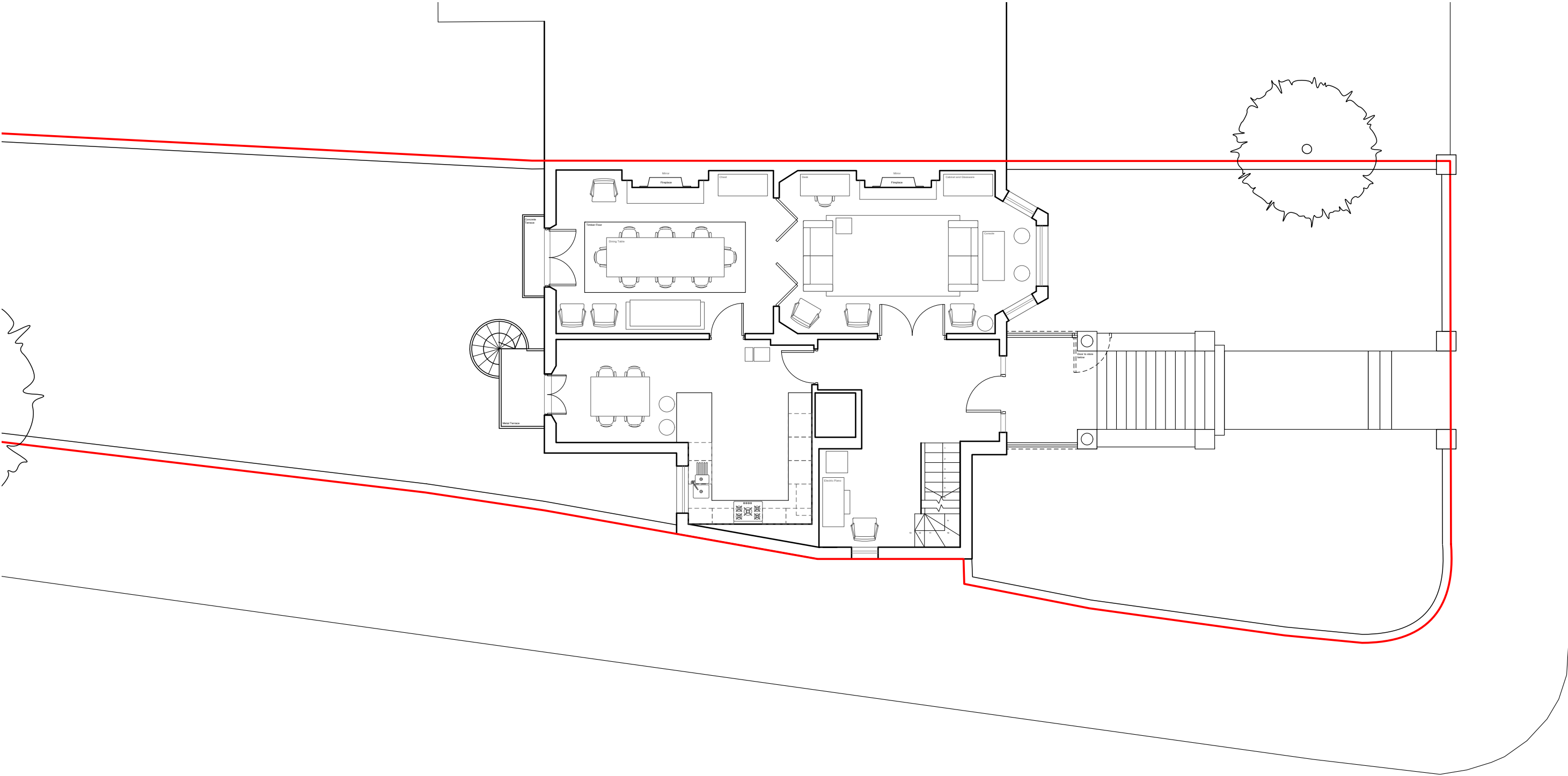
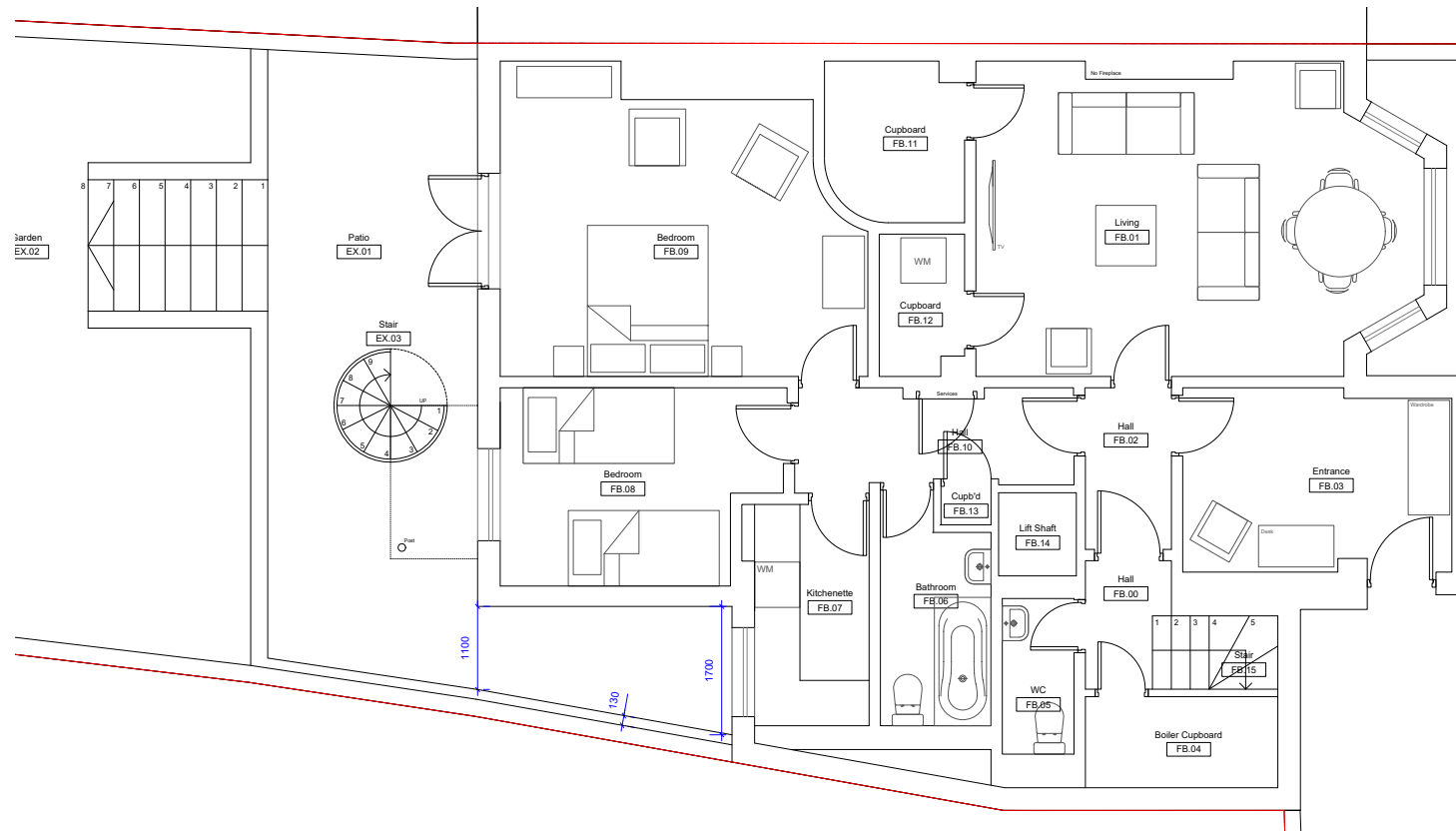


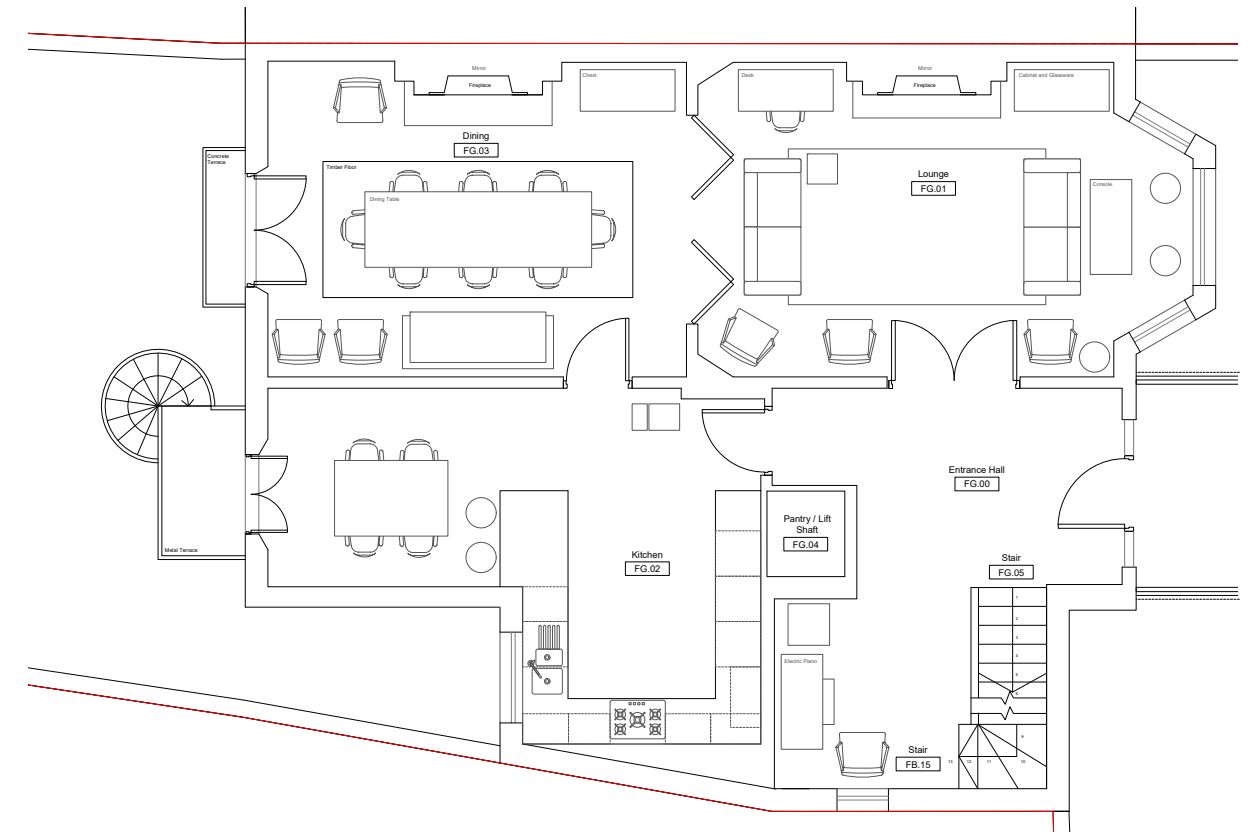
1.10 Existing Upper Ground Floor Plan



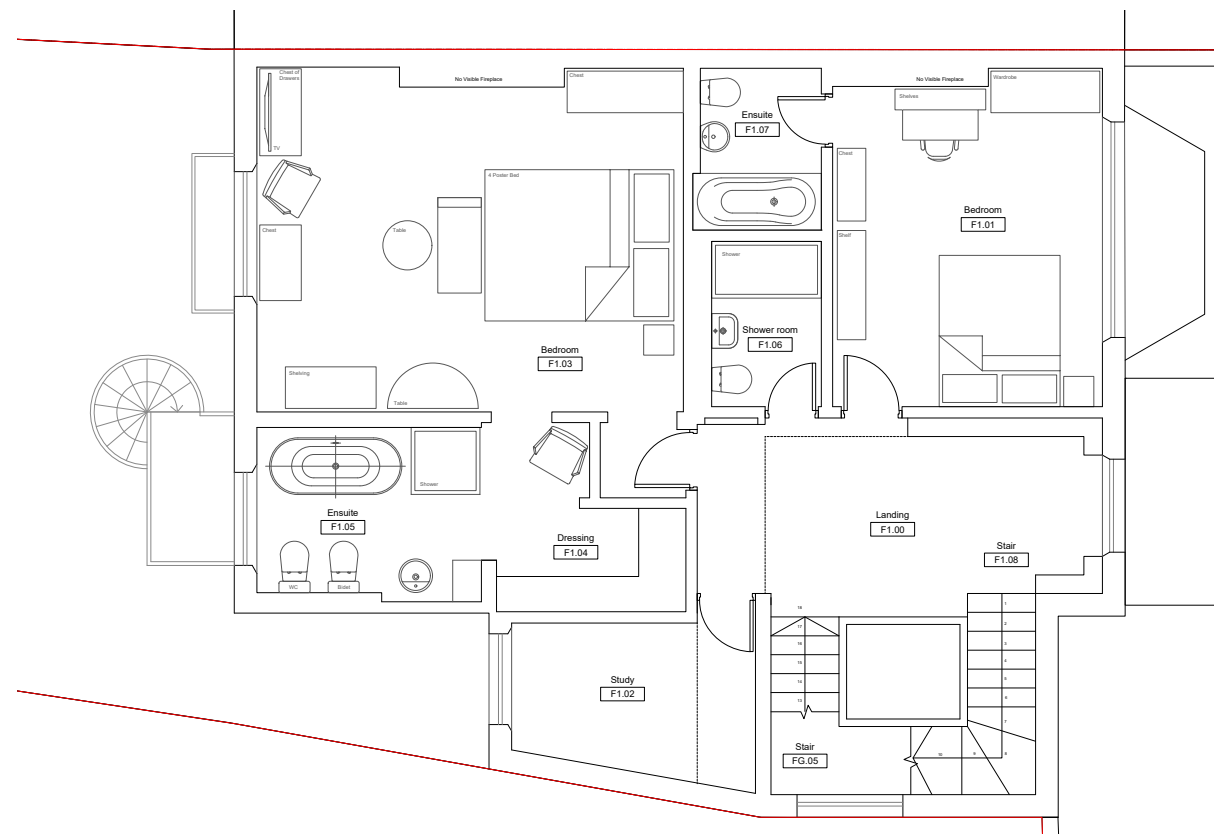
## 1.11 Existing Floor Plans



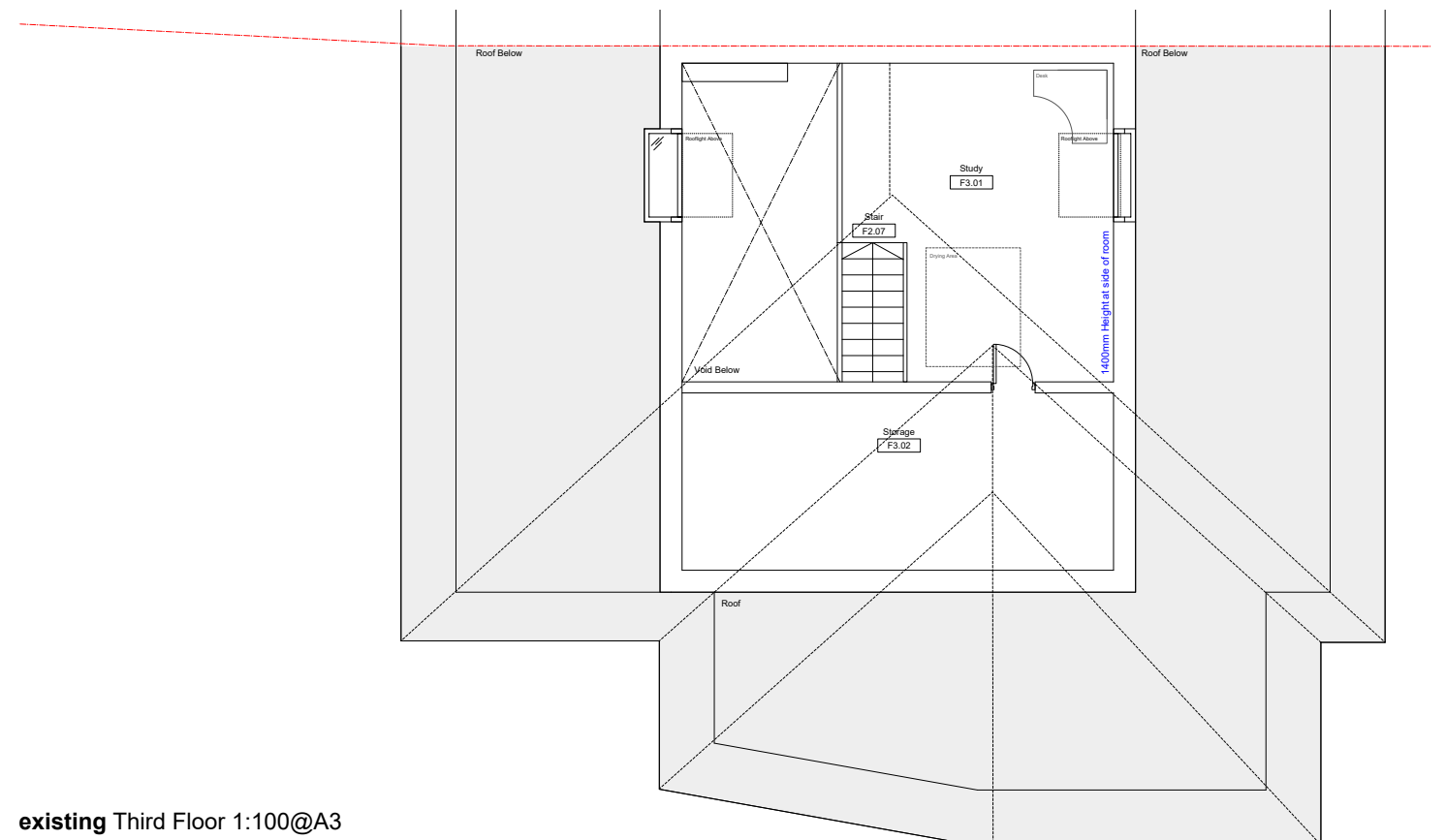
existing Lower Ground Floor 1:100@A3



existing First Floor 1:100@A3



existing Second Floor 1:100@A3



existing Third Floor 1:100@A3



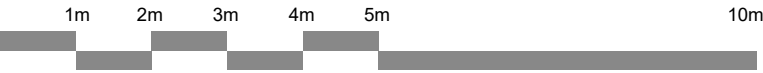
1.12 Existing Front and Rear Elevations

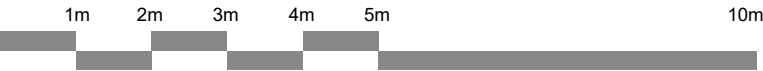
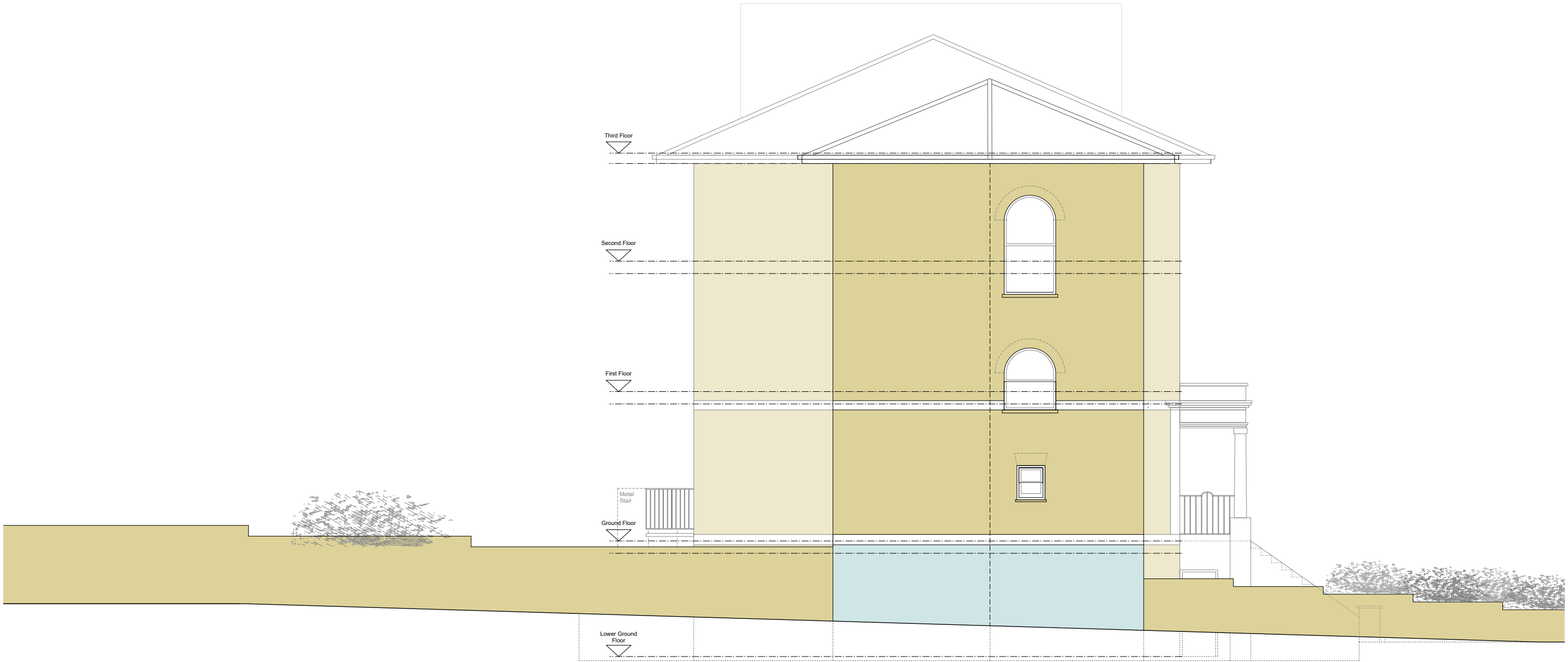


existing Front Elevation 1:100@A3



existing Rear Elevation 1:100@A3







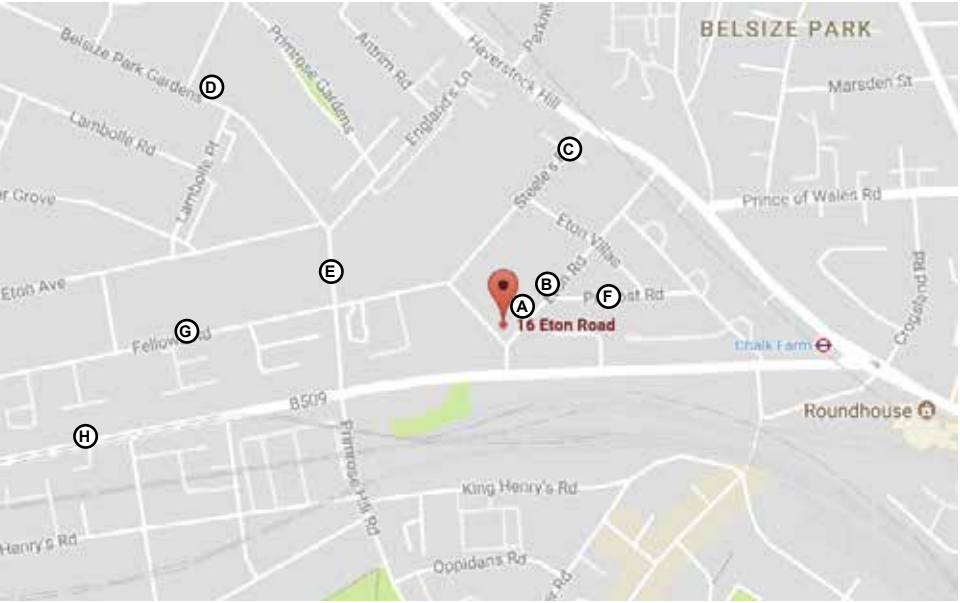
1.20 Surrounding Area Photographs



A Eton Road [Eton Road Conservation Area]



B Eton Road [Eton Road Conservation Area]



C Steeles Road [Eton Road Conservation Area]



D Belsize Park Gardens



E Primerose Hill Road



F Provost Road [Eton Road Conservation Area]



G Fellows Road



H Adelaide Road



## 2.00 Eton Conservation Area



Eton Conservation Area Map (Image taken from the Eton Conservation Area Appraisal)

### Character and Appearance of the Area

The Eton Conservation Area has been divided into four areas which have their own particular characteristics. These areas are:

Sub-area 1 Eton Villas, Eton Road, Eton College Road and Provost Road Steele's Road (west side), Fellows Road (part of east side only)

Sub-area 2 England's Lane (part of south side), and Chalcot Gardens

Sub-area 3 Wychcombe Villas and Steele's Studios

Sub-area 4 Haverstock Hill (west), Steele's Mews North, Steele's Mews South.

This sub-division in part reflects the original sequence of designation as a Conservation Area which appears to be based on areas with identifiable character. Apart from some notable 20th century replacement buildings it also has a historical basis with each area having broadly developed at a similar time. The process of extension has lead to an area displaying greater diversity, albeit one which was largely developed in its current form in the middle and later part of the 19th century.

The character and appearance of sub area 1: Eton Villas, Eton Road, Provost Road. Steele's Road (western side), Fellows Road (part of east side only)

This is the largest of the sub-areas, the core of which focuses onto the Conservation Area's set piece, St Saviours Church, set in a triangular open space flanked by an almost intact group of early/mid Victorian semi-detached villas.

The pattern of development was largely complete by the time of the 1866 OS, the main road layout having been completed by around 1850.

### Eton Road

The north-west frontage to Eton Road also comprises semi-detached villas and although of a similar (but perhaps slightly later) period to the main group (they appear on the 1866 survey), are unlisted. These are substantial properties on four floors. They are faced in stucco at lower ground and ground floor level (with projecting porches supported by ionic columns) with yellow stock brick used on the upper floors.

*Text above taken from the Eton Conservation Area Appraisal*

3.00 Planning History: 16 Eton Road

The property has three applications listed within its history (excluding works to trees):

**Application Number:** PE9900886  
**Date:** 8-11-1999  
**Decision:** Grant Full Planning Permission (Condit.)  
**Details:**  
Alteration from window to French doors at upper rear ground floor level together with the erection of a spiral case linking the ground floor and lower ground floor garden.

**Application Number:** 9005058  
**Date:** 23-01-1990  
**Decision:** Grant Full or Outline Perm. with Condit.  
**Details:**  
Erection of side extension to replace existing staircase enclosure and reinstatement of elevational details in relation to works to use the property as a single family dwelling.

**Application Number:** 9070807  
**Date:** 23-01-1990  
**Decision:** Grant List.Build. or Cons.Area Consent  
**Details:**  
To demolish within a conservation area an external staircase curtain wall enclosure

**Application Number:** CTP/H9/3/1/17301  
**Date:** 14/02/1974  
**Decision:** Refused  
**Details:**  
Erection of roof addition to provide an attic flat at 16 Eton Road.

**Application Number:** CTP/H9/3/1/504  
**Date:** 13/07/1965  
**Decision:** Granted  
**Details:**  
Conversion of 16 Eton Road, Camden, into four self contained flats and the erection of a new external staircase.



3.01 Planning Precedents: Eton Conservation Area: Dormer Windows



The diagram to the left outlines dormer window precedents in the immediate Eton Conservation area of which there are many, including a number of road facing dormer window precedents along Eton Road.

**Address:** 10 Eton Road  
**Application Number:** 2004/2894/P  
**Date:** 27/08/2004  
**Decision:** Granted  
**Details:**

Erection of a single storey rear extension with roof terrace above, installation of a rear dormer with terrace and front dormer with alterations to the rear and side fenestration.

**Address:** 14 Eton Road  
**Application Number:** 2013/0134/P  
**Date:** 13/03/2013  
**Decision:** Granted  
**Details:**

Alterations at roof level including installation of dormer window with terrace in side roof slope and 2 x roof lights in front and rear roof slopes all in connection with existing flat (Class C3).

33 Steele's Road - App: PWX0202300 - Granted 2002

34 Steele's Road - App: 2003/1748/P - Granted 2003

7 Steele's Road - App: 8401049 - Granted 1984

5 Steele's Road - App: 2008/1116/P - Granted 2008

Flat 4, 3 Steele's Road - App: 2008/1774/P - Granted 2008

10 Eton Road - App: 2004/2894/P - Granted 2004

11 Eton Road - App: 2004/2894/P - Granted 2004

15 Eton Road - App: 2013/0134/P- Granted 2013

14 Eton Road - App: 2013/0134/P- Granted 2013

13C Eton Road - App: 2015/5239/P - Granted 2016



Steeles Road Dormer Window



11 Eton Road Dormer Window



### 3.01 Planning Precedents: Eton Conservation Area: Dormer Windows





4.00 Pre-Application Advice

Pre-Application Written Advice was applied for on the 02/11/2017 for the following proposals;

- contemporary rear extension
- widened contemporary rear terrace
- replacement of existing windows to match with double glazed timber windows
- replacement of existing rooflights
- handrails to the entrance steps
- creation of a new dormer window and roof terrace at third floor

Feedback Date: 14/12/2017  
Feedback Reference: 2017/6192/PRE

For this planning application only the feedback in relation to the proposed dormer window is relevant - see adjacent text for written feedback. In response to this, the following chapters will outline a more traditional zinc clad dormer with no roof terrace.

Written Pre-Application Feedback in response to the Dormer Window:

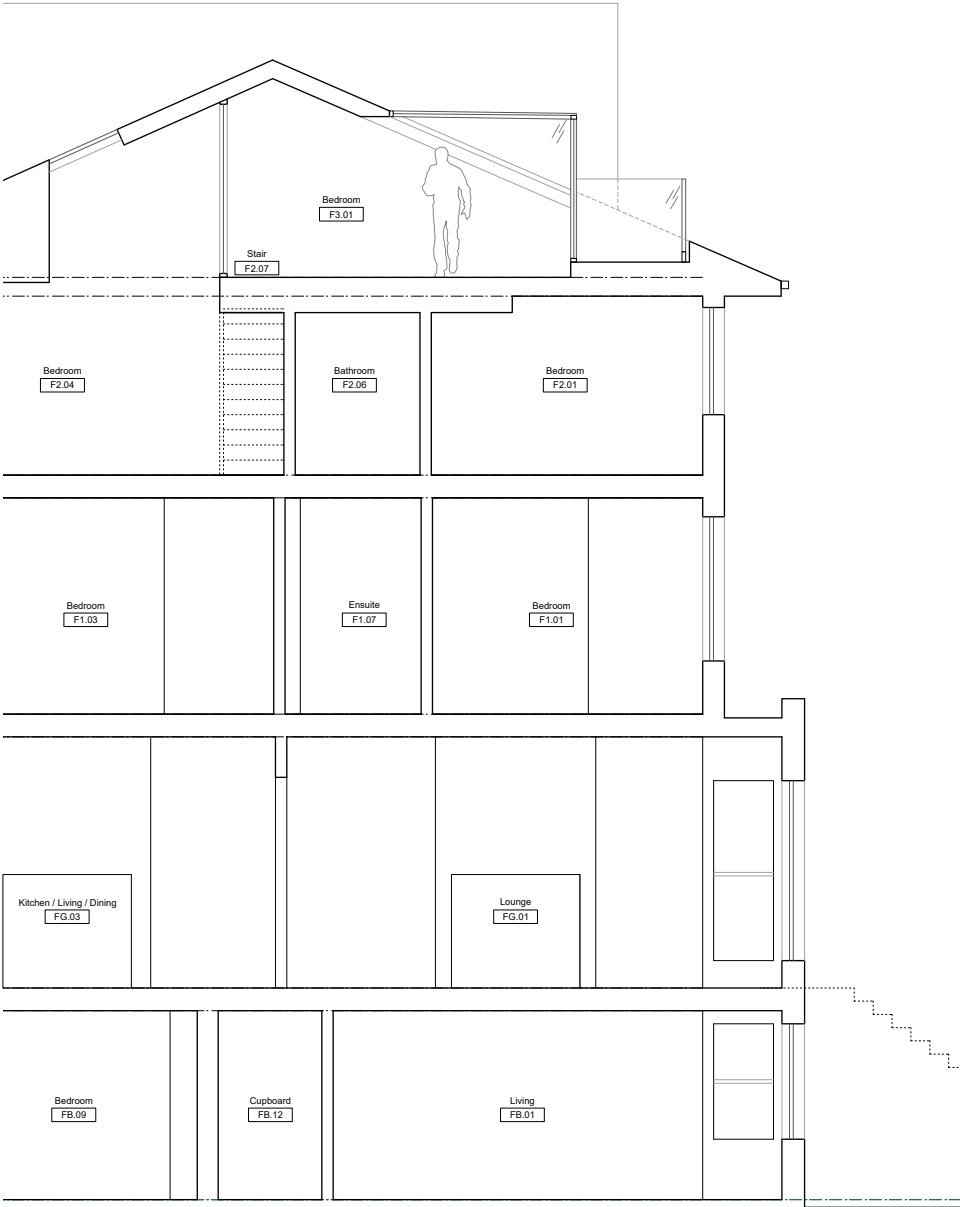
Installation of front dormer

CPG1 advises that roof alterations are likely to be acceptable where there is an established form of roof addition to a group of similar buildings and where continuing the patterns of development would help to re-unite the group. Most of the properties along this side of Eton Road have installed dormers on the front and side roof slopes, including the adjoining pair at no.15. The principle of the dormer is therefore thought to be acceptable and could bring about a symmetry between the pair of properties. Several of the dormers along the street seem to have come about as a result of historical permissions or without benefit of planning permission and are prominent additions to the property which demonstrate little response to the fenestration below. This is reflected in the Eton Conservation Area statement which states, ‘there have been a number of unsympathetic frontage dormer extensions along the street that detract from the architectural consistency of the group’. Due to the property being sited on a corner, the roof level is especially prominent and therefore it is important the dormer is designed sensitively. This is supported by the Conservation Area statement guidance which states that the provision of new dormers, particularly on roof slopes which are clearly visible from the street, needs to be carefully controlled.

The siting of the proposed dormer on the roof slope would be less prominent than other examples along the street as it would be set back into the roof slope rather than situated towards the eaves like the dormer next door. Notwithstanding this, the detailed design of the dormer, which consists of a glazed box structure, is not thought to be appropriate. Although a similar dormer extension is evident at no.11 Eton Road, no planning consent has been located and it is therefore assumed the works were undertaken without permission. Paragraph 5.11(f) of CPG1 provides guidance on how dormers should be designed, advising that materials should complement the main building and the wider townscape and the use of traditional materials such as timber, lead and hanging tiles are preferred. The dormer also incorporates a terrace with a glazed balustrade. No.16 Eton Road demonstrates a similar form albeit the dormer being on the side of the property rather than front. In this instance, it is understood that the dormer replaced an existing large and unsympathetic side dormer and therefore the proposal preserved the appearance of the conservation area. In this scenario, there is no existing dormer and by reason of the end-of terrace location, the terrace and balustrade would be prominent. No assurance can be sought that the terrace would not accumulate items such as parasols and furniture that would have a harmful visual impact on the property and wider building group, particularly given it would be at high level. Whilst CPG1 requires a terrace associated with a dormer to be set back behind the slope of a pitched roof to avoid the need for a balustrade, in this instance the principle of a terrace is not supported by reason of its prominence and subsequent impact on the appearance of the building.

Conclusion

The principle of the front dormer is considered to be acceptable subject to detailed design; however it is recommended that the terrace is removed and the materiality is amended.



Pre-Application Design - Proposed Glass Dormer Window and Roof Terrace



Pre-Application Design - Proposed Glass Dormer Window and Roof Terrace



## 5.00 Design Proposals - Overview



The proposal seeks to create a 21st century family home, respecting both the building and the wider conservation area's heritage, yet creating spaces for modern day family living. The design of each of the key items which require planning consent has been explained below.

### Dormer Window

The proposed dormer window will offer views across London, similar to those approved along Eton Road. Following pre-application advice, a more traditional zinc clad dormer design has been proposed.

### Entrance Step Handrails

These will offer a safe entrance to the house for young and old people alike, currently the steps have little safety with regards to falling. The proposed handrails will be minimal and contemporary, formed of black metal - a reference found within the detailing of existing house.

### Replacement of Existing Windows

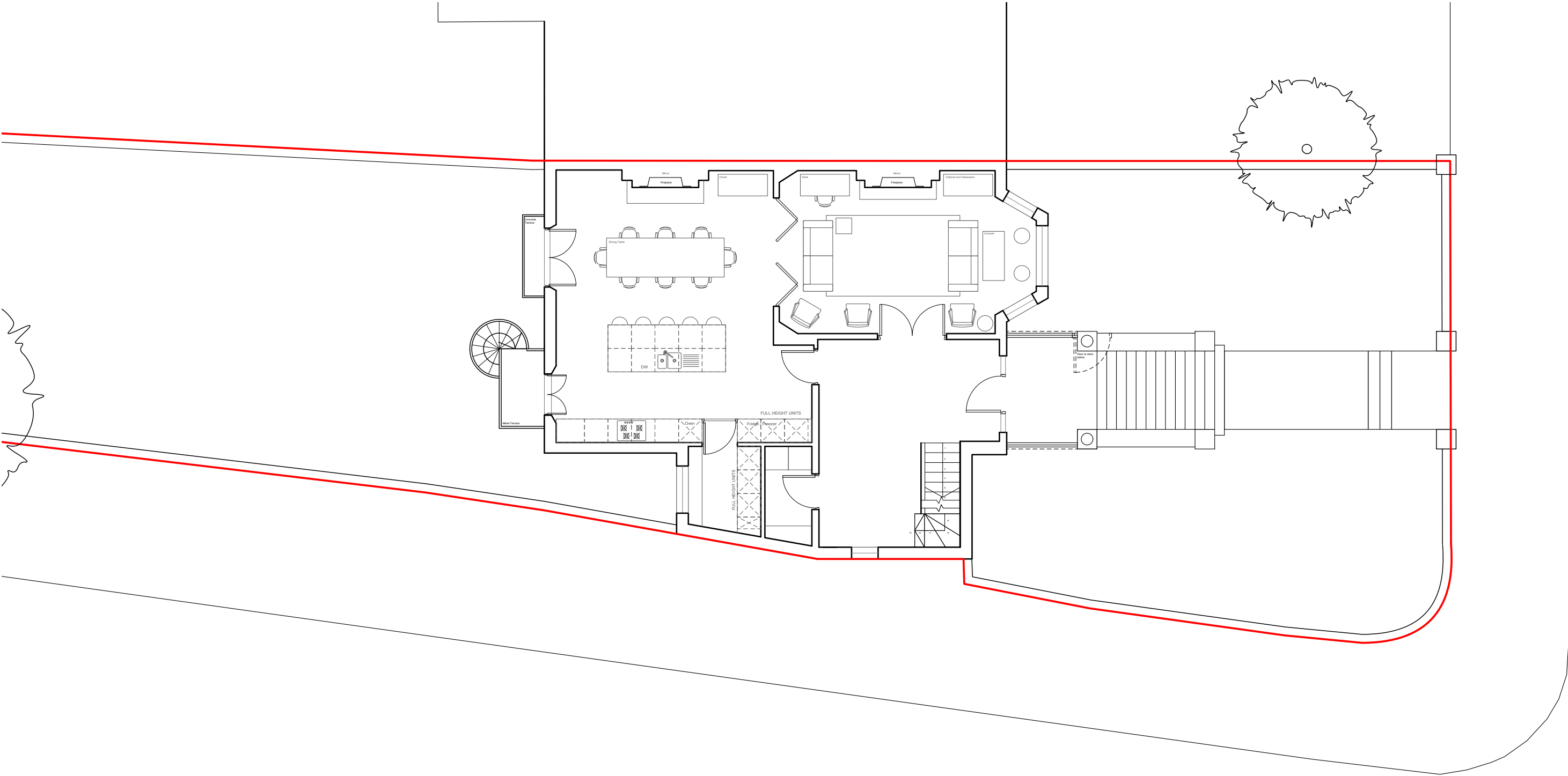
These will be double glazed timber windows to match existing proportions and style.

See Chapter 5.20 for an analysis of the proposals within the context of the Eton Conservation Area guidelines.

Existing Building with the Dormer Window at 14 Eton Road clearly visible.

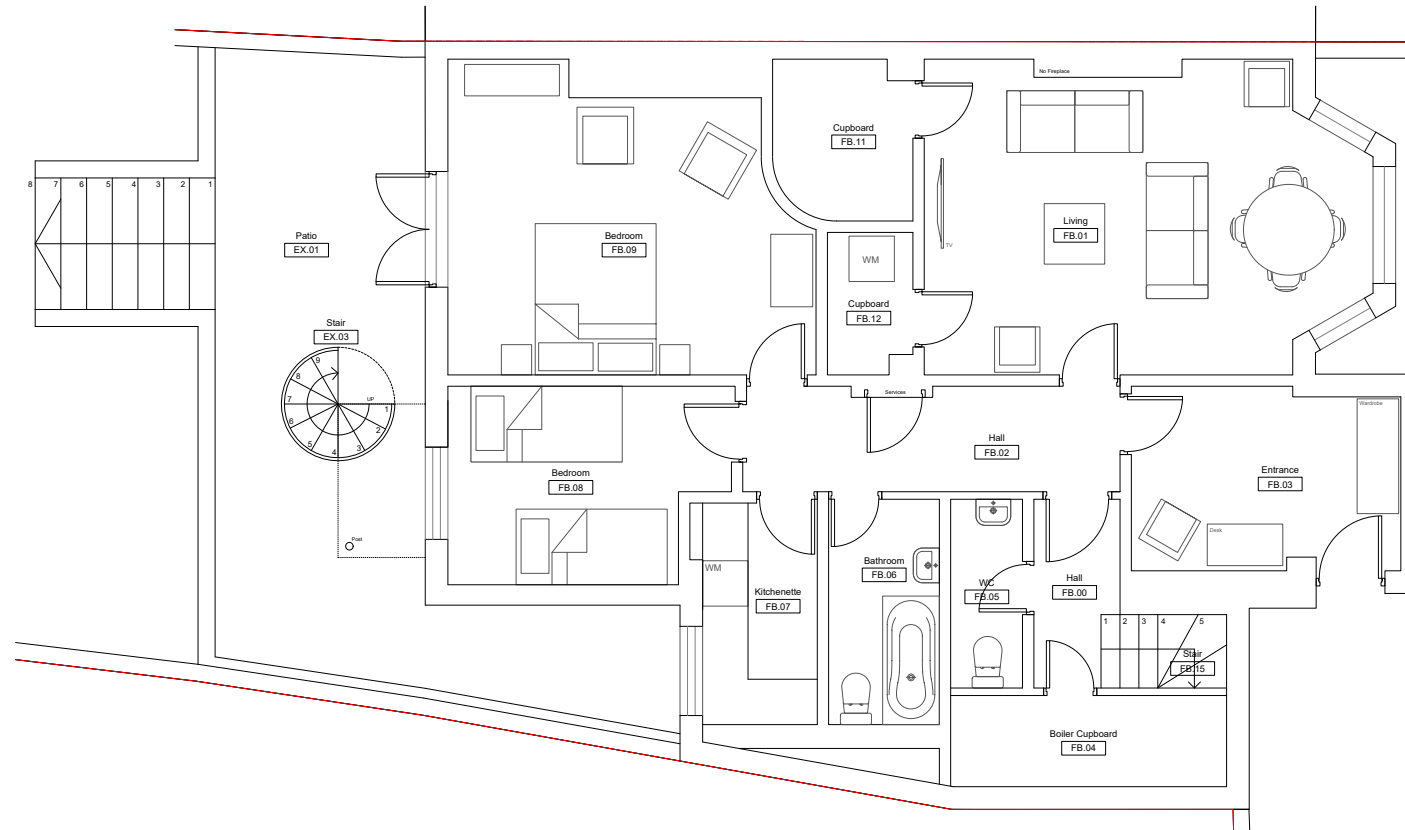


5.10 Proposed Upper Ground Floor Plan

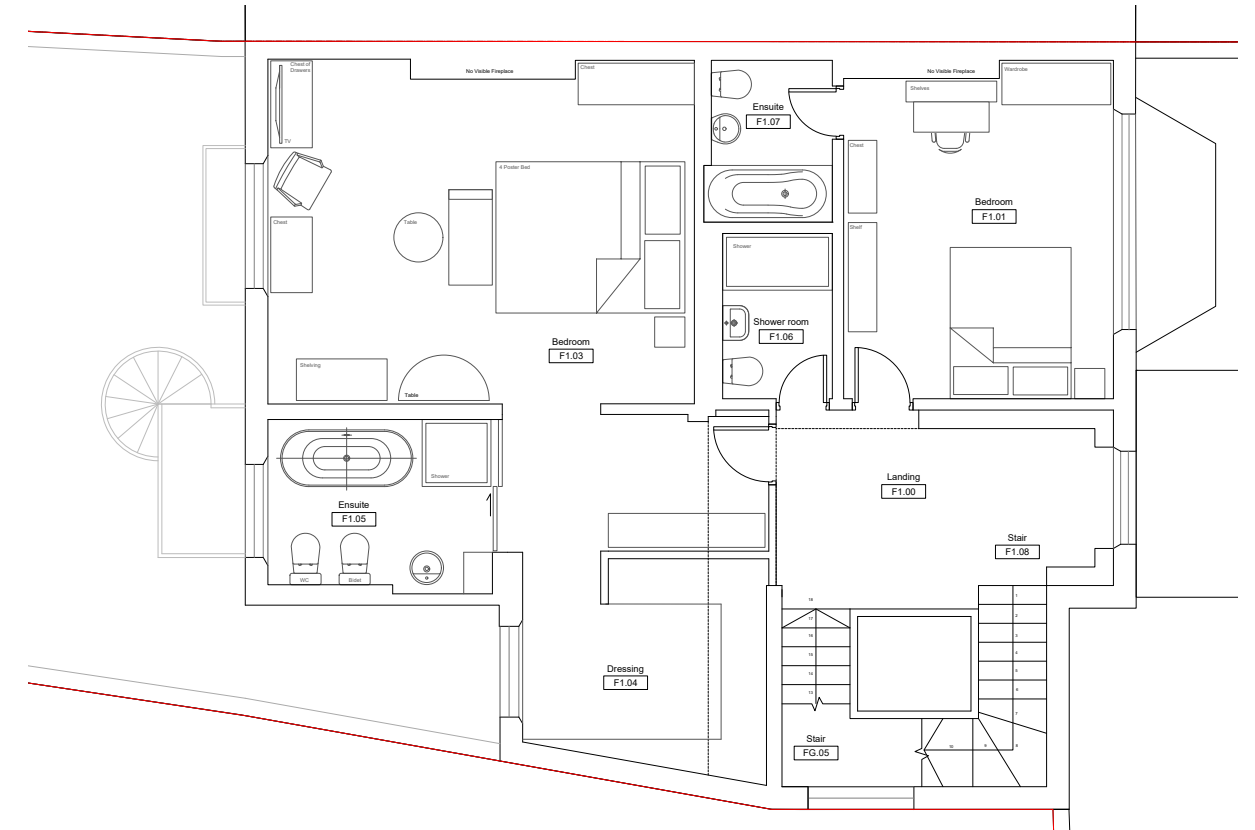




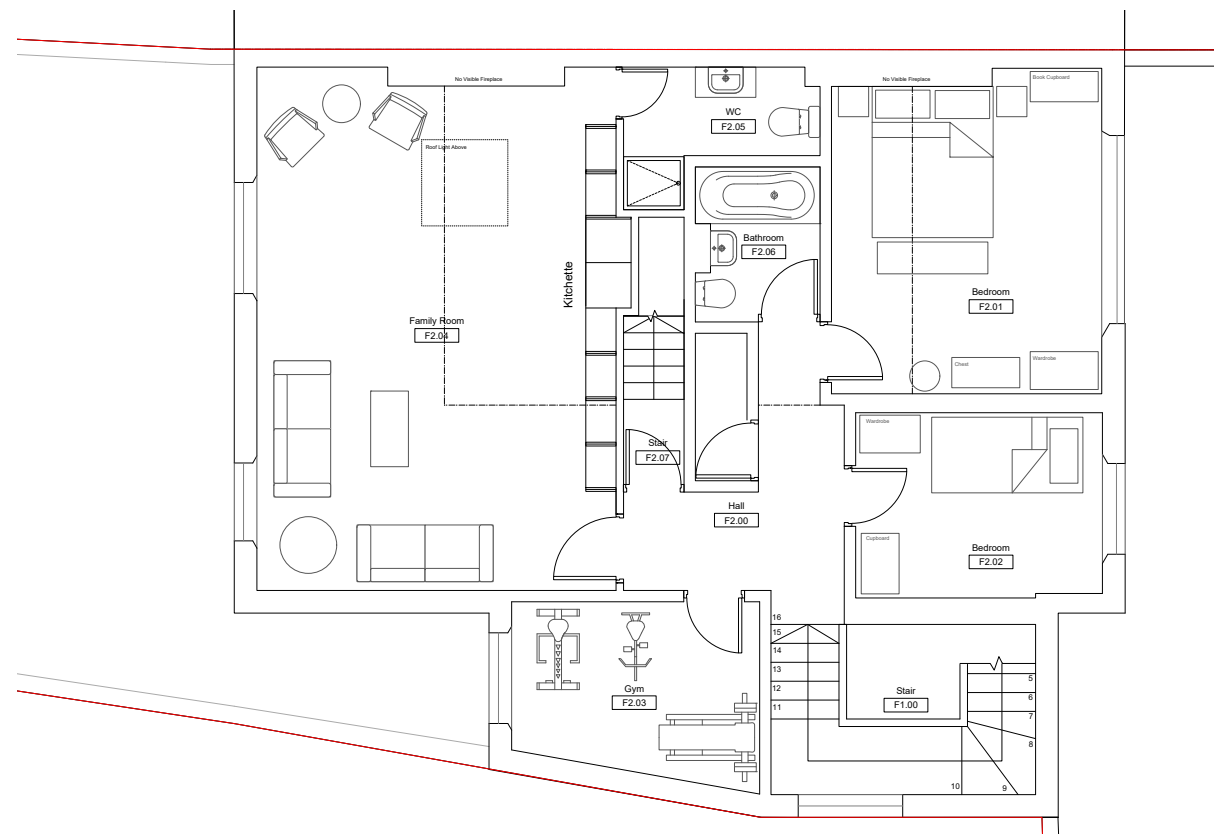
## 5.11 Proposed Floor Plans



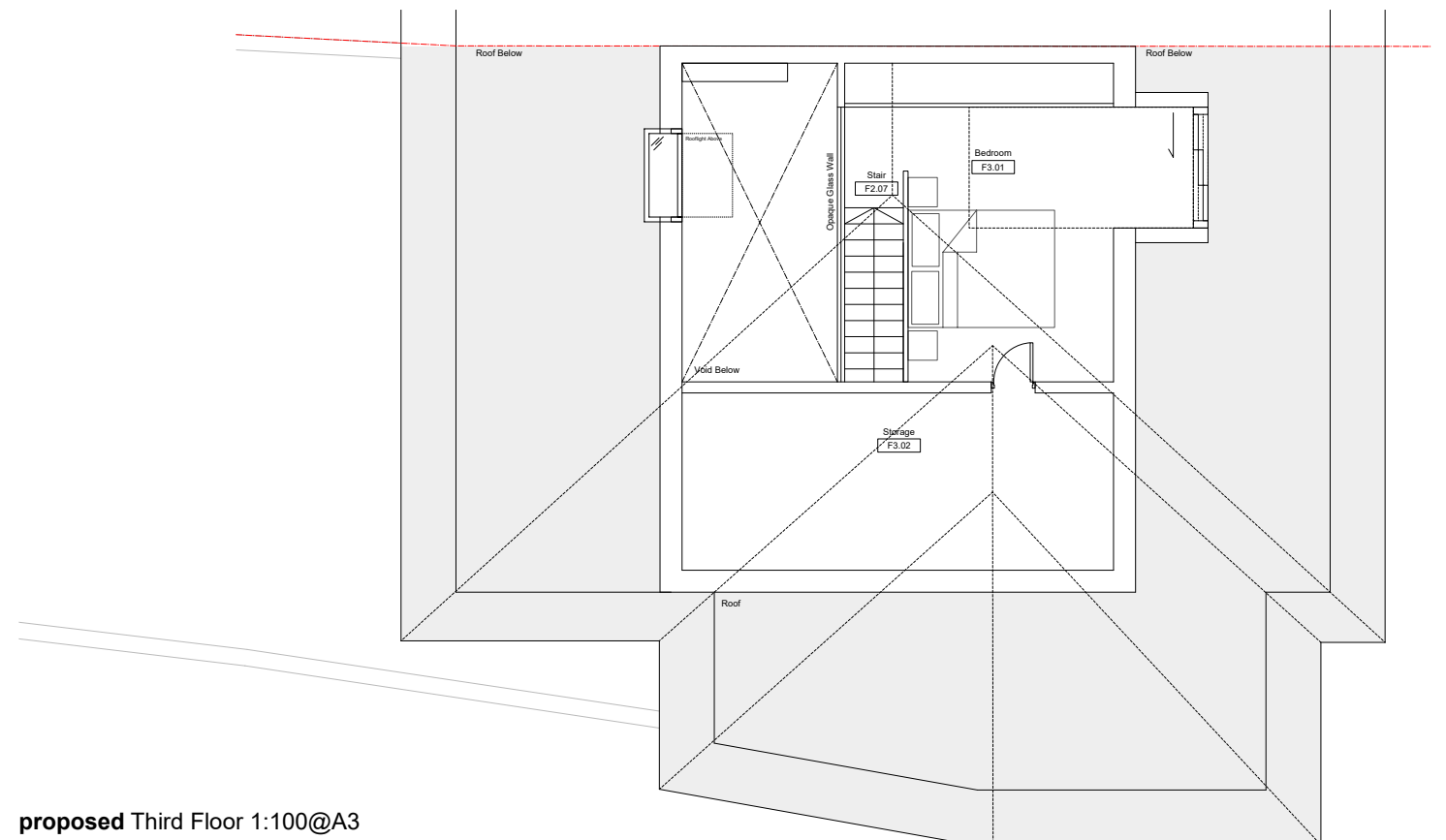
proposed Lower Ground Floor 1:100@A3



proposed First Floor 1:100@A3



proposed Second Floor 1:100@A3



proposed Third Floor 1:100@A3



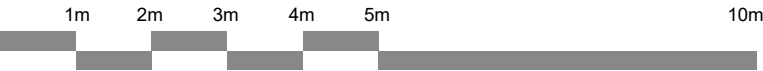
5.12 Proposed Front and Rear Elevations



proposed Front Elevation 1:100@A3

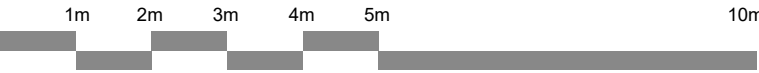
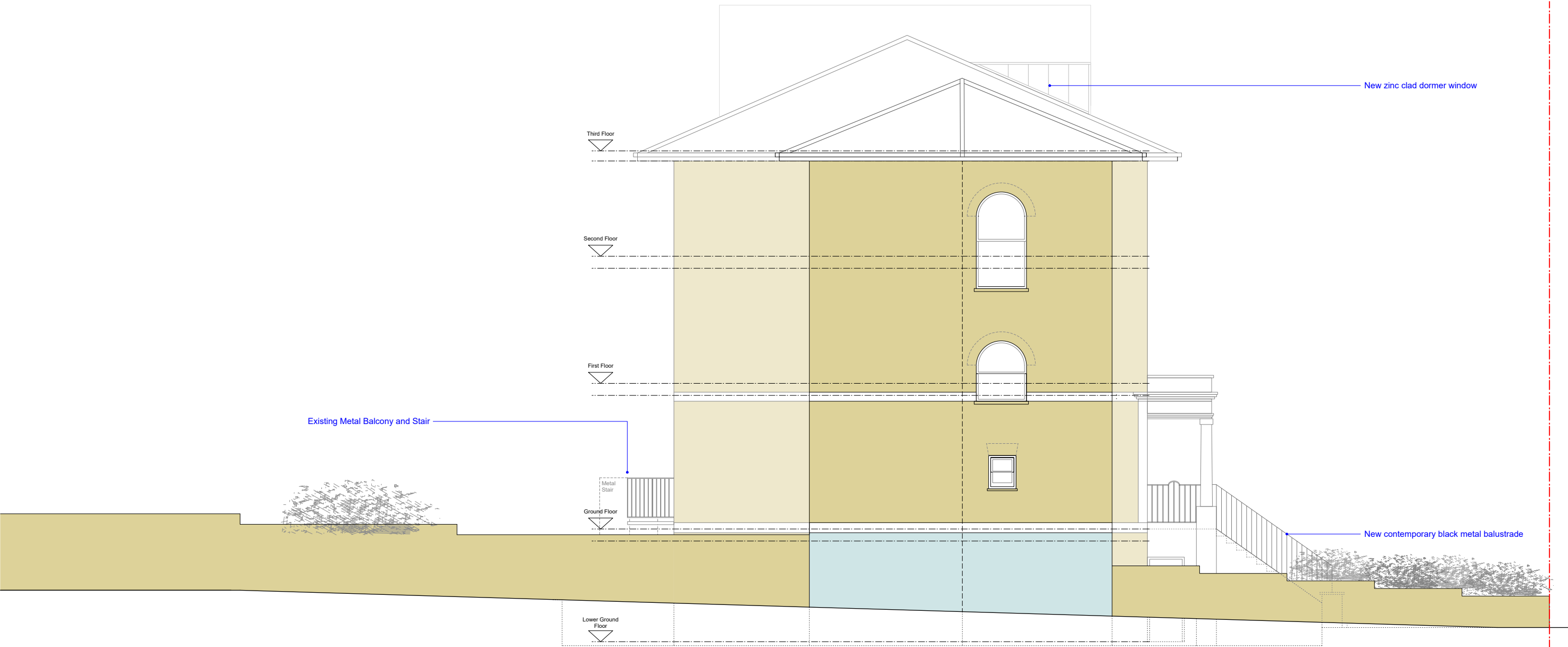


proposed Rear Elevation 1:100@A3





5.12 Proposed Side Elevation





## 5.20 Design Analysis with Conservation Area Design Guidelines

The proposals have been carefully designed and considered in respect to the Eton Conservation Area Guidelines. The key guideline relevant to the scheme have been outlined below, alongside a small statement about how the design responds to it.

### Roof Extensions:

#### ET28

*Further dormers or 'Velux' type windows at the rear will normally be allowed if sensitively designed in relation to the building and other adjacent roofs. Dormers at the front, side and prominent rear elevations will not be allowed where a cluster of roofs remains largely, but not necessarily completely, unimpaired.*

The dormer has been carefully designed with a traditional zinc cladding. There are a large number of dormers windows in a variety of styles which have been installed along Eton Road which help set the precedent for the introduction of one at 16 Eton Road. This was also reiterated and supported in the pre-application advice.



Existing Building with the Dormer Window at 14 Eton Road clearly visible.



6.00 Proposed Materials



Zinc Clad Dormer Windows on Steels Road



Zinc Clad Dormer Window



Double Glazed Dormer Windows



Double Glazed Timber Sash Windows



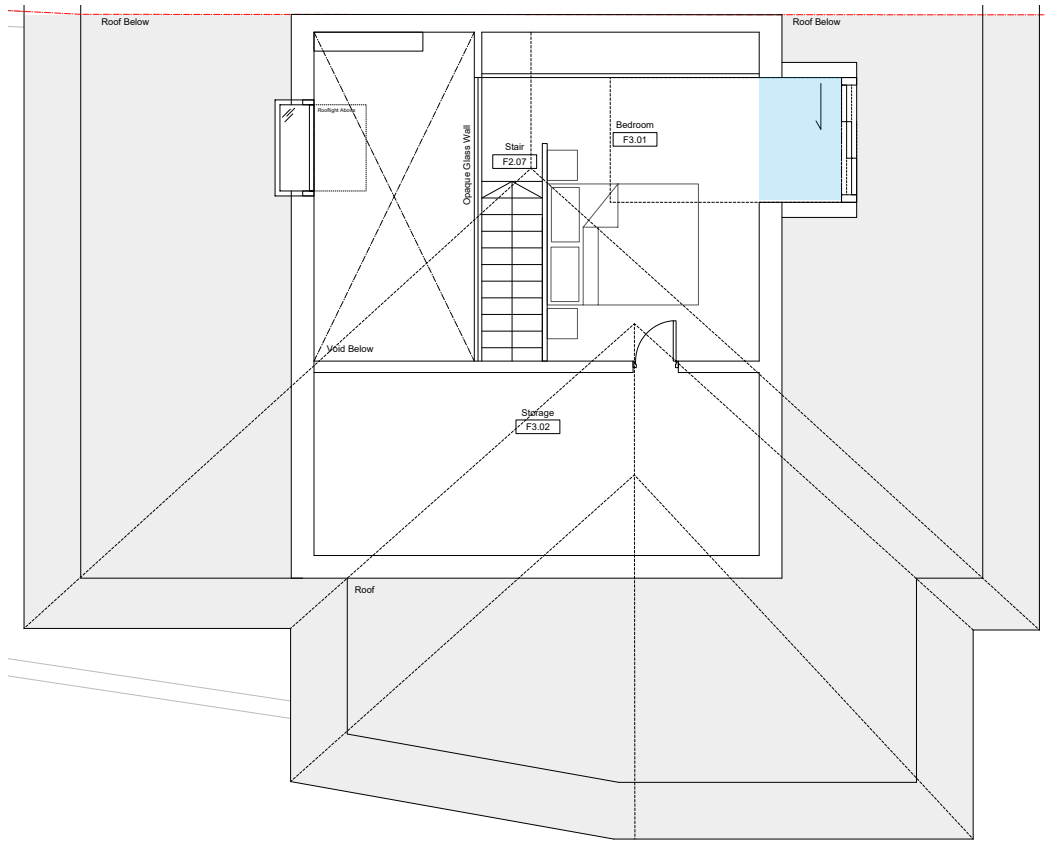
Entrance Step Balustrade



The proposed materials for the project are as follows:

- Replacement of Existing Windows:**  
Glass: Double Glazed  
Style: Hardwood timber windows to match existing styles
- Replacement of Existing Rooflights:**  
Glass: Double Glazed  
Style: To match existing
- Front Balustrade:**  
Balustrade: Steel: Colour: Black to reference the existing house metal
- Dormer Window:**  
Glazing: Double Glazed Windows System.  
Dark Grey powder coated aluminium / composite frames.
- Roof:**  
Zinc Cladding

7.00 Gross Internal Areas



proposed Third Floor 1:100@A3

Existing and proposed areas are as follows:

<b>EXISTING</b>	
Lower Ground Floor:	96 sqm.
Upper Ground Floor:	96 sqm.
First Floor:	95 sqm.
Second Floor	95 sqm.
Third Floor	14 sqm.
<b>TOTAL</b>	<b>396 sqm.</b>

<b>PROPOSED</b>	
Lower Ground Floor:	96 sqm.
Upper Ground Floor:	96 sqm.
First Floor:	95 sqm.
Second Floor	95 sqm.
Third Floor	15.5 sqm. [+ 1.5 sqm.]
<b>TOTAL</b>	<b>397.5 sqm.. [+1.5sqm]</b>

Notes:  
All areas are in sqm. Staircases have been included with the exception of the staircase between second to third floor. All areas measured have a Floor to Ceiling Height of 1.4m or above. All areas are subject to a full detailed survey.



## 8.00 Conclusions

The application looks to make sensitive minor amendments to 16 Eton Road. As outlined in this report it has been carefully considered alongside the Eton Conservation Area guidelines.

Accordingly we respectfully request the application proposals be supported.



Existing Building with the Dormer Window at 14 Eton Road clearly visible.