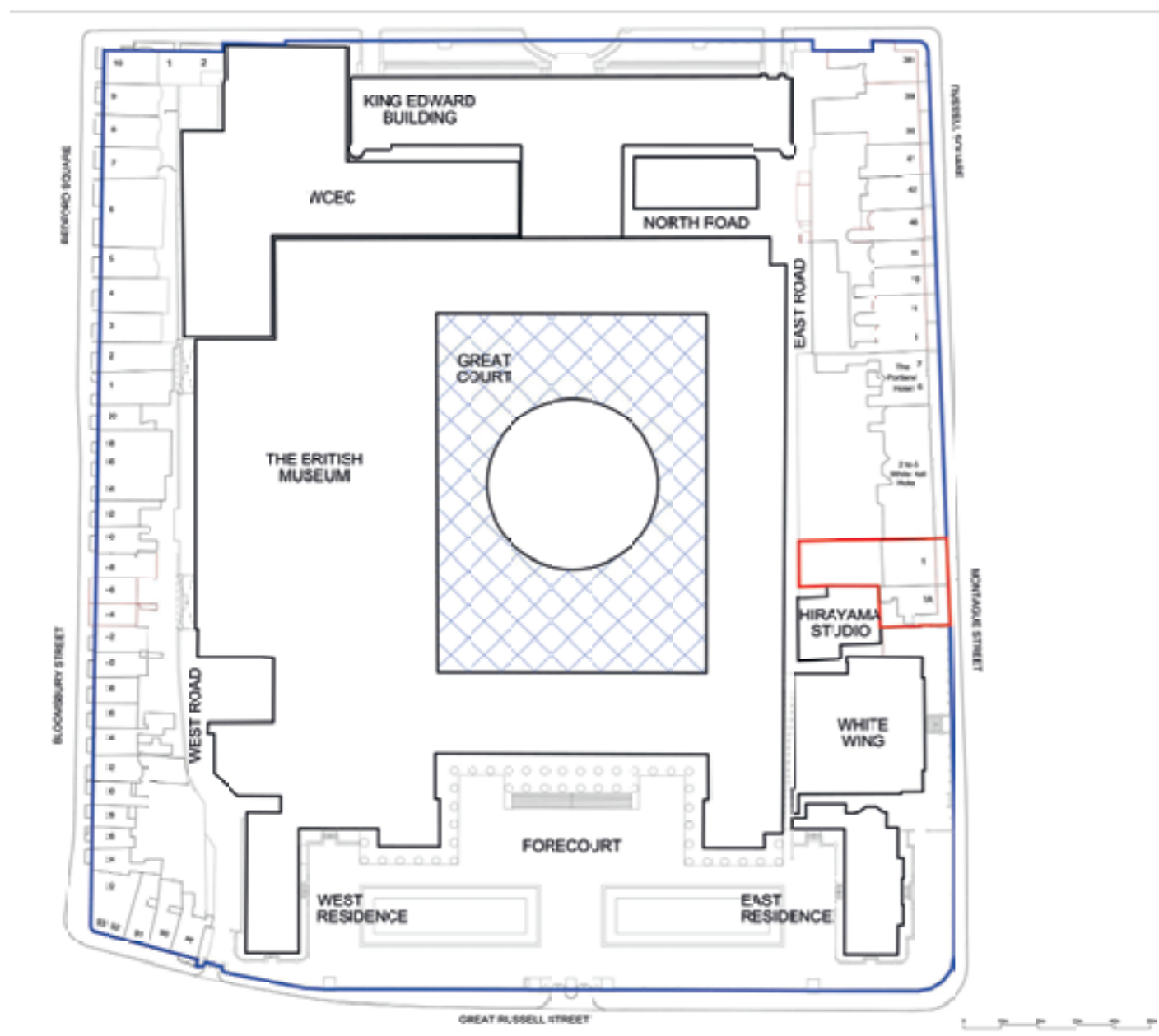


Figure 1.1 Site location plan courtesy of BDP

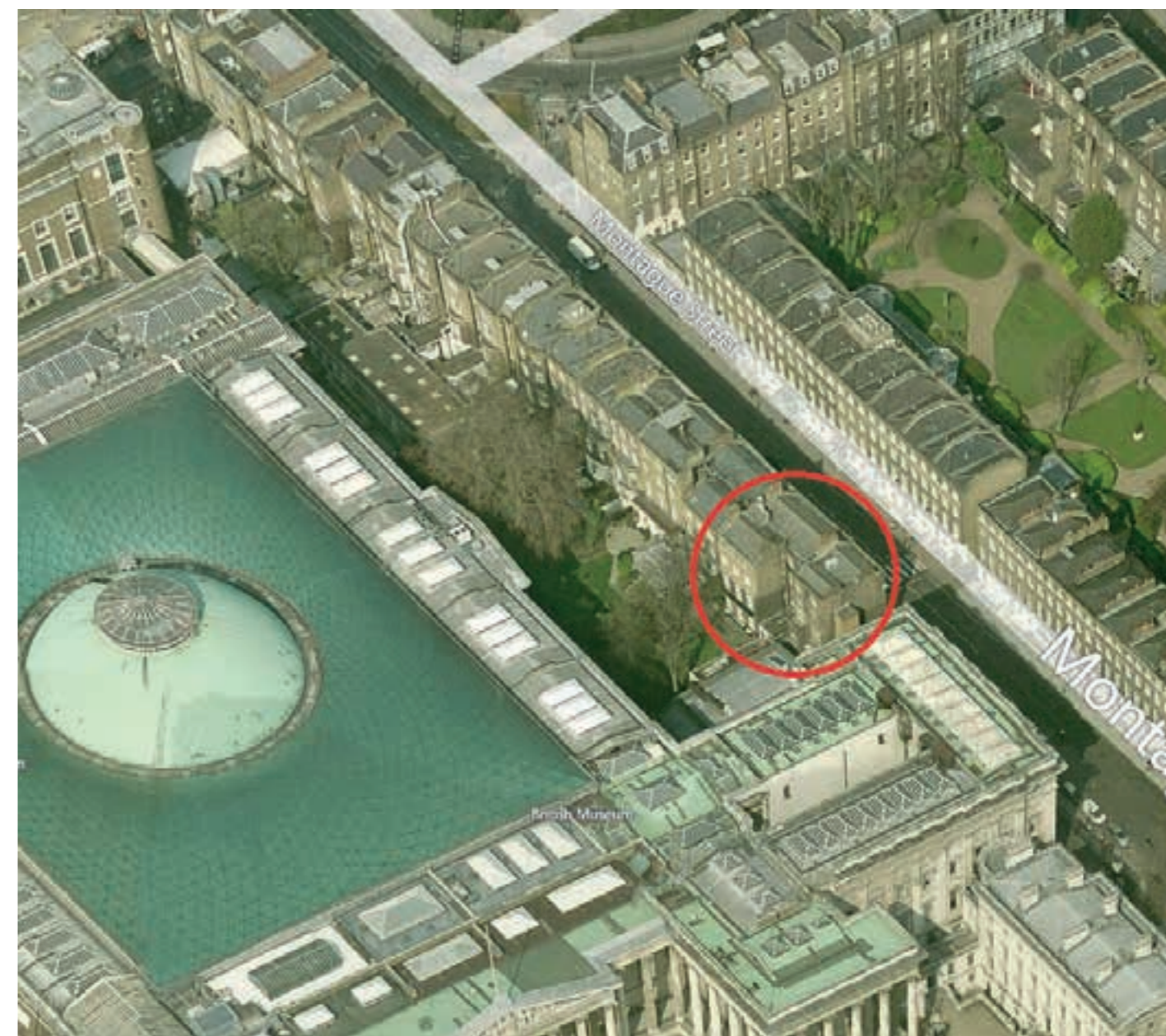


Figure 1.2 Aerial View. Source: Bing (base map)

Pre-Application and Design Development

- 1.17 The final proposals submitted with this application are the product of pre-application consultation with the London Borough of Camden. They are also the culmination of consultation feedback provided during the course of the determination of the application.
- 1.18 A number of visits were held on site with officers from November 2016.
- 1.19 Formal pre-application advice was sought in May 2017 (2017/1607/PRE). Feedback is included at Appendix a to the DAS, and was generally positive, concluding:
- “The principles of the upgrade of the existing grade II listed townhouses for office use is supported, subject to matters of detailed design and related environmental considerations... It is imperative that a sensitive and practical solution is found so that the buildings can be fully repaired and reused so as to give them a new lease of life and avoid an entry on the Heritage at Risk Register.”*
- 1.20 Since the submission and validation of the applications, the feedback provided by officers on the contents of the proposals, in particular the ventilation, mechanical and electrical strategy, have been taken on board. The proposals have therefore been revised to remove the VRF heating and cooling system from the building.

Structure of this Report

- 1.21 This report is structured as follows:
- A summary of the legislative and planning policy context relevant to the report is set out at Section 2;
 - An overview of the historic development in the surrounding area is provided at Section 3;
 - The surrounding heritage assets and their setting are identified at Section 4. In accordance with paragraph 128 of the NPPF Section 6 also provides an assessment of the heritage assets’ significance;
 - Analysis of the existing townscape is provided at Section 5;
 - Section 6 provides an assessment of the impact of the Proposed Development on the townscape and heritage assets.

2.0

// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



Legislation and Planning Policy

2.0 LEGISLATION AND PLANNING POLICY

2.1 This section sets out the planning policy context for the redevelopment of the Site, including national and local guidance and other material considerations.

Legislative Framework

2.2 The applicable legislative framework to this assessment includes the following:

- The Town and Country Planning Act 1990;
- The Planning and Compulsory Purchase Act 2004;
- The Planning (Listed Buildings and Conservation Areas) Act 1990 (“the 1990 Act”);
- The Planning Act 2008;
- The Localism Act 2011;
- The Housing and Planning Act (2017); and
- The Neighbourhood Planning Act (2017).

Development Plan

2.3 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that planning applications must be determined in accordance with the adopted Statutory Development Plan, unless material considerations indicate otherwise. The currently adopted Statutory Development Plan is formed from the following documents:

- The London Plan (July 2011 with alterations 2016);
- The Camden Local Plan (2017).

Planning (Listed Buildings and Conservation Areas) Act 1990

2.4 The Planning (Listed Buildings and Conservation Areas) Act 1990 (“the 1990 Act”) provides the legislation that is used to assess the impact of proposals on listed buildings and conservation areas. Sections 16(2), 66(1) and 72(1) of the 1990 Act set out the duties on the decision maker in this case.

2.5 Sections 16(2) and 66(1) state that in considering whether to grant listed building consent (16(2)) or planning permission (66(1)) for any works the local planning authority or Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

2.6 Section 72(1) states that with respect to any buildings or other land in a conservation area, of any [functions under or by virtue of] any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

London Plan (2011 with alterations 2016)

2.7 The London Plan is “the overall strategic plan for London, setting out an integrated economic, environmental, transport and social framework for the development of London over the next 20-25 years” (p.10). The policies relevant to the assessment of heritage are included at Chapter 7 (London’s Living Places and Spaces).

2.8 Policies 7.4 (Local Character) and 7.6 (Architecture) require development to make a positive contribution to the public realm, streetscape and wider cityscape, and to take references from the form, mass and orientation of the existing built environment.

2.9 Policy 7.8 (Heritage Assets and Archaeology) outlines policy requirements for development affecting heritage assets. Part C of the policy states that new development “should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.”

2.10 The supporting text in support of Policy 7.8 was subject to minor additions in the review of October 2013. It is stated that crucial to the preservation of London’s unique character is the careful protection and adaptive re-use of heritage buildings and their settings.

Camden Local Plan (2017)

2.11 The Camden Local Plan was adopted by the Council on July 3rd 2017, and replaces the Core Strategy and Camden Development Policies as the basis for planning decisions and future development in the borough.

2.12 Section 7 Contains policies relating to Design. The policies of the plan which are of relevance to this application are included below.

2.13 Policy D1 (Design) outlines the Council’s approach to securing high quality design in development. The following requirements for development are salient to this application:

- “a. respects local context and character;*
 - b. preserves or enhances the historic environment and heritage assets in accordance with Policy D2 – Heritage;*
 - c. Is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;*
 - d. is of sustainable and durable construction and adaptable to different activities and land uses;*
 - e. comprises details and materials that are of high quality and complement the local character;*
 - f. integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct accessible and easily recognisable routes and contributes positively to the street frontage;*
 - g. is inclusive and accessible for all;*
 - j. responds to natural features and preserves gardens and other open space;*
 - k. incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening, for example through planting of trees and other soft landscaping;*
 - l. incorporates outdoor amenity space;*
 - m. preserves strategic and local views;*
 - o. carefully integrates building services equipment.*
- The council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.”*

2.14 Policy D2 (Heritage) outlines the Council's approach to designated and non-designated heritage assets and their settings. With regard to designated heritage assets, the policy outlines the approach to substantial or less than substantial harm.

2.15 With regard to conservation areas, the policy states:
"In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas.
The Council will:
e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;
f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;
g. resist development outside of a conservation area that causes harm to the character or appearance of the conservation area; and
h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage."

2.16 The following parts of the policy relate to Listed Buildings.
"To preserve or enhance the borough's listed buildings, the Council will:
i. resist the total or substantial demolition of a listed building;
j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and
k. Resist development that would cause harm to the significance of a listed building through an effect on its setting."

2.17 Policy A4 (Noise and Vibration) states:

"The Council will seek to ensure that noise and vibration is controlled and managed.
Development should have regard to Camden's Noise and Vibration Thresholds. We will not grant planning permission for:
1) development likely to generate unacceptable noise and vibration impacts; or
B) development sensitive to noise in locations which experience high levels of noise, unless appropriate attenuation measures can be provided and will not harm the continued operation of existing uses.
We will only grant permission for noise generating development, including any plant and machinery, if it can be operated without causing harm to amenity. We will also seek to minimise the impact on local amenity from deliveries and from the demolition and construction phases of development."

Material Considerations

National Planning Policy Framework (NPPF) 2012

- 2.18 The National Planning Policy Framework (hereafter the NPPF), published in 2012, establishes the Government's approach to planning and its central aim to achieve sustainable development.
- 2.19 At the outset, paragraph 14 sets out the presumption in favour of sustainable development that "should be seen as a golden thread running through both plan-making and decision-taking", subject to specific policies in the NPPF that indicate development should be restricted, such as those towards heritage assets.
- Heritage*
- 2.20 Chapter 12 of the NPPF sets out the Government's policies relating to the conservation and enhancement of the historic environment.
- 2.21 Paragraph 128 requires applicants to describe the significance of any heritage assets affected by a Proposed Development, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. This requirement is fulfilled through the provision of this Planning and Heritage Statement.
- 2.22 Paragraph 129 states that "Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal."

2.23	Paragraph 131 states that: <i>“In determining planning applications, local planning authorities should take account of:</i> <ul style="list-style-type: none"><i>• The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;</i><i>• The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and</i><i>• The desirability of new development making a positive contribution to local character and distinctiveness.”</i>	2.27	Ultimately, the preservation of significance is paramount in planning considerations relating to the historic environment. Therefore, concern for the preservation of fabric or particular features, although likely to be relevant considerations for an individual case, is superseded by the necessity of sustaining significance.	2.31	Historic Environment Good Practice Advice in Planning, Note 2, Managing Significance in Decision-Taking in the Historic Environment Historic England published its Historic Environment Good Practice Advice in Planning, Note 2: Managing Significance in Decision-Taking in the Historic Environment in April 2015. The guidance is intended to assist those implementing historic environment policy, and provides information on assessing the significance of heritage assets, using appropriate expertise, historic environment records, recording and further understanding, neglect and unauthorised works, marketing and design and distinctiveness. We have had regard to this guidance in preparing our appraisal and Statement of Significance for 1 and 1a Montague Street.
2.24	Considerable weight is placed by the NPPF on understanding the ‘significance’ of designated and non-designated heritage assets and the contribution made by their setting as a basis for development control decisions. The requirement for an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting, is set out at paragraph 128. This criterion is fulfilled through the provision of this Heritage Statement in support of the application.	2.28	Paragraph 133 states that local planning authorities should refuse consent for proposed developments which will lead to substantial harm or loss of significance of s designated heritage asset, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits which outweigh that loss.	2.32	Conservation Principles: English Heritage (2008) Best practice on defining significance is set out in English Heritage’s Conservation Principles (2008). The broad schema for assessing significance set out in this publication- the importance of heritage assets can be understood in relation to their potential evidential, historic, aesthetic and communal significance- have been considered in this assessment.
2.25	Paragraph 132 states: <i>“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.”</i>	2.29	Paragraph 134 states that: <i>“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.”</i> Planning Practice Guidance (First Live 2014) (“PPG”)	2.33	Bloomsbury Conservation Area Appraisal and Management Strategy (2011) The Bloomsbury Conservation Area Appraisal and Management Strategy was prepared by the Council to define the special interest of the conservation area, in order to understand and protect its key attributes, and implement measures to ensure appropriate enhancement.
2.26	The Glossary contained in Annexe 2 of the NPPF defines ‘conservation’ in relation to heritage as: <i>“The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.”</i>	2.30	This guidance was published as a web-based resource on 27th March 2014. The publication includes useful guidance on decision-taking with regard to historic environment matters. Paragraph 3 states that: <i>“Conservation is an active process of maintenance and managing change. It requires a flexible and thoughtful approach to get the best out of assets as diverse as listed buildings in everyday use to as yet undiscovered, undesignated buried remains of archaeological interest. In the case of buildings, generally the risks of neglect and decay of heritage assets are best addressed through ensuring that they remain in active use that is consistent with their conservation. Ensuring such heritage assets remain used and valued is likely to require sympathetic changes to be made from time to time. In the case of archaeological sites, many have no active use, and so for those kinds of sites, periodic changes may not be necessary. Where changes are proposed, the National Planning Policy Framework sets out a clear framework for both plan-making and decision-taking to ensure that heritage assets are conserved, and where appropriate, enhanced, in a manner that is consistent with their significance and thereby achieving sustainable development.”</i> Paragraph: 033 Reference ID: 18a-003-20140306		

3.0

// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



Historic Development

3.0 HISTORIC DEVELOPMENT

- 3.1 This section provides a description of the historic development of the Site and that of the surrounding area.
- 3.2 This section and **Section 4** have been informed by archival research and secondary sources, including:
- Cruickshank and Wyld, London: the Art of Georgian Building (1977);
 - Olsen, Town Planning in London: The Eighteenth and Nineteenth Centuries (1982);
 - Camden History Society, Streets of Bloomsbury and Fitzrovia (1986); and
 - Pevsner and Cherry, London Volume 4: North (1998).

Historical Overview

- 3.3 Bloomsbury's development began in the mid-17th century, as part of the trend towards northwards expansion in London, and soon became a fashionable suburb.
- 3.4 Horwood's Map of 1797 (**Figure 3.1**) shows the early development in the area, with Montagu House and Southampton House situated to the north of Great Russell Street, and open fields beyond.
- 3.5 Much of the land in the area formed part of the Bedford Estate, with the Duke residing at Bedford House until the early 18th century. Following the Duke's departure and the demolition of Bedford House in 1802, a more intensive phase of building took place in the surrounding area.
- 3.6 The development of the area was planned, accommodating large terraced houses lining a grid street pattern, with landscaped squares forming focal points within the composition, described as "wide streets and grand squares fit for the gentry" (Camden History Society, 1997).
- 3.7 The architect and developer James Burton (1761-1837) was a key figure in the design and execution of these early terraces, the uniformity of which was ensured through building agreements. Humphry Repton (1752-1818) was appointed to landscape the gardens in Russell Square.



Figure 3.1 Horwood's Map, 1797

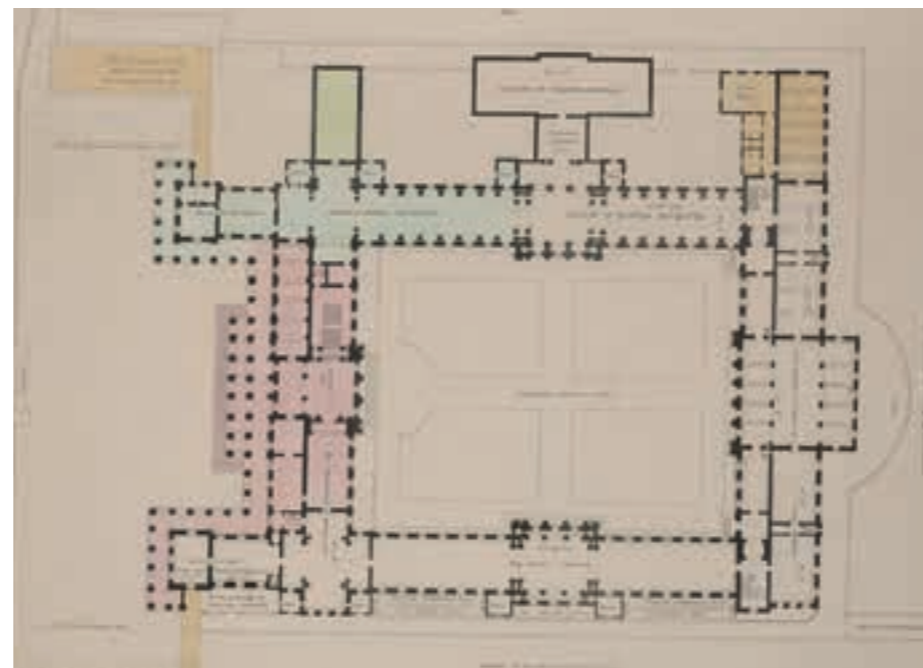


Figure 3.2 Smirke's ground floor plan for the British Museum

- 3.8 Following its establishment at Montagu House in 1759, the British Museum accumulated an increasingly large collection which ultimately required the expansion of the premises. The museum underwent a series of extensions and alterations, and finally Montagu House was demolished in 1840 to make way for a new purpose built main building.
- 3.9 Sir Robert Smirke (1780-1867) designed a large, neo-classical style building which was built in stages to occupy a block to the south of Montague Place. The building consisted of four wings, oriented around a central quadrangle, with projecting wings to the south west.
- 3.10 Smirke's 1838 Plan for the ground floor (**Figure 3.2**) shows the layout of the museum, including a proposed extension to the south east indicated as 'Site proposed for the Officers Apartments'. This is to the south of the boundary wall of the museum, in line with the gardens of the houses to Montague Street.
- 3.11 The scale of the Museum complex can be seen in the 1875 OS Map at **Figure 3.3**, occupying the centre of an entire block, with residential terraces to the north, east and west arranged along the distinctive grid street layout with open landscaped squares.
- Montague Street*
- 3.12 Montague Street runs north-south between Russell Square and Great Russell Street, in the south west of Bloomsbury. The street is to the immediate east of the British Museum.
- 3.13 Number 1 Montague Street was designed by James Burton and built between 1803 and 1806 by WE Allen, as part of the terrace at nos. 1-11 on the west side of Montague Street.
- 3.14 The resulting composition was described by Cruickshank and Wyld (1977) as:

"A splendid example of this architect's First Rate speculative housing and an equally fine example of an extensive, highly uniform, yet austere, terrace composition. The fact that space between individual houses is the same as that between windows makes the rhythm of this terrace particularly repetitious."

- 3.15 As development expanded further north and west during the 19th century, Bloomsbury's residential appeal declined. This led to the re-use of former residential buildings for office and institutional uses.
- 3.16 In 1836 land to the south of no. 1 Montague Street was let by the Bedford Estate to the Bloomsbury Savings Bank. A house was built adjoining the terrace at 1-11, though smaller in scale with three bays width and was numbered 30, despite adjoining no. 1 and sitting opposite 28 and 29. The house is believed to have been inhabited by associates of the bank, with an actuary, his wife, and three servants resident according to the Census of 1871.
- 3.17 The building had an unusual plan form owing to its mixed use. To the rear of the house, the space which would have formed the back garden was instead a banking office. This was reached via a door to a passageway from the street, which led to a waiting room created to "prevent such persons from congregating in the street... and thereby annoying or disturbing the inhabitants". (Camden History Review, 1986).
- 3.18 The properties along Montague Street have gardens to the rear, extending as far as the boundary with the British Museum. Number 30/1a has a distinctive form, occupying the majority of its plot owing to the banking hall to the rear (**Figure 3.3** and 3.4).
- 3.19 In 1895, the Bedford Estate was strongly encouraged to sell the freehold of the properties on the west side of Montague Street to the British Museum, a move believed to have had support from the Prince of Wales. The buildings were used for a variety of ancillary functions by the museum, including offices and storage.
- 3.20 Following the sale of the freehold, No. 30 remained as a bank on the 1896 OS Map at **Figure 3.4**, and the space to the south of the properties along Montague Street was infilled with a further extension to the museum building.



Figure 3.3 1875-1878 OS Map



Figure 3.4 1896 OS Map

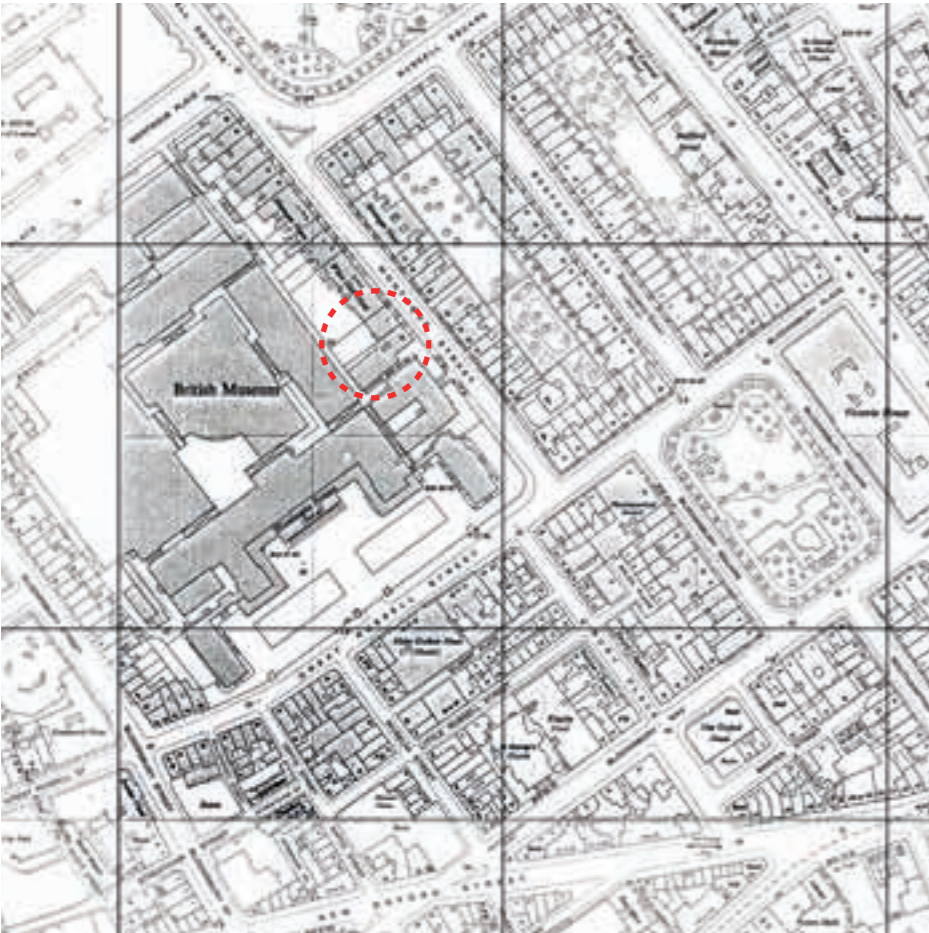


Figure 3.5 1952-1953 OS Map

- 3.21 The 1952-1953 OS Map at **Figure 3.5** shows that the adjacent properties at 2-5 Montague Street have been combined to form the White Hall Hotel, with 6 and 7, and nos. 8-11 also indicated as linked. 1a was still numbered 30 at this time. The appearance of the properties is illustrated at **Figure 3.6**, within the larger terrace.
- 3.22 Documentary evidence shows that most of the perimeter properties were leased commercially under the ownership of the British Museum, with the exception of 1a Montague Street which house the “M & LA Department”.



Figure 3.6 1956 photograph showing front elevation of properties to Montague Street

- 3.23 Correspondence from the British Museum’s Estate Surveyor indicates that by 1978, there were plans to take control of the properties as their leases expired. The report at **Figure 3.7** states “On the east side, no.1 Montague Street, adjacent to 1A already occupied by the Museum, is wholly office accommodation. This could make a combined unit of about 8,000 sq ft. One potential use for this is a new Security unit for security and gallery warders (releasing space occupied in the East Residences and some basements), usefully near the Control Room”.
- 3.24 The documents do not explicitly say whether this use was enacted, but certainly by the mid-1980s the properties were not leased and were under control of the Trustees, and were combined internally for use by the museum, as indicated by the planning history (discussed at **Section 4.0**).
- 3.25 In summary, the two buildings were constructed separately, by differing architects and for different purposes. However, during the 20th century, the properties both came under the control of the museum, and were used for various purposes. At nos. 1 and 1a, this included the internal reconfiguration and linking of the properties in order to make them suitable for use by the museum’s prehistory department.

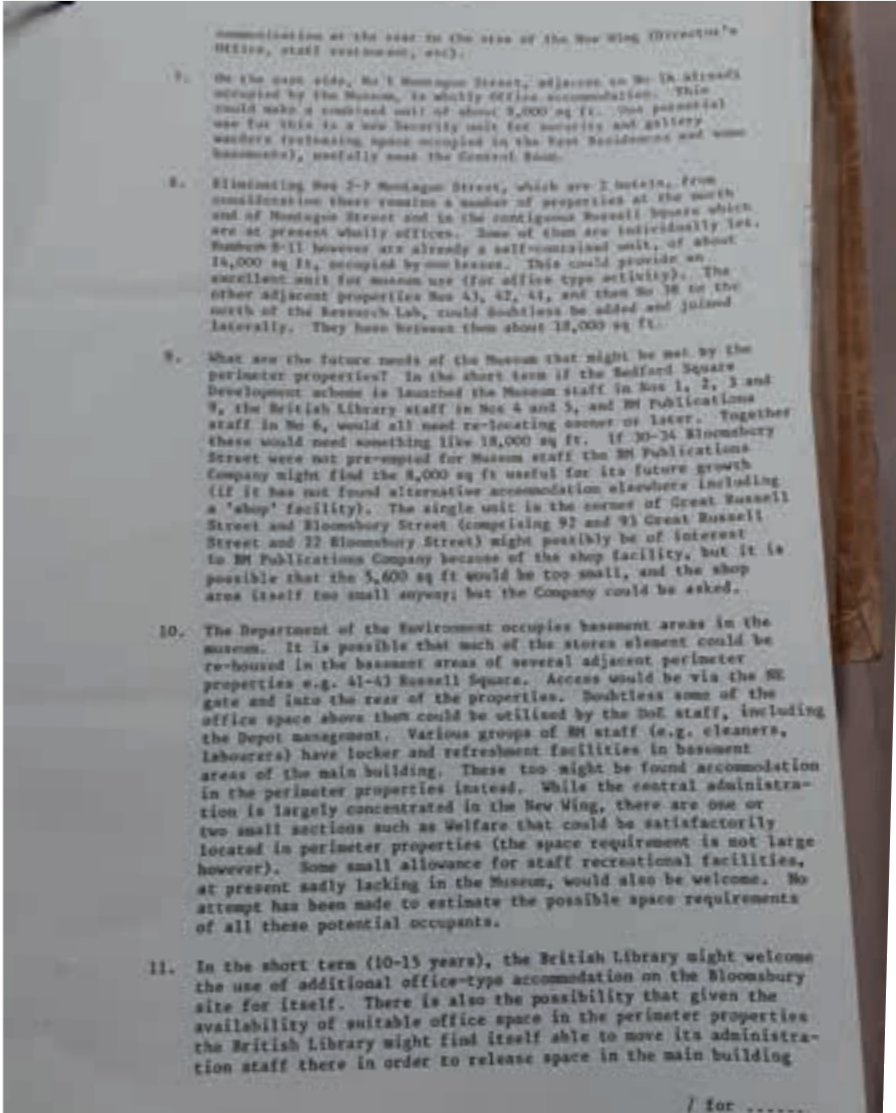


Figure 3.7 Extract from correspondence regarding the fate of perimeter properties at the British Museum

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// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



Appraisal of 1 and 1a Montague Street

4.0 APPRAISAL OF 1 AND 1A MONTAGUE STREET

Overview

- 4.1 The site comprises two grade II statutorily listed buildings on the west side of Montague Street. These were combined internally as part of a 1980s package of works to adapt the properties for use as ancillary space for the British Museum. The two buildings were part of two separate phases of construction, and are covered by two separate entries in the statutory list ('1-11 Montague Street' and 'Number 30 and attached railings and lamps'), and where appropriate, are discussed independently below.
- 4.2 Archival and documentary research and site surveys have informed our historic and architectural appraisal of the grade II listed properties at 1 and 1a Montague Street.
- 4.3 Relatively few archival documents of relevance survive, the research conducted to date has not provided evidence of plans of the buildings preceding the 1980s.
- Planning History
- 4.4 **Table 4.1** provides a summary of recent applications at the property. This shows that the properties underwent a comprehensive phase of refurbishment in the 1980s, which included the creation of internal access between 1 and 1a, the introduction of display cases to store heavy and valuable museum items, and the addition of a lift on the southern elevation of 1a.
- 4.5 At this time, the buildings were used by the Museum's Britain, Europe and Prehistory Department as offices and ancillary storage.
- 4.6 The installation of these units, which were bolted into walls, has caused some damage to original plasterwork and brickwork behind the decorative features.

Table 4.1 Recent Planning history at 1 and 1a Montague Street

Reference	Date	Description of Development	Decision
8570073	13/09/1985	Adaptation and refurbishment including the erection of a lift on the gable end of number 1a with breaches in the party wall between the two buildings as illustrated on drawing nos. 1243/AL1/1; 1243/AB1/OA 1H 2F 3G 4J & 5D revised 10 th	Granted
8600572	03/04/1986	The erection of a lift on the gable end of no. 1a Montague Street as part of the works adaptation and refurbishment of nos. 1/1a Montague Street for the Medieval and Later Antiquities Department of the British Museum	Granted
8670216	10/06/1986	Approval of Details	Granted
2010/4973/P	29/09/2010	Use of the premises for office (class B1) purposes	Withdrawn
2012/3144/P	26/02/2012	Use of the premises for office (class B1) purposes [Certificate of Lawfulness].	Granted

Exterior

- 4.7 The principal elevations of the properties retain classical proportions and detailing which contribute to the uniform appearance of the terraced development in the area.
- 4.8 The front elevations to Russell Square retain the original brickwork, the fenestration arrangement, entrances at the ground floor, and cast iron railings at the ground level with balconies at upper floors. Some of the windows are modern timber sash replacements, though their style as traditional sashes are sympathetic to the historic building (**Figure 4.1**).
- 4.9 At the ground floor, the elevation is treated with channelled stucco and has a uniform appearance with the remainder of the terrace at 2-11.
- 4.10 The rear elevation of the property is also in brickwork. Some of this brickwork shows evidence of structural damage caused by movement of the building, where it is visibly uneven (**Figure 4.2**). The Structural Report by Curtins, which forms part of this Application, states that the movement is believed to be "longstanding and non-progressive, or at least not significantly progressive and as such to have reached a stable equilibrium". The rear part of the property has been reinforced internally by a large scaffolding structure since the 1990s, to support the building and prevent any further movement.
- 4.11 This movement is visible internally in the extensive cracks and floor movement throughout the rear parts of no.1.
- 4.12 The rear elevation shows contrasting brickwork at the upper two storeys. The date of this change is unclear, and it appears that the rebuild adhered to the original line of the building. The fenestration has also been altered, with some 20th century metal framed windows and an area of render to the rear of 1a, which suggests that a previous window opening has been blocked in, possibly during the 1980s (**Figure 4.4**).
- 4.13 A single storey modern infill structure has been added to the rear of 1a, and is of no particular intrinsic interest. It has a flat roof, and utilitarian appearance, and is currently in use as a kitchenette facility (**Figure 4.2**).



Figure 4.1 Front elevations to Montague Street



Figure 4.2 Rear brickwork to no. 1a Montague Street, showing evidence of damage

Interior

- 4.14 Archival research and secondary sources provide very limited evidence of the original construction or subsequent alteration of the two properties. Therefore, a set of 1984 Tender Plans created by C Frank Timothy Associates have informed our understanding of how the properties have been altered. These are reproduced alongside an overview of each floor.
- 4.15 The 1984 plans form the basis of our appraisal of the plan form of the properties before the 1985 adaptation. They also tell us about the alterations undertaken to adapt the buildings for office use by the museum.
- 4.16 The properties retain numerous high quality decorative features, some of which are original. These include fine decorative cornicing, ceiling roses and plasterwork, door architraves notable for their decoration, window shutters, balusters, and some dado panelling.
- 4.17 A photographic schedule of internal features of note has been produced by HOK, and informed the appraisal carried out in this section. It is included with this report at Appendix 2.

Plan form

- 4.18 The 1985 works to internally combine the properties necessarily affected the plan form of the buildings at all levels by introducing openings in the party wall, as well as internal reconfiguration.
- 4.19 The 1980s plans show the removal of dividing walls at all levels, and the introduction of new internal partitions to subdivide spaces and create service areas. An office, shown to the rear of 1a on the 1980s plans, appears to have been demolished during the use of the building as museum offices.
- 4.20 Nevertheless, much of the original plan form of both buildings remains legible. Reception rooms on the ground and first floors retain their original proportions, and circulation uses original stair routes.
- 4.21 Below, we provide an appraisal of each floor of the building in its current form, with reference to the 1980s plans.



Figure 4.3 The modern infill to the rear of no. 1a

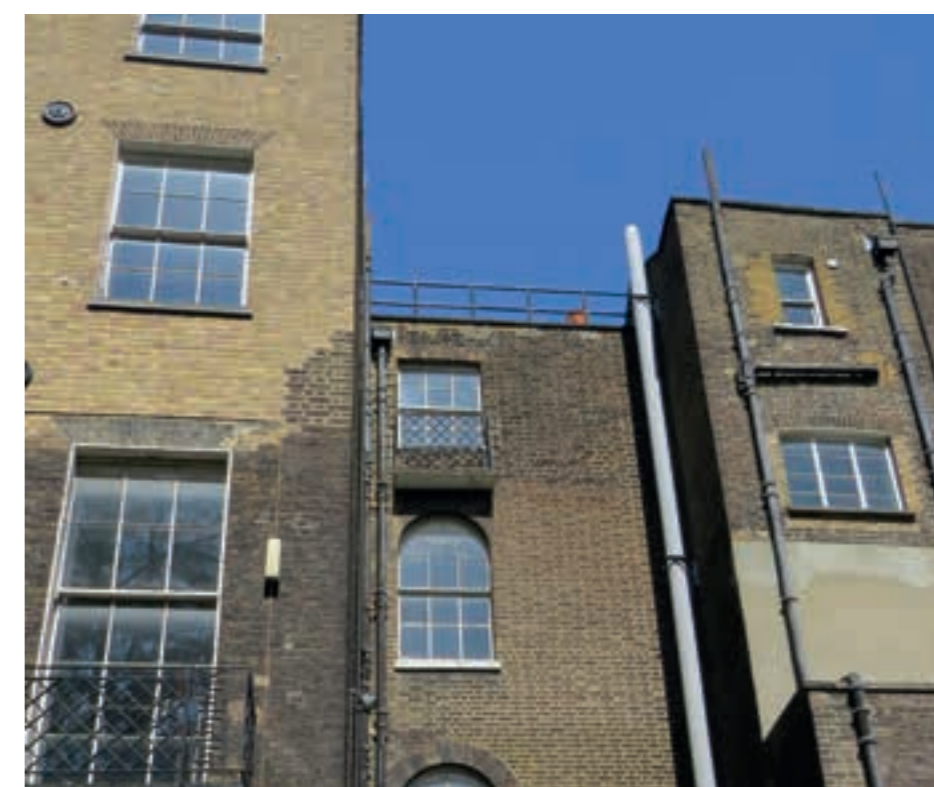


Figure 4.4 Rear elevations showing change in brickwork

Basement

- 4.22 The plan at **Figure 4.5** shows that the basements to both properties had a complex plan form consisting of a series of subdivided storage spaces, and a total of seven vaults. To the rear of no.1, the basement spaces are shown adapted to accommodate showcases and book storage (B15 and B20).
- 4.23 The properties are combined internally at this floor level via two openings in the party wall, and some internal partitions at 1a have been removed to open up the space to the front of the property. The lift is shown in the pump room space.
- 4.24 To the rear of 1a, an opening links to the 'White Wing Corridor', which provides internal access directly to the museum (**Figure 4.6**). This was added during the museum's use of the property as office space.

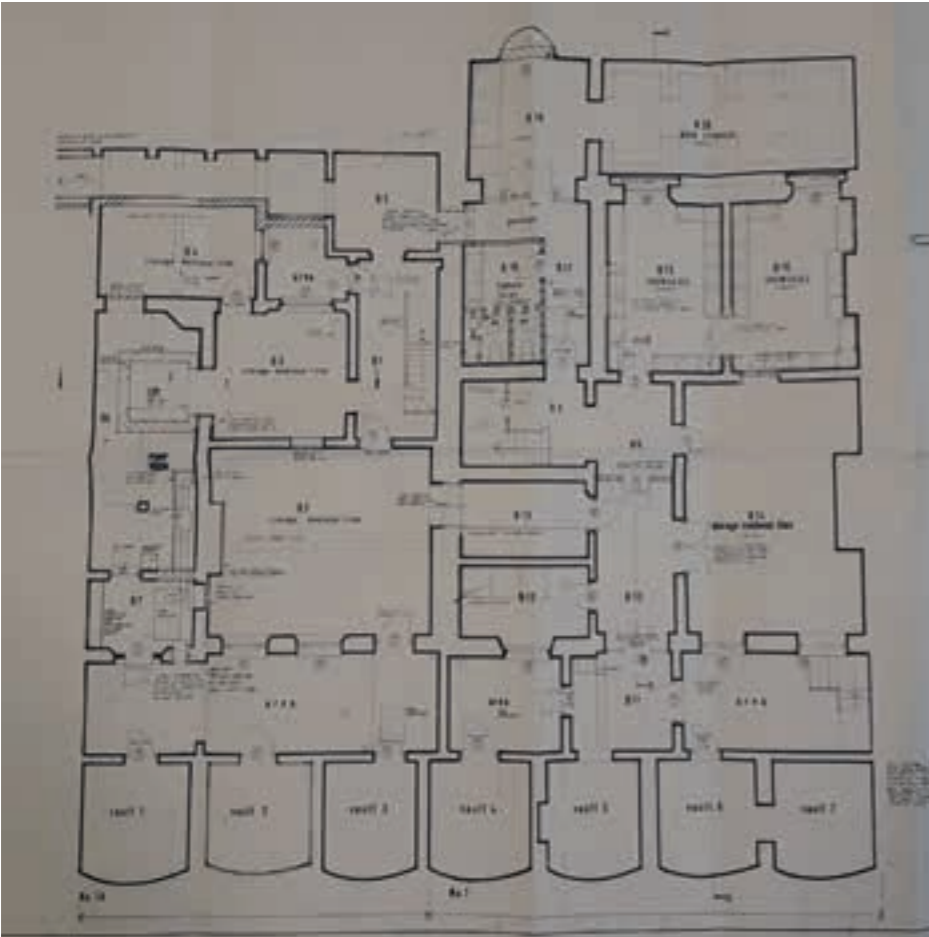


Figure 4.5 Basement plan of the properties in 1984 showing access corridor to the British Museum and assorted storage uses

Features of interest

- 4.25 A full account of features of interest is provided by the HOK Report at Appendix 2, however we provide a brief summary of some of these here. To the rear of 1a, an internal double door in the lobby space is surmounted by a decorated fanlight (**Figure 4.7**), which reflects the former bank entrance.



Figure 4.6 The tunnel to the White Wing of the Museum



Figure 4.7 Fanlight at basement level

Ground floor

- 4.26 The properties are entered from Montague Street. No. 1 has an entrance hall, with a large reception room (labelled as G5 at **Figure 4.8**) to the right, and a smaller reception room to the left (G4 in **Figure 4.8**).
- 4.27 The main staircase is in its original location. A modern single storey extension has been added to the rear, housing WC and shower facilities. The plans indicate that the fireplace and surround in G4 has been re-sited from the second floor, to enable the opening of the partition wall to link to the hallway in 1a.
- 4.28 1a occupies a smaller footprint than 1, with one reception room to the left of an entrance hallway (G13), again the staircase in its original location. The drawings show that the location of the door has been moved to correspond to the opening in the partition wall. The staircase in 1a is to the rear of the hallway, with a second reception room to the left.
- 4.29 The 1984 plans shows that further changes to the plan form and circulation included the creation of a small 'area' to the rear of no. 1a, and a lift added to the south boundary wall.

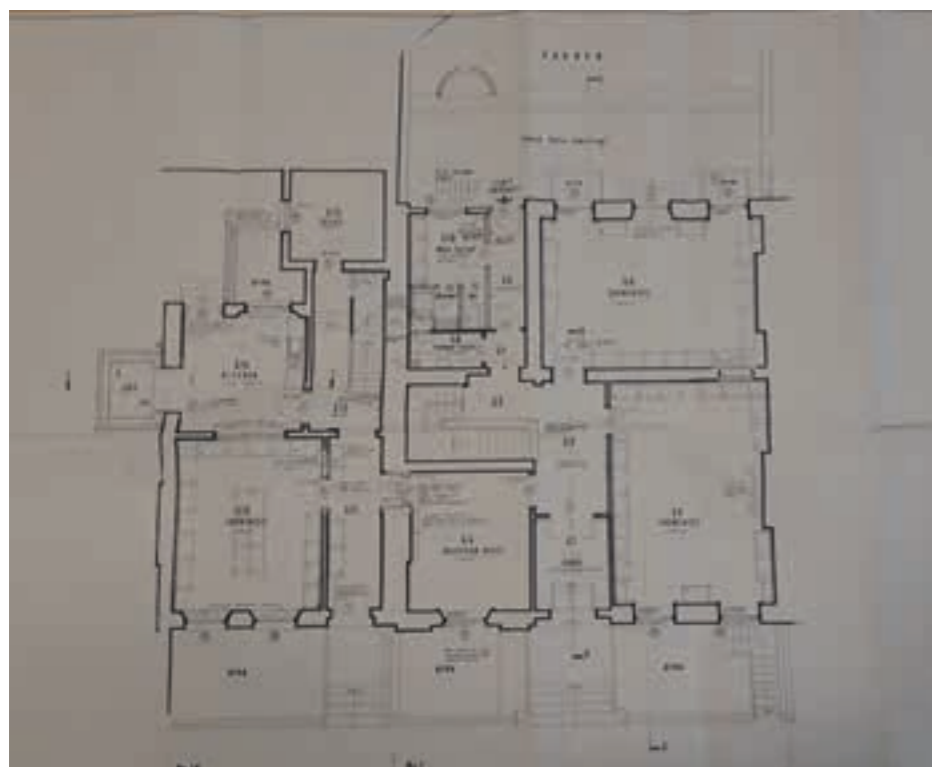


Figure 4.8 Ground floor plan of the properties in 1984 showing proposed internal alterations

Features of Interest

Stair

- 4.30 The staircase and iron balustrade from basement to ground floor in no.1 appear original. These are undecorated, reflecting the hierarchy of spaces within the interior, and contribute to an understanding of the historic circulation pattern.
- 4.31 The wrought iron balustrade to the main cantilevered staircase is original with some of the handrail and balusters altered later (**Figure 4.9**). The staircase forms an integral part of the original layout, and a key internal feature of significant interest.



Figure 4.9 The main stair to no.1a at ground level

Fireplaces

- 4.32 The right hand reception room houses the fire surround which was formerly on the second floor, and relocated in the 1980s as shown on plans above. The historic surround has a simple carved design in wood (shown at **Figure 4.11**). The front right hand reception room at no.1 contains a marble fire surround with cast iron inset (**Figure 4.10**).



Figure 4.10 Marble fire surround with inset at ground floor of no.1a



Figure 4.11 Ground floor fire surround

Decorative features

- 4.33 The original blocked opening between reception rooms at no.1 is visible in the wall as a decorated arch shape (**Figure 4.12**). The detail in the decorative wall friezes is clearly visible and well preserved within the infilled wall.
- 4.34 The cornices to the ground floor hallway in no.1 and the left hand reception room both survive in good condition. The hallway has detailed, pulvinated ornamentation (**Figure 4.13**).
- 4.35 The ground floor to no.1 retains original architraves and doorways to the reception rooms at the front of the property. The doors have carved decoration, and are painted white.



Figure 4.12 Original opening between reception rooms



Figure 4.13 Detail of cornice in main hallway

First Floor

- 4.36 At first floor level, the 1984 plans show that a chimney breast was removed to create an opening through the party wall. The first floor was adapted to house museum artefacts, and fitted with internal showcases which were bolted into the walls.
- 4.37 The plan form at this level appears to have undergone earlier change with the subdivision of internal rooms, and as part of the proposals, internal partitions in no. 1 were removed (**Figure 4.14**).

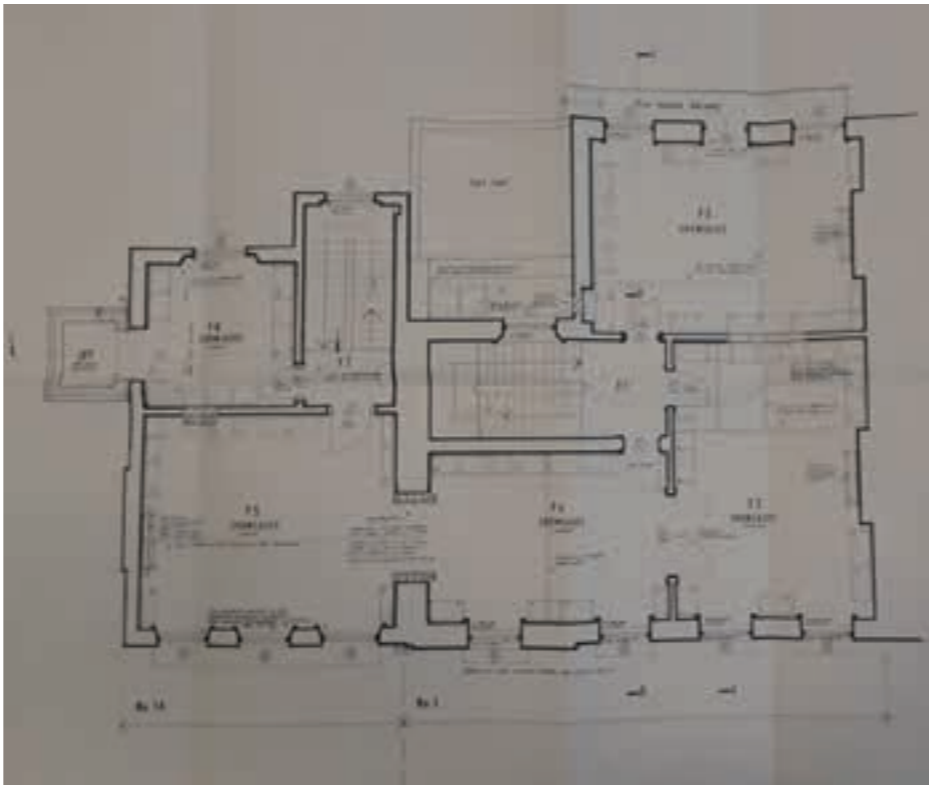


Figure 4.14 First floor plan of the properties in 1984, showing proposed internal alterations

Decorative features

- 4.38 The cornice to the first floor landing is ornate, with decorative detailing. There are original architraves leading within the landing to the reception rooms at first floor level (**Figure 4.15**).
- 4.39 Two of the sash windows at no.1 retain their original working shutters (**Figure 4.16**).

Fireplaces

- 4.40 At first floor level, the front reception room at no.1 has a cast iron fireplace with a marble surround, which appears to be original and in good condition. A further marble fire surround to the rear of 1a is believed to have been relocated here from no.1 at the time of the combining works.



Figure 4.15 Cornice at first floor level



Figure 4.16 Window shutters at first floor level



Figure 4.17 The staircase to no.1, showing balustrade, at first floor level



Figure 4.18 Staircase to no. 1, showing simpler balustrade and handrail



Figure 4.19 Marble fire surround with inset at first floor

Second Floor

- 4.41 At second floor level, the 1984 tender drawings show the reconfiguration of the plan form through the removal of some existing partitions, and addition of new ones in rooms S2, S5 and S12 (**Figure 4.20**). The properties were linked at this level by a new opening between rooms S10 and S6.
- 4.42 The main stair in both properties extends to this floor, with the third floor reached by a secondary stair. These are not indicated as being subject to alteration as part of the 1980s works.

Features of interest

- 4.43 The features of interest at third floor level include the original stone treaded stair to each of the properties. At no.1, the simpler baluster and handrail indicate the change in status at this floor level.
- 4.44 No.1 retains original sliding sashes, with shutters, which contribute to the interior and exterior character of the property. The rear south room in no. 1 has a timber fire surround with a cast iron fireplace.
- 4.45 At no.1, the mahogany handrail and iron balusters continue and the cornice in the hallway is original and highly decorated.

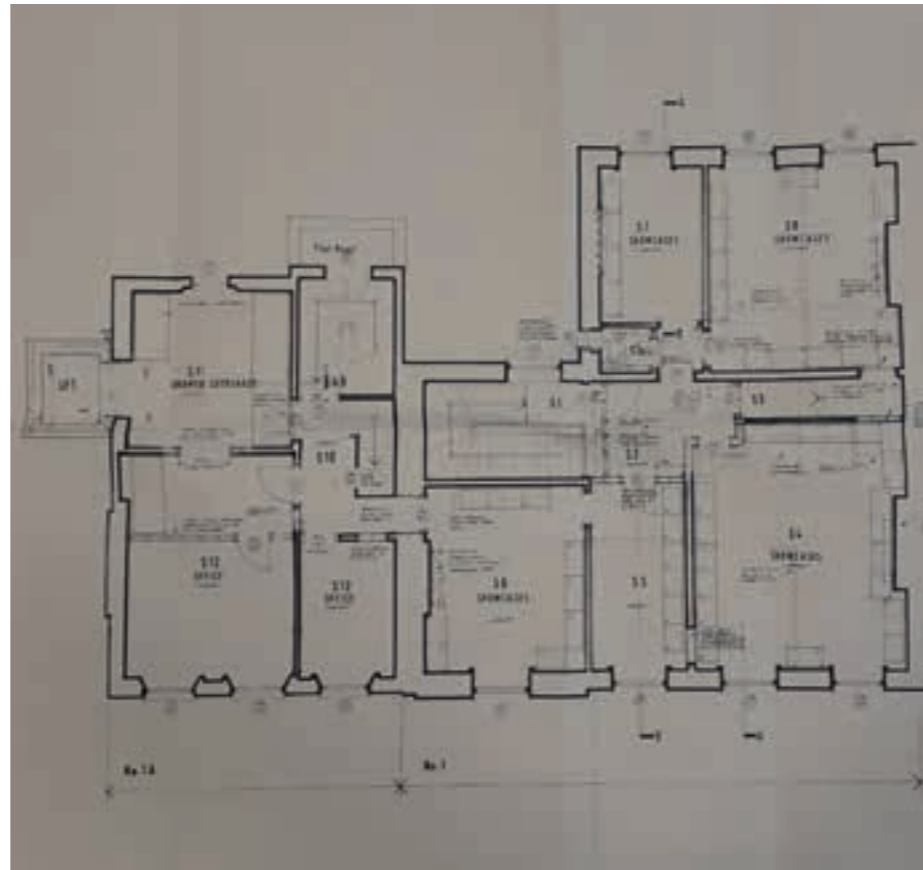


Figure 4.20 Second floor plan of the properties in 1984 showing proposed internal alterations



Figure 4.21 Cornice at second floor level (supporting scaffolding installation also visible)

Third Floor

- 4.46 At third floor level, the plan form of no. 1a remains relatively unaltered (**Figure 4.22**). Historic changes include the removal of an existing partition wall to facilitate the reinstatement of a previous door opening. In no. 1, subdividing partitions have been added within the original rooms, to accommodate storage, WC and shower facilities. These are still present today.
- 4.47 The plan at **Figure 4.22** indicates that the property had been linked with no.2 Montague Street at some stage, with the annotations stating *“remove existing door and frame in party wall and brick up opening”* on the right hand side. This was clearly executed, as the properties are no longer linked internally.
- 4.48 An opening between the two properties was situated in the room labelled as T12, and the existing iron window guard retained. To the front of the property, the existing fire surround was to be retained, and the doorway to the hall moved. The stair case appears unaltered at this level.

Features of Interest

- 4.49 In terms of decoration, the third floor in both properties is less ornate than those below, owing to the lesser importance of this level of the property. Features of interest are shown in the HOK Report at Appendix 2, which include the undecorated, original staircase to no.1a, two marble fire surrounds to no.1, one of which has an iron fireplace, and timber sash windows throughout both properties.

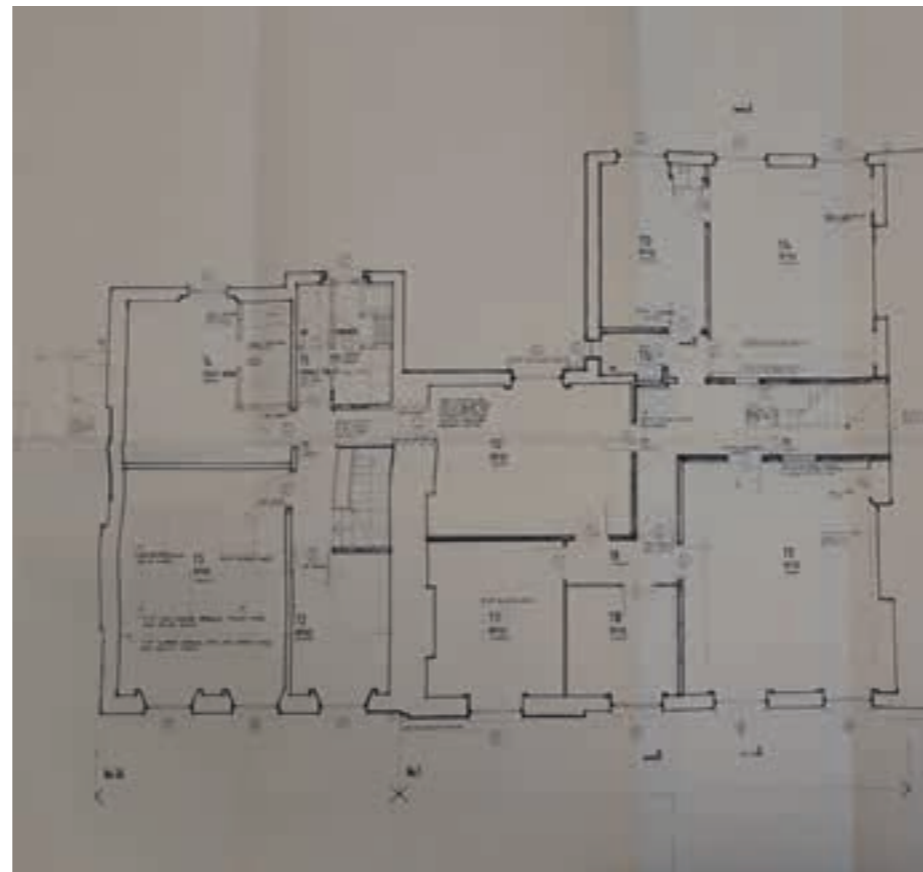


Figure 4.22 Third floor plan of the properties in 1984 showing proposed internal alterations

5.0

// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



Assessment of Heritage Assets' Significance

5.0 ASSESSMENT OF HERITAGE ASSETS' SIGNIFICANCE

- 5.1 The Glossary of the NPPF provides a definition of significance. Here, the 'heritage interest' of an asset may be archaeological, architectural, artistic or historic. Significance derives not only from the physical presence of the building, but also from its setting.
- 5.2 The NPPF (2012) defines significance as:
"The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."
- 5.3 In forming a judgment on the significance of the property and its contribution to the character and appearance of the Conservation Area, due regard has been paid to the relevant Historic England guidance provided in Conservation Principles (2008). Conservation Principles sets out four categories of significance: evidential, historical, aesthetic and communal value. The following table shows how the heritage values identified in Conservation Principles could be considered to relate to those identified in the NPPF:

English Heritage Conservation Principles (2008)	National Planning Policy Framework (2012)
Evidential value	Archaeological Interest
Historical value (illustrative, associational)	Historic Interest
Aesthetic value (fortuitous, design, artistic)	Architectural and artistic interest
Communal value (commemorative, symbolic, social, spiritual)	Not explicit, but could be interpreted as the value of a heritage asset to this and future generations

- 5.4 This section considers the significance of the Application Site to the values identified in the NPPF.

Archaeological Interest

- 5.5 Archaeological value is normally associated with archaeological remains and built fabric of significant age and rarity. The properties at 1 and 1a Montague Street date to the 19th century, as part of a wider phase of development in Bloomsbury. They are not, therefore, isolated examples of buildings of significant age, and correspondingly do not possess archaeological value.

Architectural and artistic interest

- 5.6 The principal elevation of the no.1 Montague Street possesses aesthetic value in its appearance as part of the range of early 19th century terraced properties at 1-11 on the west side of Montague Street.
- 5.7 The building retains some original architectural features, including the wrought iron balconettes at first floor level, which match those across the remainder of the terrace.
- 5.8 1a Montague Street retains its original cast iron railings with urn finials, and has an attractive façade which complements the adjoining terrace at nos. 1-11. The property has an adjoining blocked doorway to the south, which was formerly the entrance to the waiting room and banking hall at the rear.
- 5.9 The historic plan form of both properties remains legible internally, in spite of later alterations and new entrances. Both retain their original cantilevered stairs with balusters and handrails.
- 5.10 There is good survival of the cornices throughout, which are unusually detailed and a decorative feature of considerable interest.
- 5.11 A number of original fireplaces through the properties remain, some in situ.
- 5.12 The fabric of the building has been altered in some areas, but in others the original lath and plaster wall surfaces and ceilings survive, which contribute to the architectural interest of the properties.

Historical Interest

- 5.13 1 Montague Street is of historic interest as an early 19th century terraced building which was constructed as part of the main phase of speculative development in Bloomsbury. The building is also associated with the James Burton, a prolific Georgian architect known for his elegant terraces and squares, including Chester Terrace, Tavistock Square and York Terrace at Regent's Park.
- 5.14 1a Montague Street is of some local historical interest for its association with the former Bloomsbury Savings Bank. The house is no longer associated with the former banking hall, which is part of the British Museum complex.
- 5.15 The properties' association with the British Museum makes some contribution to their historic interest, as an institution of international renown.

Setting

- 5.16 The setting of the properties to Montague Street consists of 19th century townhouses, many of which retain their original railings, giving the area a strong historical character. These are all included on the statutory list at grade II, as part of the following designations:
 - Numbers 38-43 and attached railings;
 - Numbers 1-11 and attached railings including White Hall Hotel (Numbers 2-5) and Montague House (Numbers 811);
 - Numbers 12-29 and attached railings including Montague Hotel (Numbers 12-20);
 - Iron Gates between numbers 20 and 21 leading to rear garden; and
 - Number 29a and attached wall, railings and lamps.
- 5.17 There are additionally a pair of Grade II listed K6 telephone boxes on the west side of Montague Street, which contribute to the streetscape.
- 5.18 The front elevations of 1 and 1a Montague Street make a positive contribution to the streetscape, and to the setting of the rest of the listed terrace at 1-11.

- 5.19

To the rear of the properties is the British Museum (Grade I), which is a later 19th century building of considerably larger scale than the townhouses. The properties have been in the ownership of the British Museum Trustees since the 19th century, and have been in use as ancillary space for the museum, including the creation of an internal link at basement level.
- 5.20

The museum makes a positive contribution to the setting of 1 and 1a Montague Street, as the two share considerable historical associations.
- 5.21

The eastern elevation of the museum is primarily a service area with a 'back lot' feel, accommodating service runs and secondary access routes for the museum in an area which is not visible to the public. These detract from the appreciation of the rear elevations of the properties, though are visible only in private views.
- 5.22

The wider British Museum building is an attractive feature in the townscape, and in the setting of the listed buildings.
- Bloomsbury Conservation Area**
- 5.23

Bloomsbury Conservation Area is situated between Euston Road in the north, and Lincoln's Inn Fields in the south. Development in the area began in the second half of the 17th century, and the area retains some buildings from this early phase of development. Later built form is varied, consisting predominantly of 18th and 19th century townhouses and, most obviously, institutional and landmark buildings such as those associated with University College London and the British Museum. The historic presence of these establishments has contributed to the cultural interest of the area, which is further enhanced by its former occupants, who include the famous 'Bloomsbury Group' of early 20th century artists and intellectuals.
- 5.24

The Bloomsbury Conservation Area as a whole derives its special interest from its surviving early street pattern, which is laid out in a rectilinear pattern with straight streets leading to open squares, which are often landscaped. The dominant architectural form is the townhouse, with some earlier 17th and 18th century examples surviving alongside later 19th century properties, though a large proportion have been adapted during the 20th century for office or other uses.
- 5.25

1 and 1a Montague Street are within a sub-area identified in the Appraisal (2011) as The Bloomsbury Square Area. The Appraisal describes the terrace on the west side of Montague Street as having *"its own uniform townscape with a high sense of enclosure created by the 1800s terraces on its east and west sides, all of which are listed grade II... the strong visual consistency derives from the repeated identical frontages."*
- 5.26

The front elevations of the buildings make a positive contribution to the character and appearance of the conservation area, and contribute to an understanding of the historic layout of Montague Street.

6.0

// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



Heritage Impact Assessment

6.0 PLANNING PROPOSALS ASSESSMENT

- 6.1 The following section assesses the effect of the Proposed Development on the significance of the grade II listed buildings at 1 and 1a Montague Street, and on the Bloomsbury Conservation Area.
- 6.2 The application proposals comprise a package of works to refurbish the property fit for use as high grade office space, including refurbishment works to conserve features of historic interest within the properties.
- 6.3 The revised Design and Access Statement prepared by BDP sets out a detailed discussion on the design rationale and architectural approach. In summary, the scheme seeks to include the following:
- Creation of attractive, open plan offices;
 - Repair to damaged historic features, including reinstatement of lath and plaster construction where present;
 - Repair and making good of the walls where the cabinets and brackets have been partially removed and the wall build up and finishes need to be reinstated;
 - Replacement of displaced brick to rear of 1a to align with remainder of wall, repair and structural works to existing balcony;
 - Addition of a new service riser from the basement to the third floor level; and
 - General refurbishment of interiors for office use, including creation of new kitchenettes, toilets and shower facilities to both 1 and 1a, and upgrade of fire safety provisions.
- 6.4 The proposals have been drawn up with an understanding of the character and special interest of the two properties, preserving architectural elements which are of interest, whilst improving areas which are in poor condition.
- 6.5 For the purposes of this assessment, the proposals have been grouped to reflect the key elements of the scheme throughout.

Plan form/ Partition Walls

- 6.6 To create open plan office space, the proposals include the removal of some internal partition walls, and the formation of new openings (see drawings). Simultaneously, some more recent additions to the properties are to be removed. The location of these is summarised below.

- 6.7 The creation of new openings at basement level will create an open office space to the rear of no.1. This area of the basement does not contain any features of note, and is less sensitive to alteration than those above.
- 6.8 At ground level, it is proposed to create a new opening to the rear in the wall between nos. 1 and 1a, and reinstate a blocked, arched opening between the front and rear reception rooms in no. 1a. This will improve the circulation between the two properties, and the function of the buildings for office use, in keeping with Policy D1 of Camden's Local Plan (2017). The opening of the blocked arch at 1a will reinstate a historic circulation route through the property.
- 6.9 At first floor level, a new opening is proposed between the front and rear reception rooms of 1a.
- 6.10 At second floor level, the works include the removal of some later partition walls, which have subdivided internal spaces and altered the original proportions of the room. This will create open plan office space, and reinstate the open nature of the hallway.
- 6.11 At third floor level, the proposals include the removal of a number of modern subdividing partition walls and the creation of some new openings. Overall, the removal of modern partitions will enhance the appreciation of the historic proportions of the rooms. The creation of new discreet openings as proposed will not detract from the legibility of the original layout.
- 6.12 As discussed in **Section 4.0**, whilst the internal plan form has previously been altered as part of the 1980s works, the original layout of the properties remains legible. The overall plan form of the buildings will be preserved by the proposals to refurbish the building for use as high quality office space. The proposed changes will not cause harm to the special architectural or historic interest of the building, thus meeting the criteria at part 'j' of Policy D2 of the local plan.

Upgrade of Services

- 6.13 Throughout the properties, radiators are proposed to provide heating to office spaces. The location of these radiators are shown on the drawings prepared by BDP. Most will sit below windows which provide natural recesses.
- 6.14 The proposals retain the internal links between the two properties, but intend that water and heating services should be accommodated separately, to allow the buildings to be occupied by multiple tenants.
- 6.15 At 1a Montague Street, it is proposed that service runs are accommodated in the 20th century lift shaft. The strategy for number 1 is different on account of the lack of existing provision and useable service runs which would accommodate the required level of servicing to upgrade the building with the necessary provisions.
- 6.16 Appropriate locations for the new service riser have been tested and the final location identified through a thorough appraisal of the buildings and following feedback from officers on the previous proposal to install new risers throughout numbers 1 and 1a.
- 6.17 The final approach to situating and concealing services will ensure the new services are carefully integrated into the buildings. The design development and rationale behind the selection of the final location is considered in detail in the Design and Access Statement prepared by BDP and which accompanies this application.
- 6.18 The mechanical and the electrical services in number 1 will be routed differently through the building. Existing wall voids within no.1 have been surveyed and have the capacity to accommodate the mechanical services required to support the office uses proposed. The electrical riser will be contained separately in a new plywood housing case in front of the wall.

BDP have set out in the Design and Access Statement how efforts have been taken to reduce the size and capacity of the electrical riser. This will appear as a discreet addition in the corner of the two rear principal rooms at the ground and first floor levels. At the upper floor levels,

- 6.19 the riser will be contained within the corridor at the second floor level and again within the rear room at the third floor level.
- 6.20 Thought has been given to the location and treatment of the riser within the corner of the principal rooms at the ground and first floor levels in particular. As proposed, the installation of the riser will require the localised removal of a small section of cornice to avoid a large step in the riser casing which would protrude into the room to a significant extent. This was discussed with officers from Camden and agreed that this was an appropriate treatment of the historic fabric. The riser casing will be scribed around the remaining sections of the cornice and the existing skirting boards so that these remain in situ.
- 6.21 Skirting boards and cornices will not be added to the outside of the riser casing so that the riser is appreciated as a simple, new addition within each of the rooms, and is as reversible a feature as possible.
- 6.22 To reduce the impact on historic floorboards, the cabling has been removed from the cable tray and run as groups through the cornice and floorboards as required.
- 6.23 The mechanical riser will run behind the wall and therefore behind the existing skirting and cornicing. The location of the mechanical services behind the wall will allow for bends in the pipework. The reuse of existing voids in this way will minimise any additional visual effects or removal of historic fabric.
- 6.24 Surface mounted dado trunking is proposed to house the electrical and data runs throughout the properties at the lower ground, second and third floor levels. Where appropriate, at ground and first floor levels, these will instead be contained within existing recesses, utilising existing openings and voids to minimise visual intrusion and impact on the historic fabric. Whilst this causes some harm to the visual amenity of the historic spaces, this is a reversible change which will minimise the impact on historic fabric and facilitate the future use of the buildings as lettable office space, which will ensure their long-term conservation.
- 6.25 The careful integration of buildings services equipment into the building accords with part 'o' of Policy D1 in the local plan.

General Refurbishment Works and fire upgrade

- 6.26 The work includes scope for 'general repairs/ redecoration' to the interior, which will involve the sensitive cleaning of internal detailing, including cornices and joinery. To ensure the preservation of these historic features, a Method Statement has been devised and submitted with this application, and the works will be carried out in accordance with the process outlined there.
- 6.27 Internal plasterwork and partition walls require works to rectify damage caused by the construction of display used to house museum artefacts. This includes the repair of original lath and plaster partitions where possible and internal plasterwork. The approach to decorative plasterwork is described in the Method Statement as following;
*"Surfaces to be dusted down and any loose debris removed.
 New thin paint coating to be applied using water soluble soft distemper or water thinned alkyd resin paints to ensure decorative detail is not lost. Water thinned contract grade emulsion may be acceptable. Suggested trial area for inspection.
 Applies to full extent of cornices in principal spaces at ground and first floor levels. Where small areas of decorative cornice have been identified as damaged, a cast detail is to be undertaken using traditional techniques and materials compatible with the historic fabric."*
- 6.28 Detailed methodologies for this, including detailed drawings, can be conditioned as appropriate.
- 6.29 Modern fire insulation is required to adhere to fire safety standards. The rationale and approach to this are outlined in the Fire Safety Strategy, submitted as part of this application. In order to achieve the necessary standards of fire resistance, it is required to carry out over boarding works to timber framed lath and plaster walls, which will include the careful removal of decorative cornices, architraves and skirtings. These decorative features will then be reinstated and made good. This is required to ensure that the properties comply with fire safety regulations, and are usable as office space. More detail is given on this proposal at page 57 of the DAS, with some visuals to show the anticipated appearance of the rooms during the operation of the office.

- 6.30 Areas of the basement and ground floor of the property show evidence of rising damp. This is to be countered through the insertion of chemical damp proof course (DPC). The approach to this is outlined at Appendix f to the DAS.

- 6.31 These works are required to return the building to use, thus ensuring its long term conservation, and will be carried out by qualified specialists in accordance with best practice, as detailed in the Design and Access Statement.

Fenestration

- 6.32 It is proposed to replace the two rear windows of 1a Montague Street, which are metal framed and date to the late 20th century. Their replacement with sympathetic, timber framed sashes will contribute to the historic character of the building, and enhance the appearance of its rear elevation.
- 6.33 Elsewhere, the restoration of windows will preserve the external and internal appearance of the building. A window schedule has been produced by BDP which outlines the works to be undertaken to refurbish windows at the property. These include cleaning, renewal of putty, minor fabric and timber repairs and redecoration.
- 6.34 The upgrading of fenestration will enhance the appearance of the building in the conservation area, in keeping with part 'e' of Policy D2 of the local plan.

Joinery

- 6.35 The refurbishment proposals involve the replacement of doors containing asbestos with new doors which replicate the detailing of historic wood panelled doors. A Door Schedule has been produced by BDP which outlines the approach to the refurbishment of doors at both properties.
- 6.36 Historic features such as the existing shutters are to be made good, redecorated, and fitted with new ironmongery. To ensure that these works do not impact upon the historic fabric, a method statement has been developed and submitted with this application, which details the approach to the conservation and refurbishment of original detailing.

- 6.37 The method statement appended to the DAS includes:
“Before starting work, use measurements and photographs as appropriate to record bonding patterns, joint widths and any special features. Identification of masonry units to be removed to be marked clearly, but not indelibly, on the face of the units to be replaced and transcribed to drawings/ photographs... Rebuilding to match existing face and joint lines, joint widths and bonding. Adequately bonded to retained work/ backing masonry”.
- 6.38 These drawings can be shared with the Council if required.
- Landscaping*
- 6.39 The garden at the rear of the property will be appropriately landscaped. The scheme as a whole will create a hard landscaped area with grass and surrounding soft planting to provide outdoor amenity space for office workers. This will improve the appearance of the space to the rear of the building, and maximise opportunity for greening in accordance with part ‘k’ of Policy D1 of the local plan.
- 6.40 Existing trees in the garden to the rear are to be retained and incorporated into the new landscaping scheme, which will respond to natural features in keeping with part ‘j’ of the local plan.
- 6.41 The fence that was previously proposed to contain the external plant enclosure will remain as part of the application submission to control access to the plant on the roof of the Hirayama conservation studio and to conceal the boiler flues from the boilers servicing 1MS.
- Noise*
- 6.42 The removal of the comfort heating and cooling system from the proposed mechanical and electrical strategy means there will not be the requirement to house external plantwork. Acoustic impacts and the appearance of the plant enclosure are no longer a consideration for the determination of the applications.

Rear Elevation Treatment and the roof

- 6.43 To the rear of Montague Street, the brickwork below the first floor balcony is to be removed and reinstated, and balcony fixings consolidated to ensure the stability of the structure.
- 6.44 These areas have previously been affected by movement in the building, and require rectifying works to address the resultant damage.
- 6.45 The works will ensure the structural integrity of the building, and its continued use.
- 6.46 Localised repairs, including the removal of organic growth and loose debris, will be undertaken at roof level, to ensure the preservation of the historic building.

Front Elevation Treatment

- 6.47 The original features to the front elevation, including railings and other ironwork, are to be retained, with repair and redecoration where needed to improve the appearance of the building. Access to the balconies once the offices are in operation are to be restricted to ensure their conservation.
- 6.48 The stucco to the ground floor is to be redecorated, and minor repairs undertaken where required, to improve the appearance of the building to Montague Street and to ensure the long term preservation of the historic materials.
- 6.49 Taken as a whole, the works to the exterior of the building will enhance the appearance of the historic building, and preserve its contribution to the conservation area, in keeping with part ‘e’ of Policy D2 of Camden’s Local Plan.

7.0

// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



Conclusion

7.0 CONCLUSION

- 7.1

This Planning and Heritage Statement has been prepared in support of the revised application for Planning Permission and Listed Building Consent submitted for the refurbishment of 1 and 1a Montague Street, consistent with their use as lettable B1 office space.
- 7.2

The Site comprises two grade II listed and lies within the Bloomsbury Conservation Area, notable for its good survival of 18th century townhouses, and its original grid street layout.
- 7.3

Both buildings are 17th century townhouses; no. 1 notable for its design by James Burton, and 1a as the former headquarters of Bloomsbury Savings Bank. The buildings are both positive contributors which are typical of the character of the conservation area, and are closely associated with the British Museum, which is situated adjacent to the west, and retains the freehold of the properties.
- 7.4

The proposals seek to refurbish the interior of the properties to facilitate their use as office space. The buildings have previously been adapted for use as office space by the British Museum, and now require sensitive upgrading to provide high quality office space.
- 7.5

The interior of the building requires restoration works to facilitate this return to use. This includes the repair of original lath and plaster partitions, and internal plasterwork, to which heavy display cases have previously been attached. This will be undertaken by qualified specialists in accordance with best practice, as detailed in the Design and Access Statement. These repairs will return the building to functional use, and benefit the appearance and character of the historic interiors.
- 7.6

Internal alterations including the construction of a new service riser enclosure will be undertaken in a sympathetic, scholarly manner, taking into account the historic character of the internal spaces and internal detailing including cornices and skirtings.
- 7.7

These changes are required to improve the way the building functions in accordance with B1 office use.
- 7.8

Externally, the appearance of the building will be improved through the replacement of unsympathetic 20th century windows to the rear with timber framed sashes, and the implementation of a managed landscaping scheme to the rear of the property.Overall, the proposals will sensitively upgrade the offer of B1 accommodation at the properties and carry out a sensitive refurbishment of two historically and architecturally significant buildings within the conservation area.
- 7.9

The proposals accord with the relevant national planning policies and Policies A4, D1 and D2 of the Camden Local Plan (2017), and will undertake a much needed remedial and refurbishment work to secure the use of the listed buildings as high grade office spaces, as is consistent with their conservation.

// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



APPENDIX 1: List Descriptions



NUMBER 30 AND ATTACHED RAILINGS AND LAMPS

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: NUMBER 30 AND ATTACHED RAILINGS AND LAMPS

List entry Number: 1113136

Location

NUMBER 30 AND ATTACHED RAILINGS AND LAMPS, 30, MONTAGUE STREET

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 28-Mar-1969

Date of most recent amendment: Not applicable to this List entry.

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 477537

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

CAMDEN

TQ3081NW MONTAGUE STREET 798-1/100/1149 (West side) 28/03/69 No.30 and attached railings and lamps

GV II

End of terrace house. c1836. For the Trustees of the Bloomsbury Savings Bank. Yellow stock brick with stucco ground floor. 4 storeys and basement. 3

windows. Later, mid C19 stucco single storey entrance extension to left hand side; doorway, now blocked, with rusticated block jambs and bracketed cornice. Ground floor to right, window bays separated by wide pilasters carrying entablature. Square-headed entrance with rectangular fanlight; panelled door with nail-head ornament. Gauged flat brick arches to recessed sash windows with original glazing bars. Continuous cast-iron balcony to 1st floor windows. Stucco cornice at 3rd floor level. Parapet. INTERIOR: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas. Mid C19 entrance flanked by attached lampstandards on stone bases. HISTORICAL NOTE: the house was probably occupied by the Bank's actuary or accountant.

Listing NGR: TQ3014381752

Selected Sources

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 30143 81752

Map



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The above map is for quick reference purposes only and may not be to scale.
For a copy of the full scale map, please see the attached PDF - [1113136.pdf \(http://mapservices.HistoricEngland.org.uk/printwebservicehle/StatutoryPrint.svc/109577/HLE_A4L_Grade|HLE_A3L_Grade.pdf\)](http://mapservices.HistoricEngland.org.uk/printwebservicehle/StatutoryPrint.svc/109577/HLE_A4L_Grade|HLE_A3L_Grade.pdf)

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End of official listing



NUMBERS 1-11 AND ATTACHED RAILINGS INCLUDING WHITE HALL HOTEL (NUMBERS 2-5) AND MONTAGUE HOUSE (NUMBERS 8-11)

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: NUMBERS 1-11 AND ATTACHED RAILINGS INCLUDING WHITE HALL HOTEL (NUMBERS 2-5) AND MONTAGUE HOUSE (NUMBERS 8-11)

List entry Number: 1322130

Location

NUMBERS 1-11 AND ATTACHED RAILINGS INCLUDING WHITE HALL HOTEL (NUMBERS 2-5) AND MONTAGUE HOUSE (NUMBERS 8-11), 1-11, MONTAGUE STREET

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 14-May-1974

Date of most recent amendment: 11-Jan-1999

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 477533

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

CAMDEN

TQ3081NW MONTAGUE STREET 798-1/100/1145 (West side) 14/05/74 Nos.1-11 (Consecutive) and attached railings. White Hall Hotel (2-5), Montague House

(8-11) (Formerly Listed as: MONTAGUE STREET Nos.1-29 (Consecutive) White Hall Hotel (2-5), Montague House (8-11), Montague Hotel (12-16))

GV II

Terrace of 11 houses. c1803-06 by James Burton. Built by WE Allen. Yellow stock brick with stucco ground floors, mostly rusticated. No.11 with slate mansard roof and dormers. 4 storeys and basements, No.11 with attic. 3 windows each except Nos 1 and 2 with 4 windows each. Nos 1 and 2 form a symmetrical pair with projecting end window bays. No.11 slightly recessed. Round-arched doorways with reeded doorframes or sidelights, mostly 2-leaf doors; Nos 8-10 with attached fluted Greek Doric columns carrying cornice-heads. Nos 6 & 7 with radial patterned fanlights. Gauged brick flat arches to recessed sash windows, most with original glazing bars. 1st floor with cast-iron balconies. Nos 1 & 2, stucco cornice at 3rd floor level; the remainder with 3rd floor sill band. Parapets. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas, No.1 flanked by cast-iron lamp-holders.

Listing NGR: TQ3010681797

Selected Sources

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 30106 81797

Map



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End of official listing

// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



APPENDIX 2: Montague St Heritage Report DRAFT



1 & 1a MONTAGUE STREET – HERITAGE REPORT

Status	Author	date	Review
Draft	T Barnard	2 March 2017	T Barnard

Contents	
1 INTRODUCTION	1
2 SURVEY FINDINGS - General	2 - 7
3 SURVEY FINDINGS – Building Number 1	8 - 27
4 SURVEY FINDINGS - Building Number 1a	28 - 40
APPENDIX 1 – As existing plans	
APPENDIX 1 – Archive plans 1984 tender set	

Purpose of the Report

The following report has been commissioned by the Capital Planning and Programme Management (CP&PM) team of the British Museum. The purpose of the study was to carry out a heritage assessment of 1 and 1a Montague Street as part of the museums current project looking at potential options for re-use of the buildings.

A visual inspection of the buildings was carried out to identify, where possible, heritage values, significance and likely ages of building elements to help understand the impacts of alterations being considered. A review was also carried out of the British Museum's working archive on buildings to understand works carried out to the building and implications of this. The assessment has concentrated on the evidence from the building fabric itself rather than historic associations and cultural issues.

The report sets out the findings of the inspections under a room by room basis for each of the buildings and a review of the exterior.

The inspections were carried out over a number of days. During this time soft strip out works were being carried out, including the removal of display cases.

Statutory Designations

The buildings lie within the Bloomsbury Conservation Area of the London Borough of Camden. The conservation area appraisal maps highlight 1a and 1 Montague Street as being listed grade II. The listing description though only mentions 1 as part of a group listing that includes the terrace of properties on the west side of the street. The following is the listing description.

TQ3081NW MONTAGUE STREET 798-1/100/1145 (West side) 14/05/74 Nos.1-11 (Consecutive) and attached railings. White Hall Hotel (2-5), Montague House (8-11) (Formerly Listed as: MONTAGUE STREET Nos.1-29 (Consecutive) White Hall Hotel (2-5), Montague House (8-11), Montague Hotel (12-16))

Listing grade: GV II

Terrace of 11 houses. c1803-06 by James Burton. Built by WE Allen. Yellow stock brick with stucco ground floors, mostly rusticated. No.11 with slate mansard roof and dormers. 4 storeys and basements, No.11 with attic. 3 windows each except Nos 1 and 2 with 4 windows each. Nos 1 and 2 form a symmetrical pair with projecting end window bays. No.11 slightly recessed. Round-arched doorways with reeded doorframes or sidelights, mostly 2-leaf doors; Nos 8-10 with attached fluted Greek Doric columns carrying cornice-heads. Nos 6 & 7 with radial patterned

fanlights. Gauged brick flat arches to recessed sash windows, most with original glazing bars. 1st floor with cast-iron balconies. Nos 1 & 2, stucco cornice at 3rd floor level; the remainder with 3rd floor sill band. Parapets. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas, No.1 flanked by cast-iron lamp-holders.

It may be worth seeking clarification that 1a is listed.

General Description

Buildings 1 and 1a were originally two separate houses but based on the record tender drawings found in the museums archive were connected together circa 1984 (see appendix 2 for copies of these drawings). These drawings show a major phase of construction and alterations to link the buildings together by forming openings through the party wall and other works and the connection at basement level to the museum basement. The layout shown generally reflects the current layout (appendix 1 plans as existing).

It is clear from the building inspection that other works were either added to this contract or carried out during other phases. There is evidence of floor strengthening works to the upper floors with the insertion of new steel beams in number 1a. This may also be the case in number 1 but at the time of the inspections the floors were not visible in all rooms given floor coverings and materials stored. There are also a number of rooms in number 1a with suspended concrete floors.

Both buildings have been heavily altered internally including new joinery items such as doors, sashes to windows and replacement or over plastering of the walls and ceilings in many rooms.

The key elements of the interiors that are of significance and heritage value are:

- the staircases in both buildings
- the remaining fire surrounds and inserts (although some of these are not in their original positions)
- the cornices that remain
- original and early joinery items that remain
 - doors, frames, linings, and architraves,
 - skirting
 - sliding sash windows, shutters and frames

Externally the rear of both buildings have been altered and repaired. The rear elevation of building number 1 has been rebuilt or refaced on the third and second floors. House 1a has had an external lift shaft added to the side and extensive alterations associated with fitting ‘Crittall’ windows to the rear.

The front elevations have had little change. The sash windows remain along with the external railings although some of the sash joinery has been replaced. The ironwork remains - balconies, railings, lamp holders etc. There is a screen wall to the side passage of building 1a.

Significance Plans

Based on the site inspections and the information in the 1984 archive drawings a set of significance plans have been developed which show the general understanding of the two buildings. These are shown on the following pages.

Significance Plan - Ground Floor



Significance Plan - First Floor



Significance Plan - Second Floor



Front Elevation

As already stated the front elevations has been little altered. This is the key significance element. The building was listed based on its exterior given its contribution to the street scene and the terrace. It is designed as a pair with building number 2. No internal inspections was carried out as part of the listing compilation.

Key features are the:

- Sash Windows
- Front door and fan light over with painted number on the glass
- Stuccoed ground floor
- Cornice at 3rd floor level
- Wrought iron balconies to the windows
- Ironwork railings including lamp holders either side of the front entrance steps



Front Elevation



Detail of balcony railings



View of the front door

Rear Elevation

As already stated the rear elevations has been more extensively altered/repared. The second and third floor wall has either been rebuilt or refaced. We have not found archive information on this and when the works were carried out but it could have been part of the major works carried out circa 1984. The staircase bay has also been repoint/repared.

It is also likely that the ground floor infill between the main rear elevation and the staircase bay is not original.

Key features are the:

- Sash Windows
- rear door and fan light over
- Wrought iron balconies to the widows



General view of the rear elevation

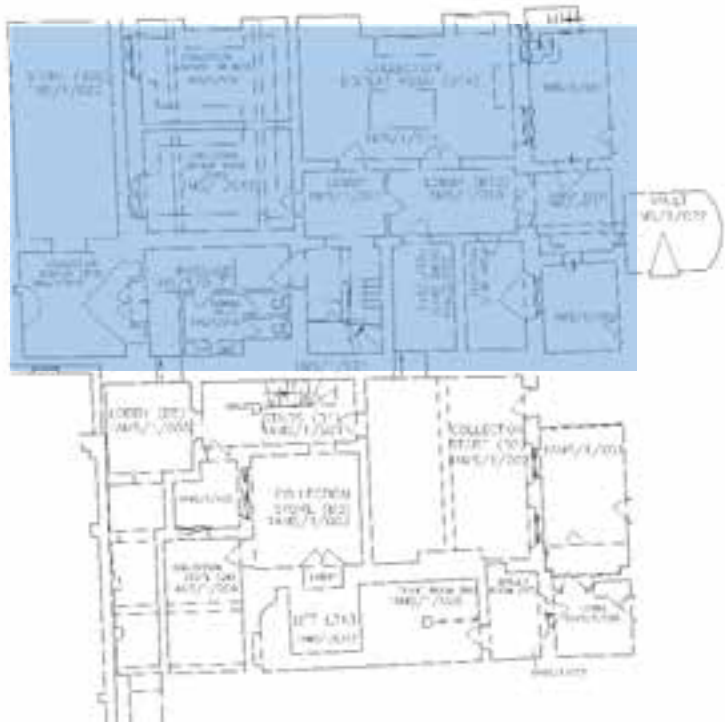


Detail view of the upper rebuilding /refacing works



View of the ground floor infill structure

Basement



Ground Floor Plan as Existing (room shaded blue)

General

The interiors of the basement of building number 1 are generally plain and have been subject to alterations and refurbishments previously. The works carried out circa 1984 created interconnections between the two buildings and also linked the building to the museum basement. The phasing of these rear connections are difficult to fully understand and sequence.

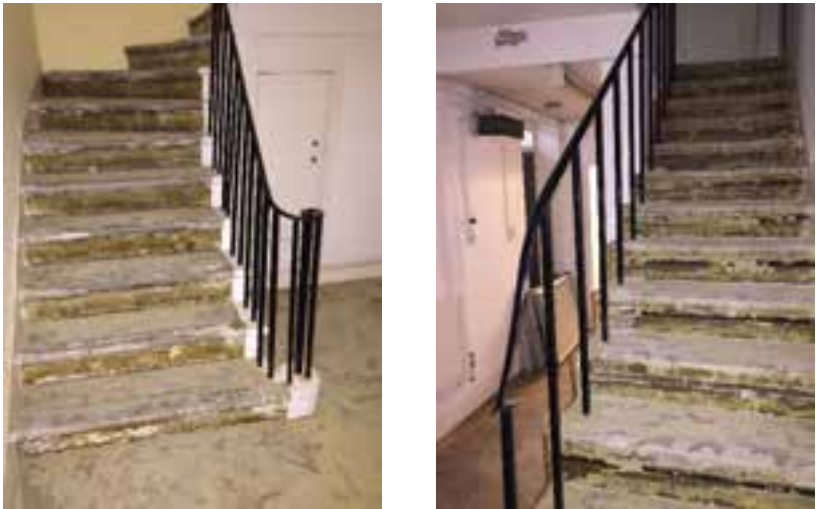
The staircase down from the ground floor appears to be original with iron balusters and handrail. The fan light over the doorway under the entrance steps looks early but the 1984 archive drawings do show this as being a new frame. It is possible that the fan light was not replaced.



View of room B14

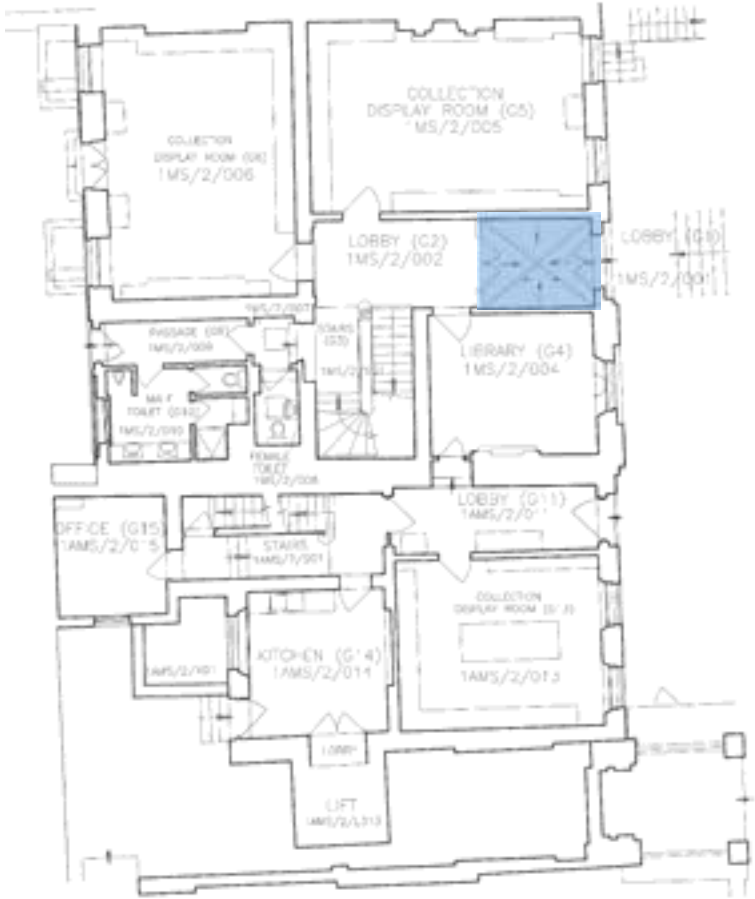


View of fan light over doorway under entrance steps



View of basement stairs

Room G1 (Lobby)



Ground Floor Plan as Existing (room shaded blue)

Doorways

- The front door appears to be original along with the frame and fanlight, the building number is painted on the glass.
- The Lobby screen door is a modern simple set of double doors but the fanlight and frame appear to be original. They are more elaborate than those to the front door.

Ceiling

- Shallow plastered vaulted ceiling - appears to be original
- Moulded Frieze detail at spring of vaulting – appears to be original

Walls

- Plain plaster with a moulded dado and skirting - appears to be original

Floor

- Carpeted – but on the 1984 archive drawings it states that there are stone flags – these if still in-situ are likely to be original.



Detail of vaulted ceiling and moulded frieze detail



Detail of the moulded dado and skirting

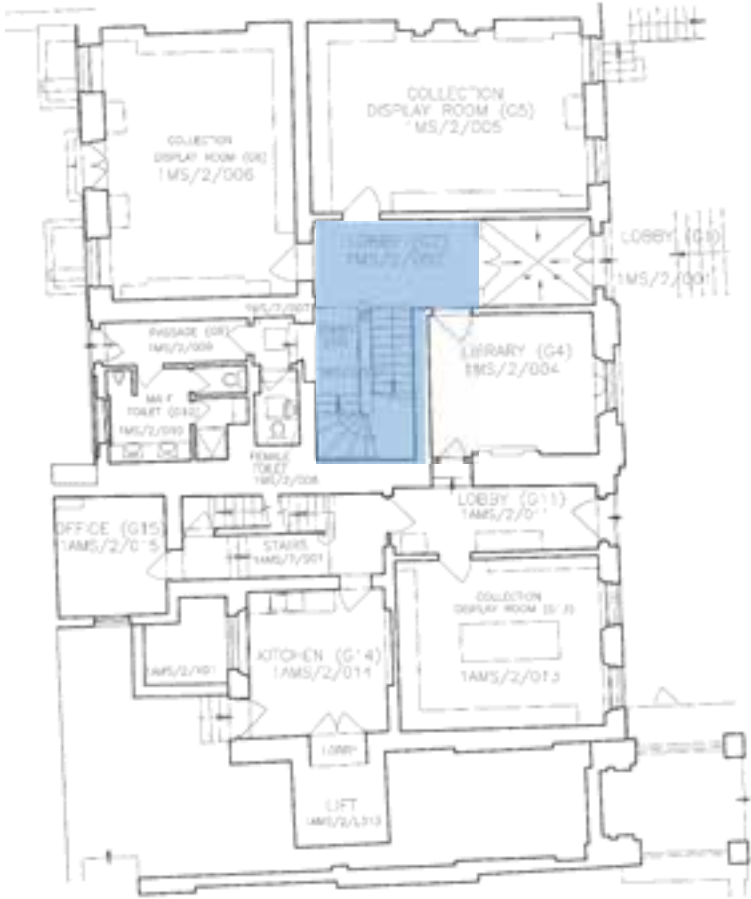


View of Front Door



View of fanlight lobby screen doorway

Room G2 (Lobby) and G3 Stairs



Ground Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to room G4
 - Architrave original.
 - Door 6 panelled possibly original but 2 mid panels replaced with glass – ideally the glass should be replaced with timber panels.
- Doorway to room G5
 - Architrave original.
 - Door 6 panelled possibly original but with new locks etc.
- Doorway to room G6
 - Architrave and reveal panelling original but a modern doorstop fitted with increased depth to make a fire-door frame.
 - Door 6 panelled possibly original but looks altered to make a fire-door.
- Arched doorway/opening through to G9
 - Heavily altered joinery panelling which may be early, and of low significance, design could be improved.

Ceiling

- Flat plastered ceiling.
- Original cornice with inappropriate surface trunking run below.

Walls

- Plain plaster with a moulded skirting - appears to be original.

Floor

- Carpeted – but on the 1984 archive drawings it states that there are stone flags – these if still in-situ are likely to be original.

Staircase

- Original high quality stone treaded stairs up through the building, with iron balusters set into the treads and a mahogany handrail. The staircase is of high significance. Stairs carpeted with an applied anti-slip noising. These should be removed and treads made good.
- Original stairs down to basement with simpler metal balusters and handrail.



Detail of cornice to G2



Detail of stair change down to basement



Architrave to Doorway to G5



Door to Doorway to G5



View of main staircase



Deatail of main staircase

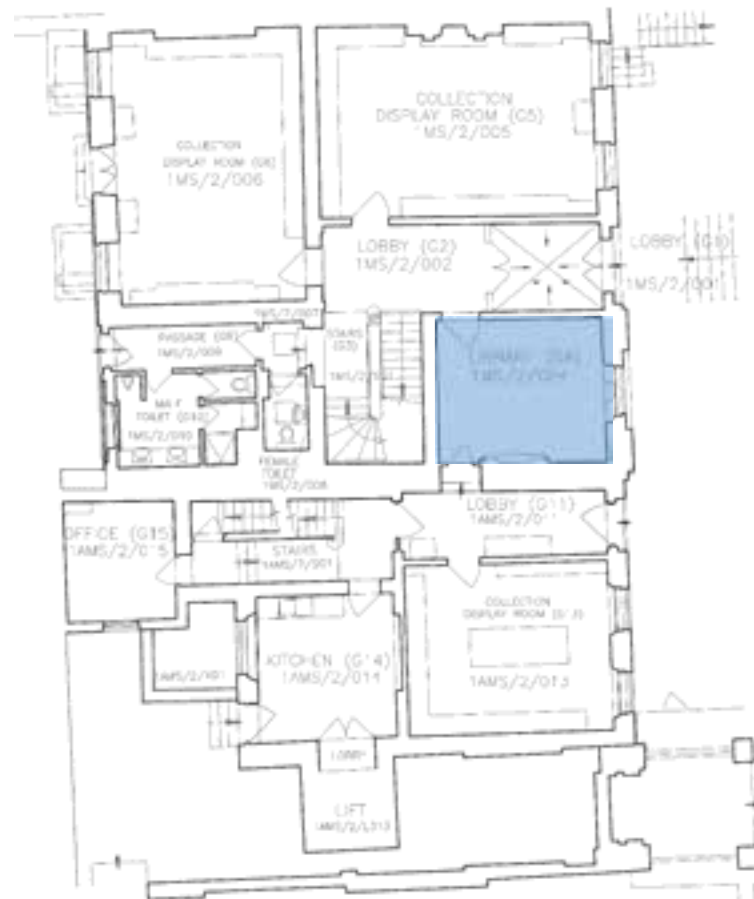


Door to Doorway to G4



Reveal Panelling to Doorway to G6

Room G4



Ground Floor Plan as Existing (room shaded blue)

Doorways

- Doorway to Building 1a (room G11)
 - This is a new doorway inserted to connect the two properties together in circa 1984.
 - Door panelled but from circa 1984.

Windows

- Sliding sash window with arched head and working shutter. Shutter looks original, drawings from 1984 state fit new sashes and evidence of site supports this.

Ceiling

- Flat plastered ceiling.
- Coved cornice which is very different to other rooms in the building possibly a later change - date unclear.

Walls

- Stripped pine panelling to three walls. Panelling not on front wall with windows. Could be original.

- Front wall plain plaster with moulded timber skirting – at time of inspection not possible to see in detail given debris and material stored in the room

Floor

- Carpeted with timber boards below.

Fireplace

- Timber surround to cast iron inset fireplace. Notes on the 1984 drawings state this is a fireplace relocated from the second floor room S4 from this building.

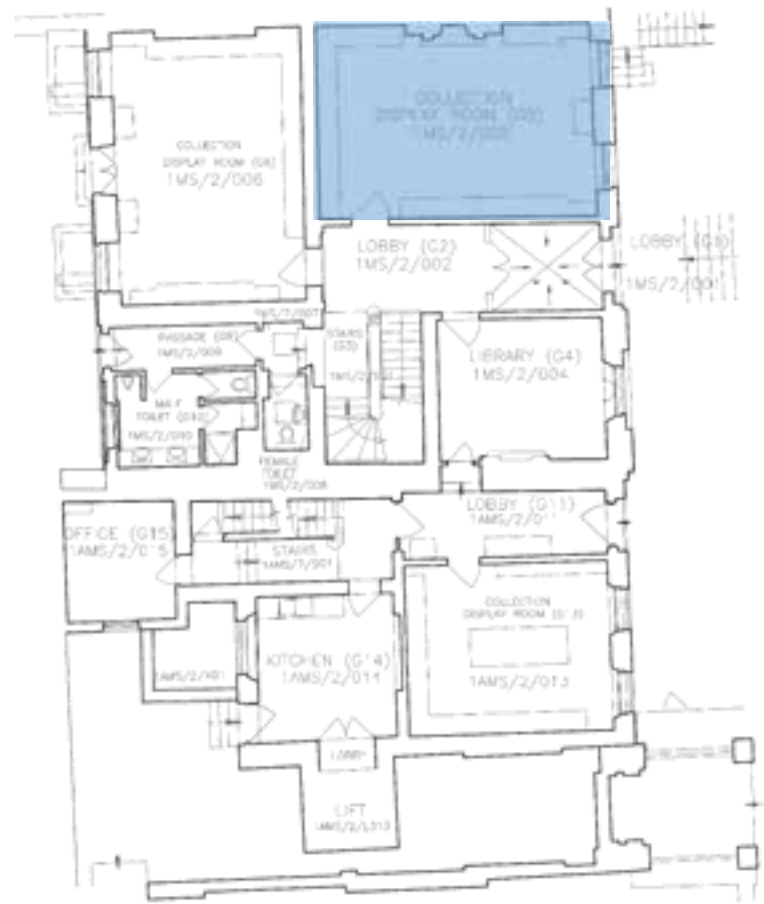


Fireplace which was relocated from room S4 circa 1984



View of panelling to the walls

Room G5



Ground Floor Plan as Existing (room shaded blue)

Doorways

- Doorway to room G2
 - The architrave is modern and does not match door. The door is covered under room G2

Windows

- Two sliding sash windows with arched head and working shutter - closed at time of inspection. Shutter looks original, drawings from 1984 state fit new sashes but given materials stored in room at time of inspection not possible to confirm this.

Ceiling

- Flat plastered ceiling.
- No ceiling rose.
- Elaborate cornice - original.

Walls

- Plain plaster with areas of damage from removed display cases. On the wall onto room G6 this seems to be over-boarded or there is an

area of infill. The 1984 drawings show an existing opening to be blocked up.

- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Carpeted with timber boards below.

Fireplace

- A good marble surround with a cast iron inset to the fireplace. This is of high significance.



General View of the Fireplace and cornice



Detail view of the fireplace



General View of the windows

Room G6



Ground Floor Plan as Existing (room shaded blue)

Doorways

- Doorway to G2
 - The architrave is original. The door is covered under room G2
- Doorway to Garden
 - Difficult to inspect given scaffolding supporting ceiling area and materials stored in room at time of inspection.

Windows

- Two sliding sash window either side of the doorway to the garden with working shutters - closed at time of inspection. Shutters looks original.

Ceiling

- Flat plastered ceiling.
- Central ceiling rose. Possibly original.
- Elaborate cornice - original.

Walls

- Plain plaster with areas of damage from removed display cases and areas of plasterboard.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.
- Dado rail detail on window wall – age unclear.

Floor

- Carpeted with timber boards below.



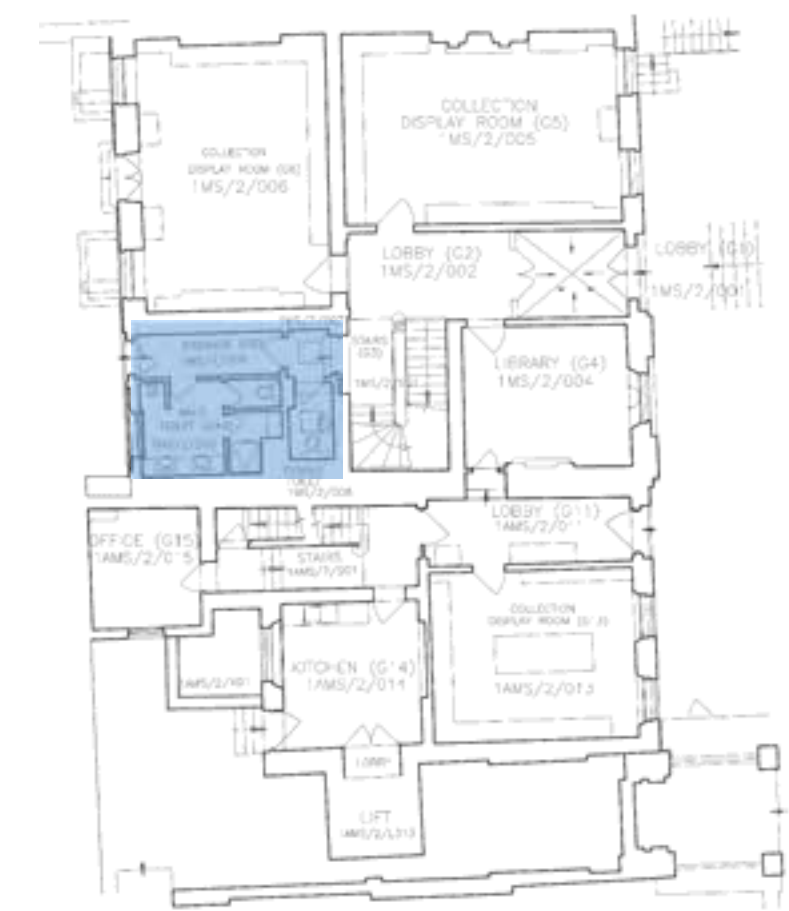
Detail of Dado rail and skirting



View of area of plasterboard to walls



Room G9 and G10 toilet area

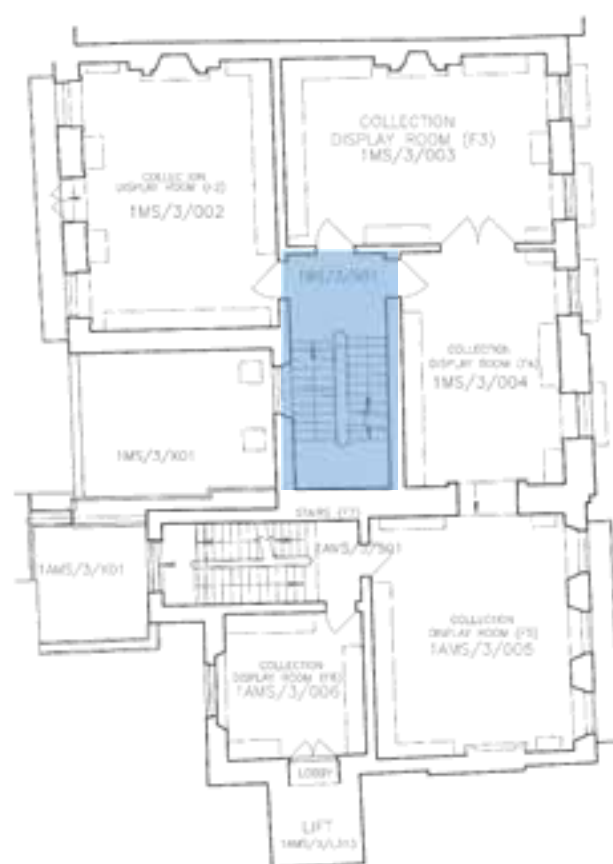


Ground Floor Plan as Existing (rooms shaded blue)

General Commentary

This area has been heavily altered during the 1984 works when the toilets were created. It is also likely that this section is an earlier infill and not part of the original house layout.

Room F1 Staircase



First Floor Plan as Existing (room shaded blue)

Doorways

- Doorway to F2
 - The architrave is original. The door looks to be a modern copy.
- Doorway to F3
 - The architrave and door look original.
- Doorway to F4
 - The architrave, reveal lining and door look original.

Windows

- Arched head sliding sash window with panelled reveals part way up stair flight from the ground floor– original.

Ceiling

- Flat plastered ceiling.
- Elaborate cornice with frieze and corbel brackets - original.

Walls

- Plain plaster with inscribed reeded panel details.
- Skirting /string to stairs is moulding and original.

Staircase

- Continuation of the ground floor detailing with scroll brackets, cantilevered stone treads. High significance.



Detail of cornice on landing

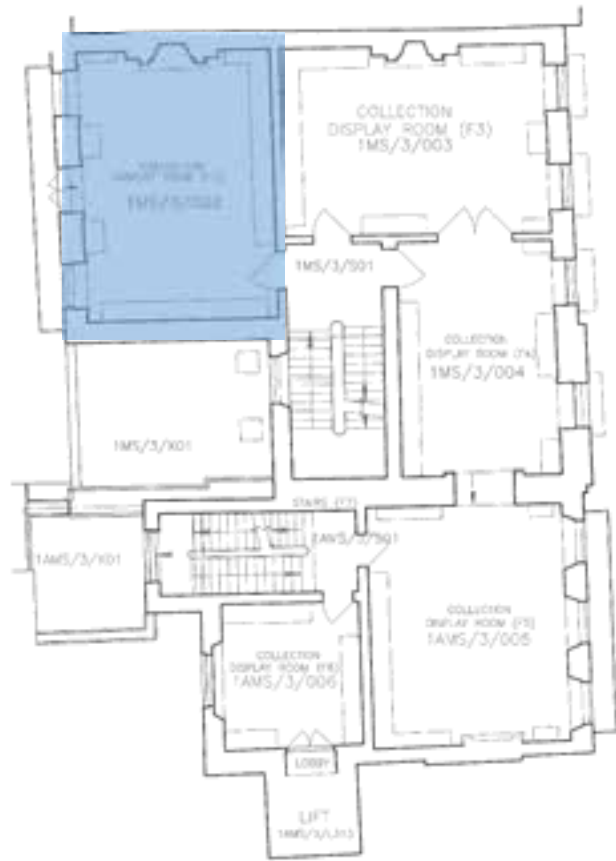


View of window on staircase



View of Doorway to F2

Room F2



First Floor Plan as Existing (room shaded blue)

Doorways

- Doorway to F1 Stair
 - Covered in room F1 description

Windows

- Two sliding sash window either side of the doorway to the balcony with working shutters - closed at time of inspection. Shutter looks original. Scaffolding in way to allow full inspection.

Ceiling

- Flat plastered ceiling. It appears to have been over-boarded or replaced with plaster board and cornice retained. The junction of the flat plasterwork to the cornice looks in the wrong plane. Further investigations needed to clarify this. This may have been done to address fire protection requirements
- Elaborate cornice - original.

Walls

- Plain plaster with areas of damage from removed display cases.

- There is an early large connecting opening through to Room F3 which has been blocked although the architrave is visible. This opening is shown on the 1984 drawings as being blocked. Infill ideally to be removed.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Carpeted with timber boards below.

Fireplace

- A good marble surround with a cast iron inset to the fireplace. No visible stone hearth. This is of high significance.



View of fireplace

Room F3



First Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to F1 Stair
 - Covered in room F1 description
- Doorway to Room F4
 - Pair of doors 3 panels to each door. Doors and architrave seem early or original.

Windows

- Two sliding sash window with working shutters - closed at time of inspection. Shutter looks original but the sashes look to be replacements. The 1984 drawings show these as being new sashes.

Ceiling

- Flat plastered ceiling. It appears to have been over-boarded or replaced with plaster board and cornice retained. The junction of the flat plasterwork to the cornice looks in the wrong plane. Further investigations needed to clarify this. This may have been done to address fire protection requirements
- Elaborate cornice - original.

Walls

- Plain plaster with areas of damage from removed display cases.
- There is an early large connecting opening through to Room F3 which has been blocked although the architrave is visible. This opening is shown on the 1984 drawings as being blocked. Infill ideally to be removed.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Carpeted with timber boards below.

Fireplace

- A good marble surround with a cast iron inset to the fireplace. No visible stone hearth. This is of high significance.



View of fireplace



Detail of cornice to room



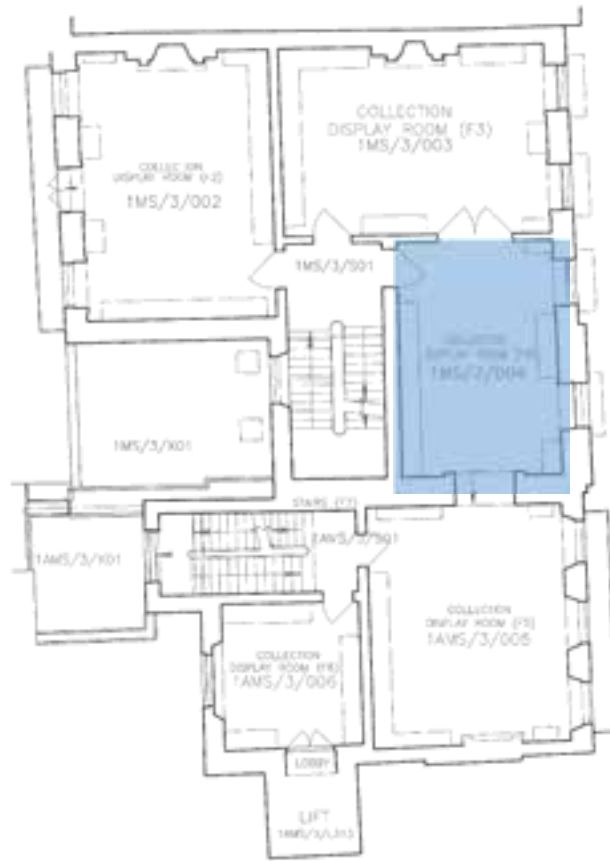
Detail of fireplace



View of window and fireplace



View of earlier opening between rooms

Room F4

First Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to F1 Stair
 - Covered in room F1 description
- Doorway to Room F3
 - Pair of doors 3 panels to each door. Doors and architrave seem early or original.
- Doorway to building 1a – Room F5
 - This is a connecting doorway formed as part of the works shown on the 1984 drawings to connect building 1 and 1a. The architrave and reveal linings are new but a copy those to the room.

Windows

- Two sliding sash window with working shutters - closed at time of inspection. Shutter looks original but the sashes look to be replacements. The 1984 drawings show these as being new sashes.

Ceiling

- Flat plastered ceiling. It appears to have been over-boarded or replaced with plaster board and cornice retained. The junction of

the flat plasterwork to the cornice looks in the wrong plane. Further investigations needed to clarify this. This may have been done to address fire protection requirements

- Elaborate cornice - original.

Walls

- Plain plaster with areas of damage from removed display cases.
- There is an early large connecting opening through to Room F3 which has been blocked although the architrave is visible. This opening is shown on the 1984 drawings as being blocked. Infill ideally to be removed.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Carpeted with timber boards below.



View of doorway to room F3

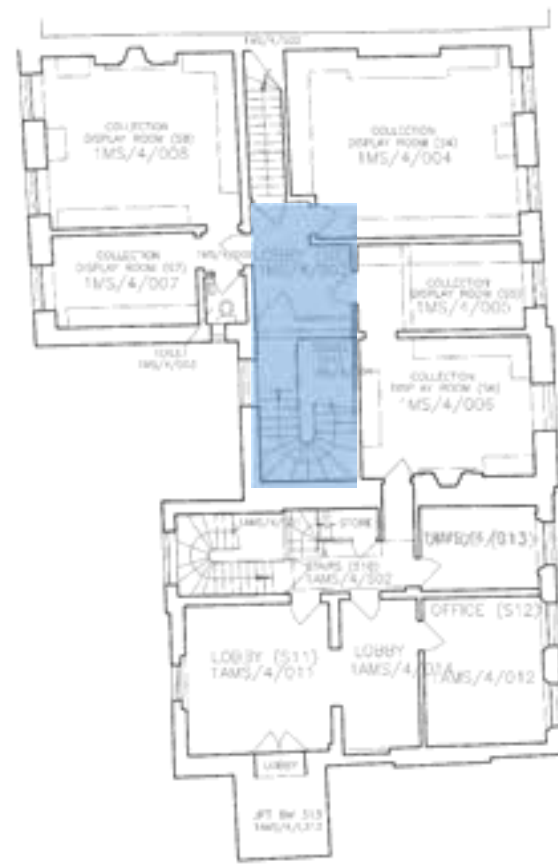


View of created connection to building number 1a



View of door to F1 stair

Room S1 Stairs and S2 lobby



Second Floor Plan as Existing (rooms shaded blue)

Doorways

- Screen and Doorway at head of the stairs onto Lobby
 - This is a new fire screen shown on the 1984 drawings (replaced earlier partitions).
- Doorway to S5
 - The 1984 drawings show this wall as a new wall with a reused door. Door looks original and architrave copies others on this floor.
- Doorway to S7
 - The 1984 drawings show the door being a repositioned door, unclear from which opening. It is possible it is from the doorway to S8. Door looks original and architrave copies others on this floor.
- Doorway to Stairs to third floor
 - The 1984 drawings show this as a new door and frame in existing door position. Door is a 4 panelled door with glass upper panels and glass fan light over. All from 1984 works.

- Doorway to S4
 - Layout of this doorway looks slightly wrong, there may have been early alterations to this area. Door and architrave match others on this floor but may not be original.

Window to Staircase S1

- Sliding sash window looks original.

Ceiling to Staircase S1

- Flat plastered ceiling.
- Elaborate corbeled cornice - original.

Ceiling to Lobby S2

- Flat plastered ceiling.
- Plaster cornice – original in areas.

Walls to Staircase S1

- Plain plaster with areas of applied mouldings to create panels.
- Skirting / string to stairs original.

Walls to Lobby S2

- Plain plaster with areas of plasterboard to new partitions.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floors

- Timber boards to lobby S2 area
- Stone landings to staircase area.

Staircase

- Continuation of the ground floor – mahogany handrail with iron balusters. Stone cantilever treads with moulded nosings. The balusters are simpler from first floor up to the second floor. All original and of high significance.



View of ceiling to the staircase showing cornice and the panels



View showing the staircase handrail down to first floor.



View of 1984 screen to top of stairs



Doorway to S5

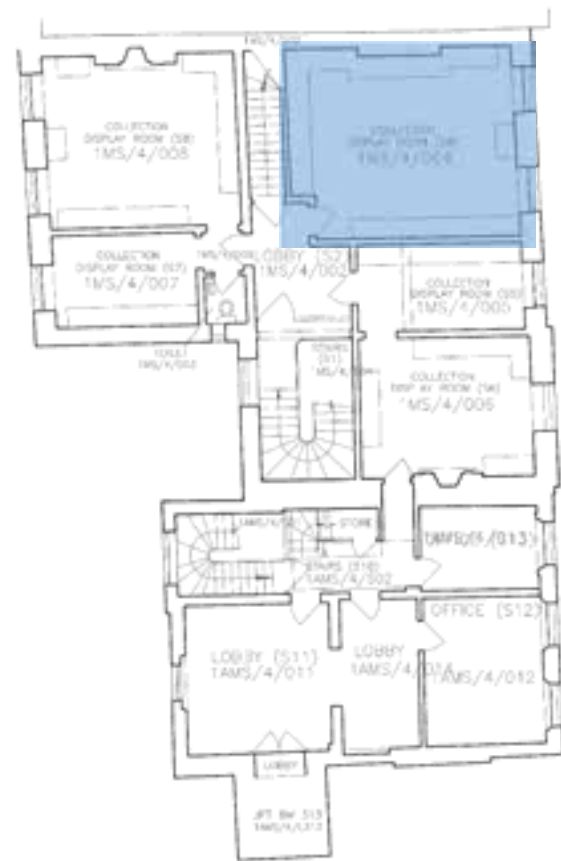


Doorway to S7



Doorway to stairs to third floor

Room S4



Second Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to S2
 - The door is covered under room S2. (Layout of this doorway looks slightly wrong, there may have been early alterations to this area. Door and architrave match others on this floor but may not be original.)

Windows

- Two sliding sash window with working shutters. All look original.

Ceiling

- Flat plastered ceiling.
- Moulded plaster cornice - original.

Walls

- Plain plaster with areas of damage from removed display cases. Original timber partition onto room S5.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Timber boards with mixture of early and some replacement boards.



View of timber studs visible following removal of display cases



View of windows



Detail of windows



View of door to room S2

Room S5



Second Floor Plan as Existing (rooms shaded blue)

General

This room is not as its original layout. The 1984 drawings show a new wall onto the staircase lobby and an earlier wall being removed on the line of the down-stand beam visible in the ceiling. It is possible the lobby was larger and the room smaller.

Doorways

- Doorway to S2
 - The 1984 drawings show this wall as a new wall with a reused door. Door looks original and architrave copies others on this floor.
- Doorway to S6
 - No door just frame.

Windows

- Sliding sash window with working shutters - closed at time of inspection. Both look original.

Ceiling

- Flat plastered ceiling.
- Moulded plaster cornice - original.
- There is a down-stand beam feature. This looks to be on the line of a partition that the 1984 drawings shows as being removed.

Walls

- Plain plaster with areas of damage from removed display cases.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Timber boards with mixture of early and some replacement boards.



View of window



Views of ceiling showing down-stand beam which may be line of earlier wall

Room S6



Second Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to S5
 - No door just frame.
- Doorway to House 1a (room S10)
 - This is a new doorway inserted to connect the two properties together in circa 1984.
 - Door panelled but from circa 1984.

Windows

- Sliding sash window with working shutters - closed at time of inspection. Both look original.

Ceiling

- Flat plastered ceiling.
- Moulded plaster cornice - original.

Walls

- Plain plaster with areas of damage from removed display cases.
- Wall to S5 an original timber partition.

- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Timber boards with mixture of early and some replacement boards.

Fireplace

- Timber surround with marble insert and cast iron grate. Possibly original.



View of fireplace



View of cornice

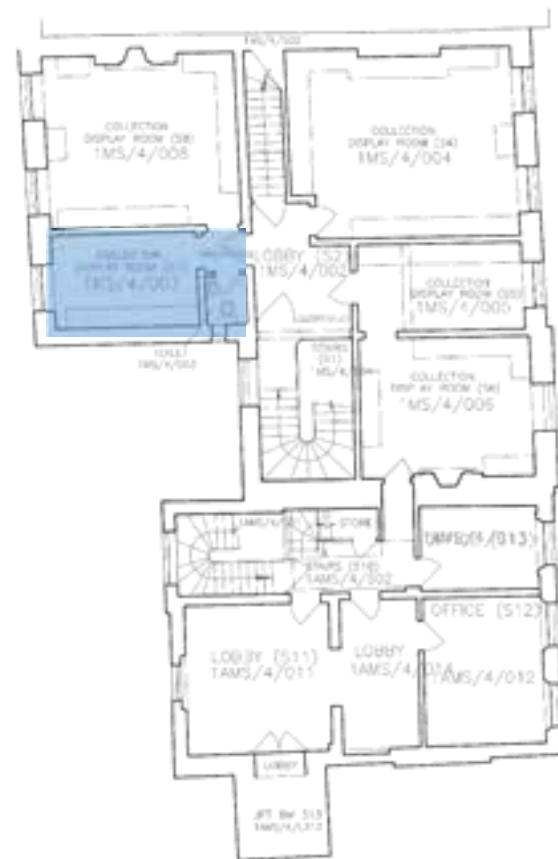


View of door to building number 1a



View of window

Room S7 and toilet



Second Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to toilet
 - Door and architrave match others on this floor but may not be original.
- Doorway to S7(a)
 - Door and architrave match others on this floor but may not be original.

Windows

- Sliding sash window with working shutters - closed at time of inspection. Both look original.

Ceiling

- Flat plastered ceiling.
- Moulded plaster cornice – original to main room (toilet area modern).

Walls

- Plain plaster with areas of damage from removed display cases.

- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Timber boards with mixture of early and some replacement boards.



View of doorway to S7



View of window

Room S8



Second Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to S7
 - No door just an opening.

Windows

- Two sliding sash window with working shutters - closed at time of inspection. Shutter looks original.

Ceiling

- Flat plastered ceiling.
- Moulded plaster cornice – original

Walls

- Plain plaster with areas of damage from removed display cases.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail.

Floor

- Timber boards with mixture of early and some replacement boards.

Fireplace

- Timber surround with cast iron grate. Possibly original.



View of fireplace



View of window



Detail of window shutters

Third Floor



Third Floor Plan as Existing (rooms shaded blue)

General

The rooms on the third floor are generally plainer than the other floors. Rooms T14 and T9 have an unusual barrel ceiling the date of which is unclear. Skirting are plain and there are no cornices. The connection to house 1a (between room T12 and T1 is part of the 1984 works.

The following are key heritage interest items.

- Fireplace in room T11 – a simple marble surround with an iron insert grate.
- Fireplace in room T9 - a simple marble surround with panel over the grate area – it is possible there is an iron insert grate behind this.
- The staircase up from the second floor and associated landing appear to be original – painted timber handrail and balusters with a nice simple turned newel. There is simple dado panelling to the wall of the landing.
- The wall between rooms T10 and T11 has been over plastered but behind thee is horizontal T&G and bead jointed boarding.
- Windows are sliding sash window, with no shutters, generally all look original.

- Doors are generally 4 panelled simple un moulded. Most look early except for the new lobby doors on the stair. Some have had upper panels removed and replaced with glass.



View of fireplace to room T9



View of fireplace to T11



View of barrel ceiling to room T14



View of stairs to third floor



Detail of handrail at landing



Detail of panelling at landing



View of the door to
Building 1a

Front Elevation

As already stated the front elevations has been little altered. This is the key significance element.

Key features are the:

- Sash Windows
- Front door and fan light over with painted number on the glass
- Stuccoed ground floor
- Cornice at 3rd floor level
- Wrought iron balconies to the widows
- Ironwork railings including lamp holders either side of the front entrance steps



Front elevation general view (side passage door case to the side)



Front door



Front door and railings

Rear and Side Elevation

As already stated the rear elevations has been more extensively altered / repaired. There are areas of re-pointing and rebuilding associated with the fitting of Critall windows. The dates for these works is unclear. A new external lift shaft has also been added circa 1984 to the side elevation – this is viewed as intrusive in significance terms as are the Critall windows.



General view of the rear elevation



Detail view of the rear elevation showing repairs and Critall windows



View of the lift shaft

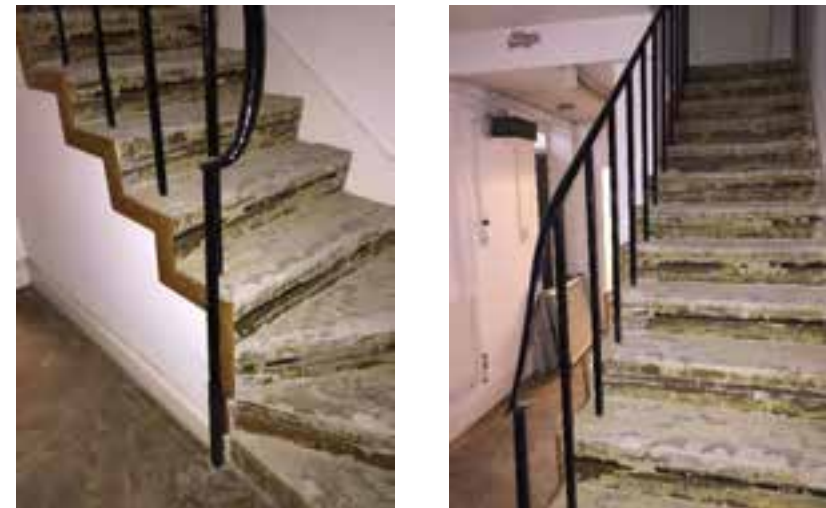
Basement



Ground Floor Plan as Existing (room shaded blue)

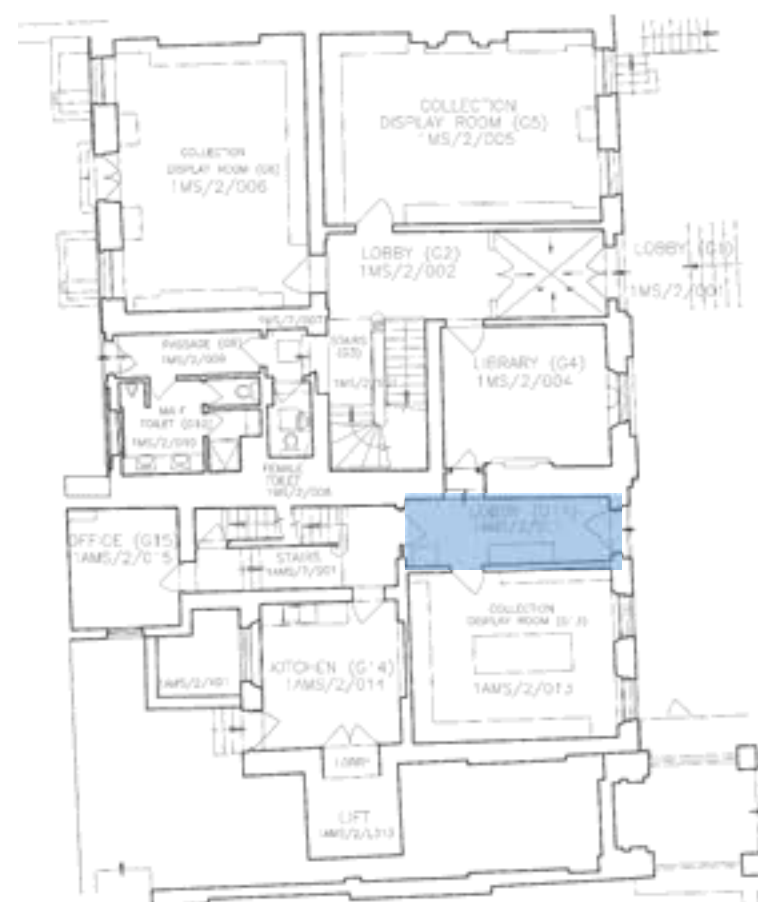
General

The interiors of the basement of building number 1 are generally plain and have been subject to alterations and refurbishments previously. The works carried out circa 1984 created interconnections between the two buildings and also linked the building to the museum basement. The phasing of these rear connections are difficult to fully understand and sequence. The staircase down from the ground floor appears to be original with iron balusters and handrail.



Views of Staircase

Room G11 (Lobby)



Ground Floor Plan as Existing (room shaded blue)

Doorways

- The front door has been over boarded internally to possibly improve security. Fanlight looks to be a replacement.
- Doorway screen to the staircase – modern, not original.
- Doorway through to building 1 (room G4) part of the works in circa 1984 to connect the two buildings.
- Doorway to room G13
 - Architrave has been either completely replaced or heavily added to.
 - Door has been over boarded.
 - The drawings for the 1984 works shows this as a new doorway formed and the original doorway blocked up.

Ceiling

- Coved down-stand beams – either later work or complete building is later than building 1.

Walls

- Plain plaster with a later skirting.

- The wall onto room G13 is a timber stud partition – this has plasterboard covering and the studwork looks relatively recent in recent site investigation holes. Wall either replaced or rebuilt extensively. Not original.

Floor

- Suspended concrete floor – date not known but unlikely to be original.



View of front door

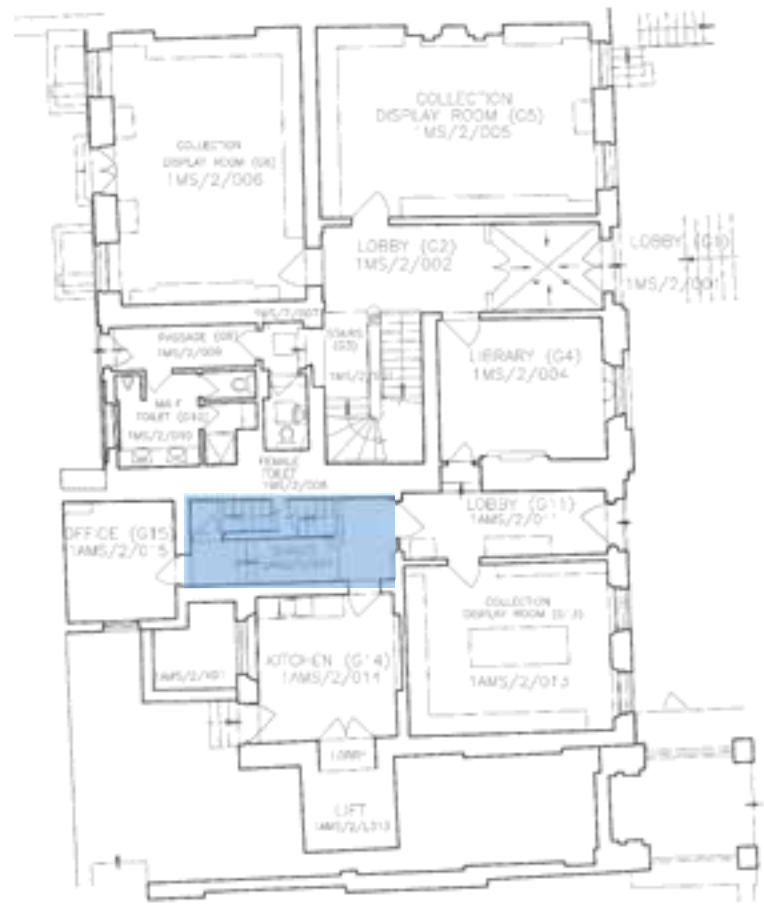


View of ceiling



View of modern lobby screen wall

Room G12 Stairs



Ground Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to room G15
 - Modern door – not original.
- Doorway to room G15
 - Modern door – not original.
- Doorway to room basement
 - Modern door – not original.

Ceiling

- Flat plastered ceiling.

Walls

- All walls have been over boarded with modern sheet material (plasterboard type).

Floor

- Suspended concrete floor – date not known but unlikely to be original.

Staircase

- Original stone treaded stairs up through the building, with iron balusters set into the treads and a mahogany handrail. The staircase is of high significance.
- Original stairs down to basement with simpler metal balusters and handrail.

Window

- Window on landing – ‘Crittall’ type – latter replacement not original.



View of staircase

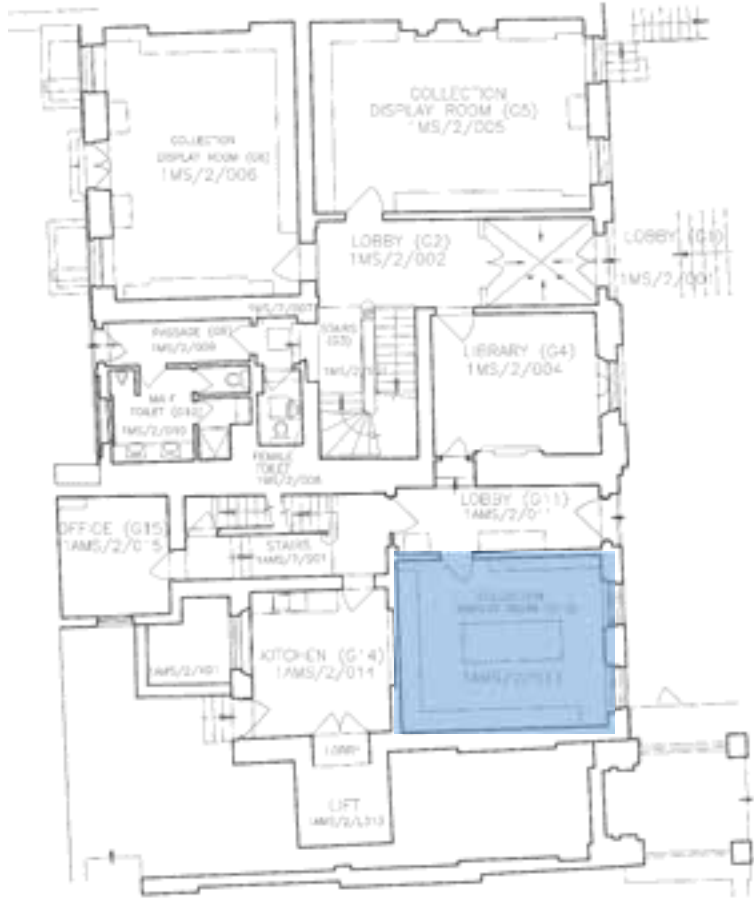


View of newel to staircase



View down staircase

Room G13



Ground Floor Plan as Existing (room shaded blue)

Doorways

- Doorway to Room G11
 - Described in G11

Windows

- Sliding sash window with bars over. Sash and frame look original.

Ceiling

- Flat plastered ceiling.
- Cornice looks early or original.

Walls

- Archway through to room G14 blocked up but visible. The 1984 drawings show this as part of that work. .
- Skirting all modern

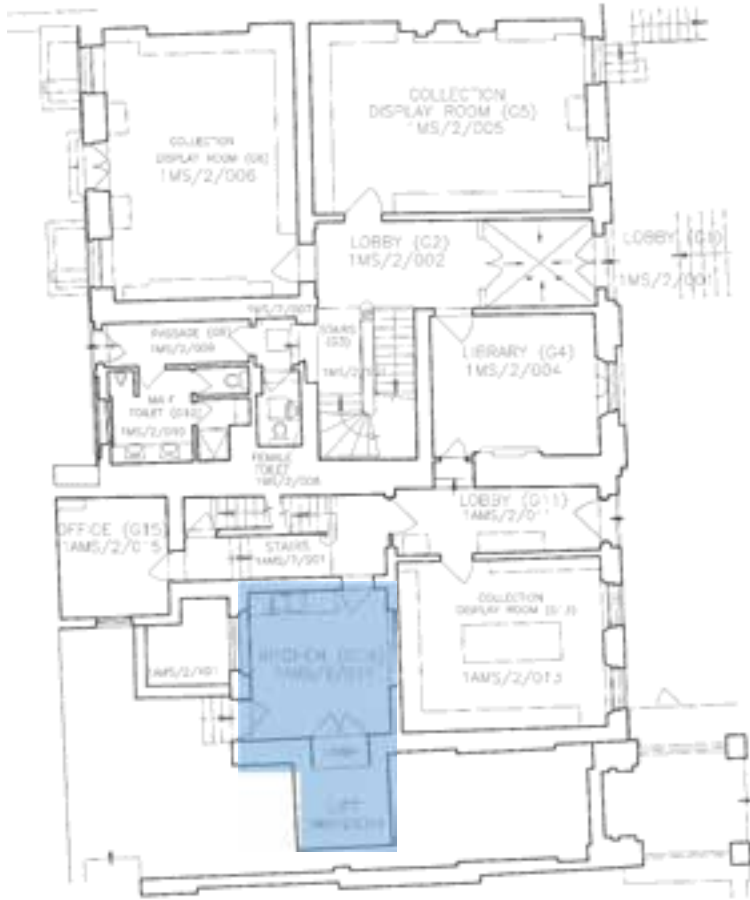
Floor

- Suspended concrete floor – date not known but unlikely to be original.



View of original opening to room G14 blocked in

Room G14



Ground Floor Plan as Existing (room shaded blue)

General

This room has been heavily changed – all finishes are modern.

Windows

- Window –‘Critall’ type – latter replacement not original.

Ceiling

- Flat plastered ceiling.

Walls

- Plain plaster
- Skirting is a modern painted.
- Lift enclosure and associated lobby later insertion

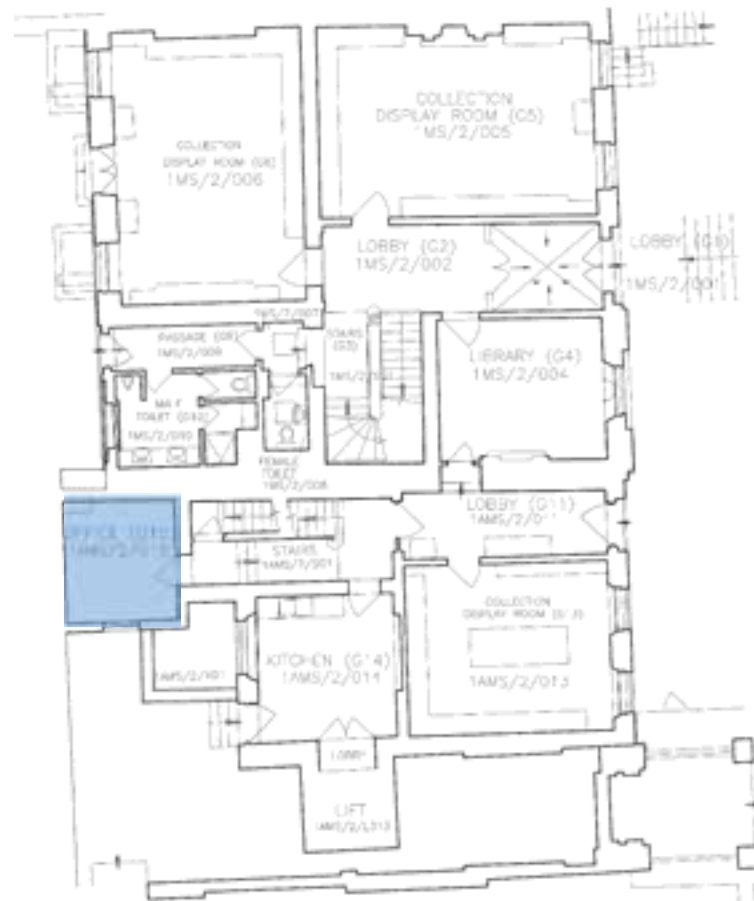
Floor

- Suspended concrete floor – date not known but unlikely to be original.



View of modern Critall window

Room G15



Ground Floor Plan as Existing (room shaded blue)

General

This room has been heavily changed – all finishes are modern.

Windows

- Window – ‘Crittall’ type – latter replacement not original.

Ceiling

- Flat plastered ceiling.

Walls

- Plain plaster
- Skirting is a modern painted.
- Lift enclosure and associated lobby later insertion

Floor

- Suspended concrete floor – date not known but unlikely to be original.

Room F7 Staircase



First Floor Plan as Existing (room shaded blue)

Doorways

- Doorway to room F5 and F6
 - Door heavily altered and fire upgraded– not original.

Ceiling

- Flat plastered ceiling.

Walls

- All walls modern dry-lined.

Floor

- Suspended concrete floor – date not known but unlikely to be original.

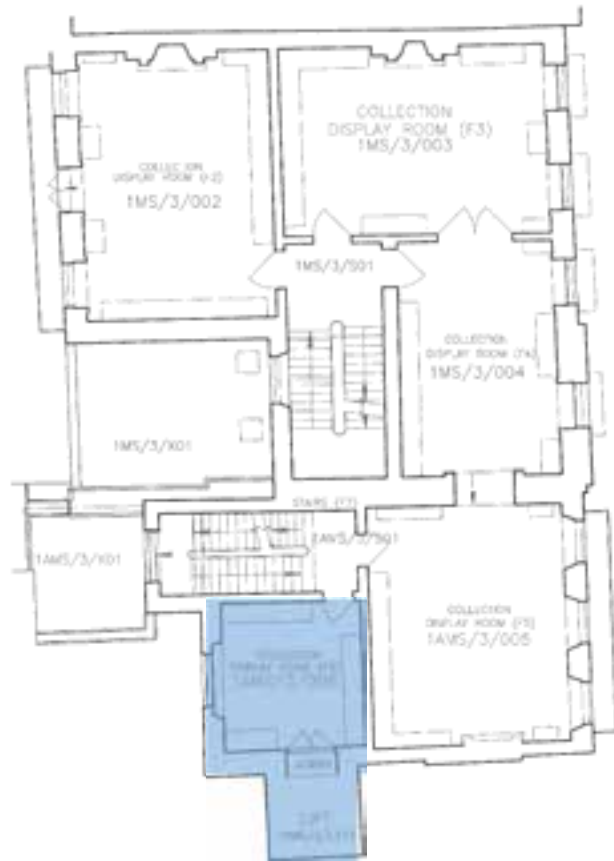
Staircase

- Original stone treaded stairs up through the building, with iron balusters set into the treads and a mahogany handrail.

Window

- Window on landing –‘Crittall’ type – latter replacement not original.
-

Room F6



First Floor Plan as Existing (rooms shaded blue)

General

This room has been heavily changed – all finishes are modern.

Windows

- Window –‘Crittall’ type – latter replacement not original.

Ceiling

- Flat plastered ceiling.

Walls

- Plain plaster
- Skirting is a modern painted.
- Lift enclosure and associated lobby later insertion.

Floor

- Suspended concrete floor – date not known but unlikely to be original.



View of Crittall window

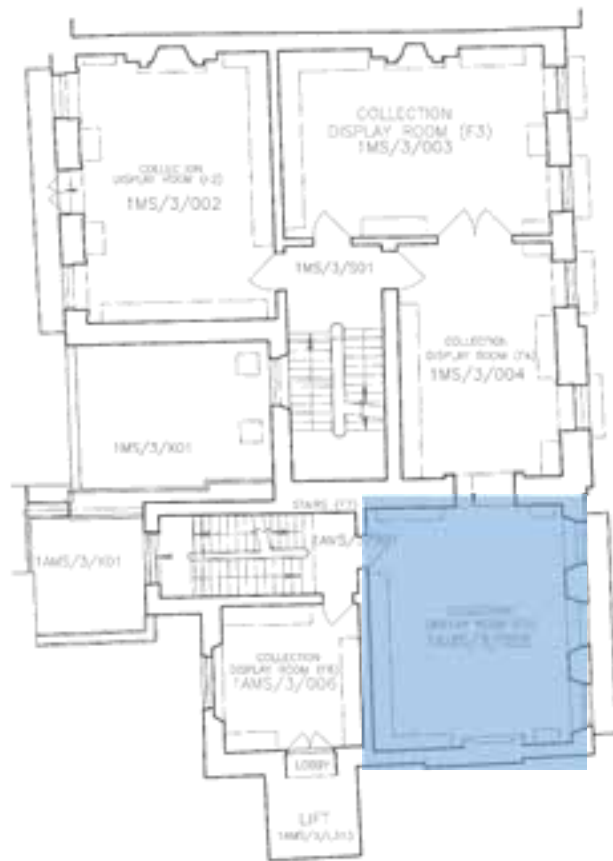


View of doors to lift shaft



View of door to stairs with fire protection overboarding

Room F5



First Floor Plan as Existing (room shaded blue)

Doorways

- Doorway to F1 Stair
 - Covered in room F1 description
- Doorway to building No 1 (room F4)
 - This is a connecting doorway formed as part of the works shown on the 1984 drawings to connect building 1 and 1a. The architrave and reveal linings are new but a copy those to the room.

Windows

- Three sliding sash windows shutters not working. Frames and sashes look original. The architrave is unusual with strange final detail, may be a poor copy.

Ceiling

- Flat plastered ceiling.
- Simpler cornice than in building 1 on first floor – could be original.

Walls

- Plain plaster with solid lime plaster to party walls but plasterboard between the sash windows.
- The 1984 drawings show a small connecting doorway between this room and F6 being infilled. Location of this not visible.
- Skirting is a painted timber torus moulding section. This is incorrect and could be part of the 1984 works. Should be replaced with more appropriate detail. Section missing where display cases have been removed.

Floor

- Timber boards with large areas of recent replacement floorboards where floor strengthening has been carried out. Other boards look original.

Fireplace

- A good marble surround with Infill sheet over grate area – there may be an insert behind this. No visible stone hearth. This is of high significance. The 1984 drawings state that this is a fireplace relocated from building No 1 room F4 when the interconnection made during those works.



View of windows

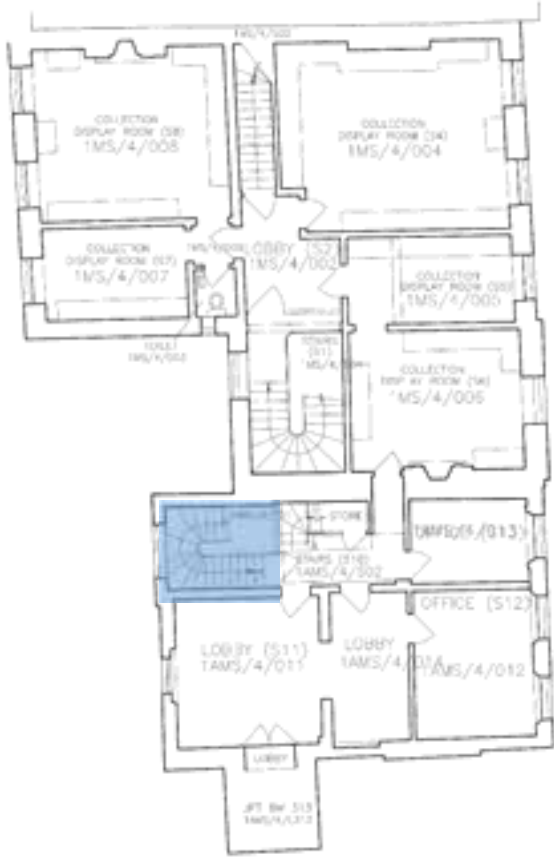


View of formed connection through to building number 1



View of fireplace

Room S9



Second Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to room S10
 - Modern door and frame – door 4 panel with glass to upper panels.

Window

- Window on landing – ‘Crittall’ type – latter replacement not original.

Ceiling

- Flat plastered ceiling.

Walls

- All walls modern dry-lined.

Staircase

- Original stone treaded stairs up through the building, with iron balusters set into the treads and a mahogany handrail.

Room S10



Second Floor Plan as Existing (rooms shaded blue)

Doorways

- Doorway to room S11
 - Heavily altered early door, four panelled door with one glazed panel.
- Doorway to lobby of room S11
 - Heavily altered early door, four panelled door. The 1984 drawings seem to show some alteration around this doorway.
- Doorway to lobby of room S13
 - Heavily altered early door, four panelled door.
- Doorway through to building 1 (room S6)
 - This is a connecting doorway formed as part of the works shown on the 1984 drawings to connect building 1 and 1a.

Ceiling

- Flat plastered ceiling.

Walls

- Walls onto S9 modern dry-lined. Other walls solid plaster.

Staircase

- Original painted timber stairs up to the third floor – looks original. Under stair cupboard original but altered.



Views of the staircase at the third floor

Room S11 and associated Lobby



Second Floor Plan as Existing (rooms shaded blue)



View of Critall Window



View of formed door way to lobby



View of doorway to stairs



View of concrete floor to timber

Doorways

- Doorways to room S10
 - See description under that room.

Window

- Window –‘Critall’ type – latter replacement not original.

Ceiling

- Flat plastered ceiling.

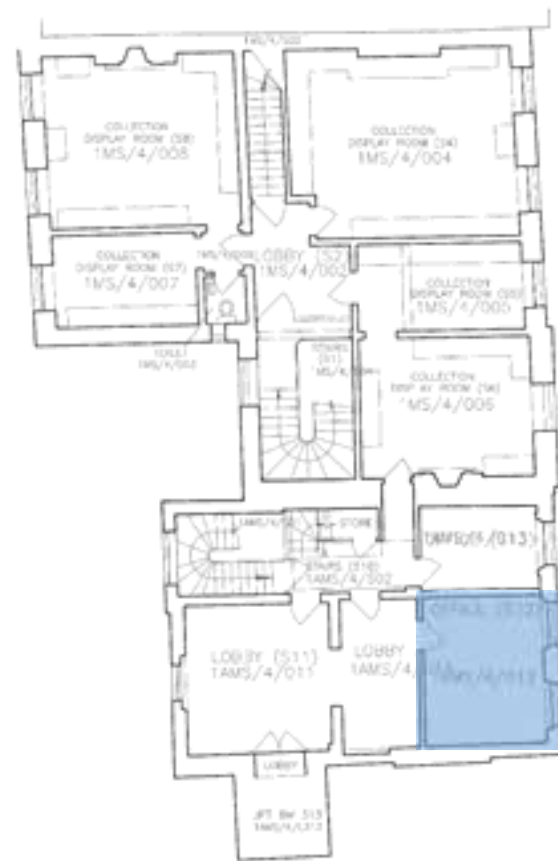
Walls

- Plain plaster. Skirting’s modern.
- Wall onto room S12 is a timber stud partition. This is part of the 1984 alteration works.
- Opening through to the lobby also formed as part of the 1984 works.

Floor

- Suspended concrete floor to room S11 – date not known but unlikely to be original. Timber floor boards to the lobby area.

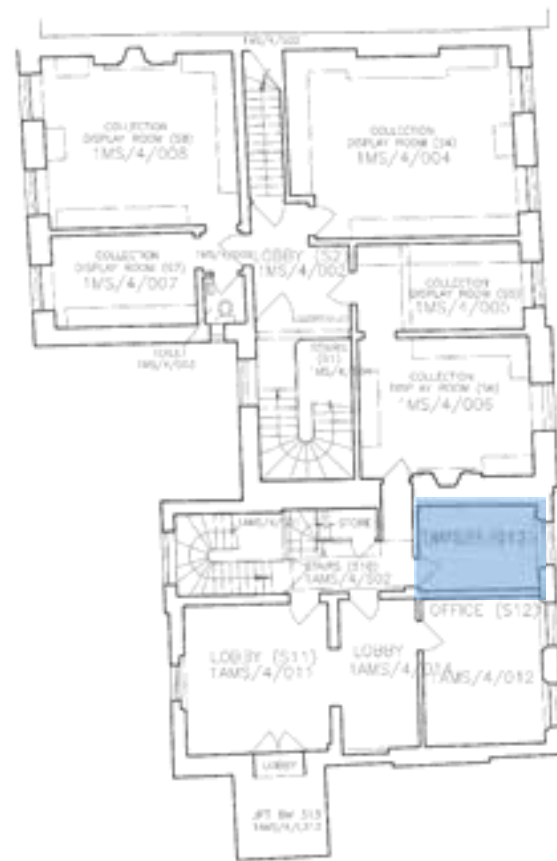
Room S13



Second Floor Plan as Existing (rooms shaded blue)

- Doorways**
- Doorway to room S11
 - Modern, four panelled door.
- Window**
- Two sash windows including working shutters - original.
- Ceiling**
- Flat plastered ceiling.
- Walls**
- Wall onto room S12 is a timber stud partition. This is part of the 1984 alteration works.
 - Lath and plaster to front wall.
 - Skirting's modern

Room S13



Second Floor Plan as Existing (rooms shaded blue)

- Doorways**
- Doorway to room S10
 - See description under that room.
- Window**
- Sash windows including working shutters - original.
- Ceiling**
- Flat plastered ceiling.
- Walls**
- As part of the 1984 alteration works and doorway was blocked on the wall onto room S10.
 - Lath and plaster to front wall.
 - Skirting's modern.

Room T1



Third Floor Plan as Existing (rooms shaded blue)

General

The third floor is plain and of low significance. Generally heavily altered except for the following key points of heritage significance

- The staircase from the second floor is original.
- Windows sashes and some of the doors.



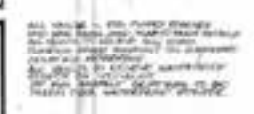








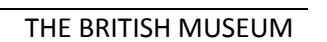












// 1 AND 1A MONTAGUE STREET, BLOOMSBURY



APPENDIX 3: Pre-App response

From: Bond, Catherine [<mailto:Catherine.Bond@camden.gov.uk>]
Sent: 24 May 2017 09:56
To: Talha Timol
Cc: Russell Torrance; Carolina Filippini; Quigley, Elaine
Subject: 1 and 1a Montague Street pre-app ref 2017/1607/PRE

Dear Talha

I apologise for the delay in giving a formal response to your pre-application inquiry ref 2017/1607/PRE for the restoration and upgrade of Nos 1 and 1a Montague Street, London WC1.

The two buildings, which have been linked by an historic lateral conversion, are both grade II listed, and are situated in the Bloomsbury Conservation Area. Although the properties have been used for museum storage for many decades, this use is no longer necessary due to the recent completion of the north-west wing of the British Museum. Both townhouses have been cleared of artefacts and furniture to reveal their full condition and decorative order. The proposals are to adapt and upgrade the properties for modern office use to be attractive to tenants on the open market.

General condition:

Although the buildings have recently been vacated by the British Museum, a number of areas of the two buildings are in a relatively poor state of repair, and as such the condition is being monitored by the Council and Historic England. A comprehensive condition survey will further analyse its condition. A recent site inspection uncovered that, although in fair to poor condition, the buildings do not need to be added to the Historic England *Heritage at Risk Register* at the current time. This is provided structural remedial works and repairs to the roof are undertaken as soon as possible, relevant planning consents are obtained and implemented, and a new occupier found - all as a matter of priority.

Structural issues:

A visual inspection of the rear wall of No 1, both internally and externally, reveals that there has been notable structural movement of the back wall (which may have been triggered by war damage). Internally the building has been propped up. The extent of damage will be revealed and analysed in a structural condition report, which will form a baseline for remedial works. Method statements should be drawn up outlining structural repairs.

In the north-west corner of No 1, there has been a drop in the floor and ceiling levels due to structural movement. Provided that the building is made structurally sound, the intention not to level out the floors is supported to maximise the retention of historic fabric.

Where internal cracking occurs, such as around the spinal wall of No 1, monitoring and investigation have proven that movement is historic rather than recent. Method statements covering structural repairs should be drawn up.

Internal alterations:

The interiors of Nos 1 and 1a are considered to be particularly fine. This is due to a number of factors, including interesting plan form, the retention of historic fittings and

fixtures, plus a high standard of intricate decorative plasterwork and joinery throughout each building. Such features survive due to the lack of changes to the properties including redecoration works, especially during the 20th century.

The proposals involve the removal of existing partitions to provide large office spaces, such as at second and third floor levels. Whilst the principle of using these floors for office use is welcomed, full justification needs to be given for removing historic partitioning, which creates a series of rooms of a cellular character. The issues here are not only the loss of the historic plan form, but also the loss of context of historic features such as ceiling cornices, which may end up lining downstands rather than full internal walls. There is a danger that the removal of too many partitions will destroy the character of the two interlinked townhouses, which formerly contained a series of bedrooms and servants' quarters at these levels.

The reinstatement of historic openings is generally supported, such as between the first-floor front and rear rooms at No 1, where the former opening is evident due to the survival of architraving. It is suggested investigative work is undertaken to see if there is evidence of a door surround behind the modern plasterwork, to determine whether double doors formerly were fitted in this opening.

It is intended to create openings at various upper levels in the spinal wall between the front and rear rooms at No 1A. Whilst the principle is acceptable, such openings should retain nibs which are proportionate to the spatial qualities of the existing rooms.

It is proposed, including in principal rooms, to block off several fireplace openings with plasterboard. The two houses between them contain a number of high quality historic fire surrounds and hearths and to screen these is considered to be visually detrimental to the historic interiors, which should be enjoyed by future occupiers. It is suggested that alternative approaches should be taken to prevent the traditional use of the fireplaces by future tenants, such as through tenancy agreements or management measures.

The installation of WC clusters in secondary areas of the building such as the basement and ancillary areas of the ground floor, maximising the use of vertical service routes, is supported.

The pre-application proposals originally included a new external lift serving all floors, either positioned in a recess on the rear elevation or in the location of the former goods lift on the southern flank wall of No 1a. Although both these options were likely to have been acceptable in principle, this element of the proposal has now been removed from the scheme.

It is essential that the upgrading of the building with new M&E services is considered at the earliest possible design stage, so that all new services for a future office use are sensitively integrated into the historic interiors, with no harm caused to historic features or the spatial character of principal rooms. The approach to locate plant, electrical distribution boxes and other larger items in secondary areas such as the basement is supported, with risers using a decommissioned lift shaft on the southern flank wall of No 1a. Dado-mounted trunking should be employed cautiously and

vertical risers should be kept to a minimum. The integration of air-conditioning into the interiors needs to be very carefully considered to avoid harm to the special interest of the listed buildings.

Internal decorative works need to be painstakingly drawn up. The restoration and upgrading of the building is an opportunity to sensitively restore a number of historic decorative features, in particular ceiling plasterwork and joinery details. Since the interior would seem not to have undergone frequent redecoration in recent decades due to its use as museum storage, high quality decorative mouldings have survived in good condition with profiles unaffected by layers of paint. It is therefore essential that to preserve the special interest of the building and its features, a well-considered and high quality decorative scheme should be implemented throughout the building, with specific reference to the principal rooms.

Likewise, due to the grade II listed status of both buildings and the high quality of the existing historic interiors, it is expected that the highest standard of workmanship is executed to implement any consented scheme, in order to preserve the buildings' special interest. In addition to construction professionals with a high level of knowledge of historic buildings, a suitable contractor with extensive experience of working with such properties should be employed.

External works:

The main roof requires both repair and alteration. Unfortunately the main roof and its rainwater drainage have been insufficiently maintained, particularly at No 1a. As a result there has been water ingress via the central roof valley gutter, harming plaster ceilings and walls at third floor level. It is therefore proposed to raise and widen the central gulley so that it has increased rainwater capacity, together with the provision of additional drainage. This approach is supported, subject to detailed design.

Railing repairs and the installation of new railings at the rear of the property are necessary. The conservation-led repair of front boundary railings and balcony screens is welcomed. The addition of new lightwell railings to the rear is supported for health and safety reasons, subject to detailed design.

The replacement of non-original windows at the rear will enhance the building's period character as well as the conservation area context. The rear of No 1a underwent a number of changes in the post-war period, including the installation of steel-framed windows which are out-of-keeping with the period character of the building. The reinstatement of traditionally designed timber sash windows, adhering to appropriate proportions and dimensions, is welcomed subject to detailed design.

The siting of air condensing units in the rear garden of No 1 and adjacent to the rear wall of No 1a is likely to be acceptable, subject to detailed design (including screens and planting), plus environmental requirements.

It is essential that in terms of colour scheme and general approach all external redecoration works complement the existing buildings and the wider terrace and conservation area context. This is an opportunity to improve the quality and condition of the external envelope, in relation to window and door decoration, railings and other elements. Due to the listed status of the properties, there is an

expectation that layers of old paintwork are cleaned down before redecoration so that the profiles of mouldings are reinstated, revealing the fineness of architectural detail.

Conclusion:

The principles of the upgrade and conversion of the existing two grade II listed townhouses for office use is supported, subject to matters of detailed design and related environmental considerations (as outlined above). It is imperative that a sensitive and practical solution is found so that the buildings can be fully repaired and reused so as to give them a new lease of life and to avoid an entry on the *Heritage at Risk Register*.

It will be necessary for a worked-up scheme to comply with current policy and guidance. In particular it should be noted that the Council is currently awaiting the adoption of its new Local Plan which will replace the Local Development Framework. As background, the Inspector's report on the Local Plan was published on 15 May 2017 and concludes that the plan is 'sound' subject to modifications being made to the Plan. While the determination of planning applications should continue to be made in accordance with the existing development plan until formal adoption, substantial weight may now be attached to the relevant policies of the emerging plan as a material consideration following publication of the Inspector's report, subject to any relevant recommended modifications in the Inspector's report.

If you require further information regarding the submission of a formal planning application or listed building consent application, please refer to the following link to the Council's website:-

<https://www.camden.gov.uk/environment/planning-and-built-environment/planning-applications>

Please get in touch if you have any questions on any of the points raised in this correspondence.

Kind regards
Catherine

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